

CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION
MEETING AGENDA

April 22, 2025

Notice and agenda of the regular Planning Commission Meeting at 7:00 p.m. to be held at the Grand Haven City Council Chambers, 519 Washington Avenue. Planning Commissioners unable to attend the meeting are requested to contact the Planning Department at 616-935-3276 prior to the meeting.

1. MEETING CALLED TO ORDER

2. ROLL CALL: Amy Kozanecki, Dan Borchers, Joe Pierce, Vice-Chair Ryan Galligan, Tamera Owens, David Skelly, Magda Smolenska, Jennifer Smelker, Chair Mike Dora

3. APPROVAL OF MINUTES – March 11, 2025

4. APPROVAL OF AGENDA

5. CALL TO AUDIENCE – ONE OF TWO OPPORTUNITIES

6. NEW BUSINESS

A. Case 25-15: Site Plan review for a social service center at 323 N. Ferry St. (parcel #70-03-21-328-042)

7. PUBLIC HEARINGS

A. Case 25-14: A special land use permit for a short term rental at 36 Edward Ave. (parcel #70-03-29-156-045).

B. Case 25-09: A special land use permit and site plan review for a multiple-family dwelling located at 1445 Columbus Ave. (parcels #70-03-21-477-017 & #70-03-21-477-016).

C. Case 25-12: An application for a zoning change request from TI, Transitional Industrial District to PD, Planned Development District and associated Preliminary Development Plan for South Village PD located on what is commonly referred to as the Dake property at 700 & 724 Robbins Rd. (parcels #70-03-33-100-072 & #70-03-33-100-073).

D. Case 25-13: Zoning Text Amendment to Sec 40-411.02.A, to permit short term rentals in the Centertown Overlay in the Neighborhood Mixed-Use District.

8. OLD BUSINESS

9. ZONING BOARD OF APPEALS LIAISON REPORT

10. CITY PLANNER REPORT

A. Project updates

11. CALL TO AUDIENCE – SECOND OPPORTUNITY

12. ADJOURNMENT

**CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION MINUTES
MARCH 11, 2025**

A regularly meeting of the Grand Haven Planning Commission was called to order by Chair Dora at 7:00 pm. Upon roll call, the following members were present:

Present: Dan Borchers, Amy Kozanecki, David Skelly, Magda Smolenska, Tamera Owens, Joe Pierce, Chair Mike Dora

Absent: Jennifer Smelker, Vice-Chair Ryan Galligan

Also Present: City Planner Brian Urquhart, Assistant City Manager Dana Kollwehr, Mayor Bob Monetza and members of the public.

Approval of Minutes

Motion by **Skelly**, seconded by **Owens**, to approve the minutes of the February 11th meeting.
All ayes. **Motion passes.**

Approval of Agenda

Motion by **Pierce**, seconded by **Smolenska**, to approve the agenda as written.
All ayes. **Motion passes.**

Call to the Audience: First Opportunity

None

New Business

Case 25-10: Special Land Use for a yoga studio at 207 Washington Ave. (parcel #70-03-20-432-018)

Urquhart introduced the case. He said Wildflower Yoga was located in the Forum Building at 201 N. 3rd St. When the building burned in January, they were in need of a new location. They found a location at 207 Washington Ave. The Central Business District permits yoga studios by special land use, requiring a public hearing. A temporary space was granted for the time being at 201 Washington.

Chair Dora opened the public hearing at 7:09pm.

Brittany Goode, 425 N. 6th St., spoke in favor of the yoga studio.

Karen Fredricks, owner of the Forum Building, spoke to the benefit of Wildflower Yoga, and the economic benefit to the downtown area.

Delanie Paris, owner of Wildflower Yoga, was grateful to continue her business in downtown Grand Haven if the special land use is approved.

Urquhart added he reviewed 17 emails and letters regarding the case, all in favor.

Motion by Smolenska, seconded by Kozanecki, to close the public hearing. All ayes. Public hearing closed at 7:19pm.

Commissioners all expressed their sympathy for the all the businesses displaced by the fire at the Forum Building. They felt the use was very appropriate for the location and would be a benefit to the downtown.

Motion by Skelly, seconded by Owens, to approve Case 25-10, a request for a Special Use Permit for a yoga studio located at 207 Washington Ave. (parcel #70-03-20-432-009) based on the information submitted for review with the following condition:

1. *A change of use permit shall be submitted.*

Roll Call Vote. Yeas: Kozanecki, Borchers, Owens, Skelly, Smolenska, Pierce, Chair Dora. Nays: None.

Motion passed.

Case 25-06: Consideration of replacement of an observation deck at 5-Mile Hill (parcel #70-03-29-160-004)

Urquhart presented the case. He said the city has identified the wooden observation deck at the top of 5-Mile Hill in need of replacement. He said the deck would remain largely in the same place but be comprised of retaining wall material and the dune protected with native landscaping. No other improvements are included.

Applicant Leah Bectel and Assistant City Manager Dana Kollwehr were both present. Bectel said they are applying for the necessary EGLE permit.

Commissioners all agreed the project is great and much needed improvement for the community.

Motion by **Pierce**, seconded by **Kozanecki**, to acknowledge this facility improvement to the deck replacement at 5-Mile Hill (parcel #70-03-29-160-004) and defer the site plan review to the City Planner for the following reasons:

1. The project will result in a planned improvement and expansion of an existing use.
2. The project will not significantly change the nature of the public use.

Roll call vote. Yeas: Skelly, Kozanecki, Owens, Borchers, Smolenska, Pierce, Chair Dora. Nays: None.

Motion passed.

Case 25-13: Pre-public hearing for a zoning text amendment to Sec. 40-411.02.A to permit short term rentals in the Centertown Overlay in the NMU District.

Prior to the discussion, Smolenska and Borchers declared a conflict of interest, and recused themselves from the case.

Urquhart presented the case. Applicant John Groothuis requested a zoning text amendment to Sec. 40-411.02.A, to add short term rentals as a permitted use by right in the Centertown Overlay of the Neighborhood Mixed-Use district. Urquhart said approximately 24 parcels would be directly impacted by the zoning text amendment. He also said this is not a rezoning, and not subject to an individual project or property. Urquhart added Sec. 40-411.03 would require amendment as well to fully align with the intent of the Centertown Overlay. Groothuis took the opportunity to receive feedback prior to formally applying for the zoning text amendment.

Groothuis spoke to the benefit of permitting short term rentals for dwelling units. He stated after receiving approval for the 12-unit Steinbeck Crossings development approved by the Planning Commission in August 2024, it became clear he would not be able to sell the condo units. He acknowledged he received site plan approval knowing short term rentals were not permitted in the NMU Centertown Overlay.

Pierce stated he was not in favor of the amendment and feels there are too many short term rentals in the City.

Kozanecki also was not in favor of the amendment, stating this is not the right place to allow short term rentals.

Skelly asked what prompted the development change. Groothuis responded that cost was the primary reason. Groothuis added he would not pursue projects that do not permit short term rentals. His agent says buyers in the current market are looking for properties in which they can short term rent.

Owens said she does not like the amendment, but would allow it.

Dora reviewed the zoning ordinance and master plan sections related to the subject properties within the NMU District. Dora added there would be likely opposition from the neighbors if the City permitted short term rentals in the NMU.

Urquhart clarified the request is not just for Steinbeck Crossings, but for the entirety of the Centertown Overlay. He also added any person can apply for a text amendment for any reason, and offer them due process.

Old Business: None

Zoning Board of Appeals Liaison Report

Meeting held in February, approved a variance for a rear yard setback at 323 N. Ferry St. Urquhart added the site plan would come before the Planning Commission.

City Planner Report

Urquhart updated the Planning Commission on the status of ongoing projects, including Grand Landing Hotel, Chinook Pier, Dwelling Place, and 924 Beechtree. He added that MAP is putting on a Housing training series and can invite the PC.

Call to the Audience: Second Opportunity: None

Motion by **Skelly**, seconded by **Owens** to Adjourn. Roll call vote. All ayes. **Motion passed.**
Chair Dora adjourned the meeting at 8:10 pm.

Brian J. Urquhart, City Planner

DRAFT

DATE: April 17, 2025
TO: Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 25-15:** Site Plan Review of Love In Action Distribution Center – 323 N. Ferry St.

Current Zoning: NMU, Neighborhood Mixed-Use
Existing Use: Vacant warehouse space
Proposed Use: Social Service Distribution Center

1.0 Request

Josh Bytwerk of *Love in Action of the Tri-Cities*, submitted a site plan application for renovating and rehabilitating the vacant warehouse building at 323 N. Ferry St. (parcel #70-03-21-328-042) for relocation of their social service distribution center, which is currently at 1120 Fulton Ave. According to the applicant, 323 N. Ferry St. was the former appliance warehouse which will be renovated for Love in Action's operations. A social service distribution center is permitted in the NMU District.

2.0 Site Plan Review

Removals

The site has been underutilized for many years, and the improvement will bring the site into greater conformity. The majority of existing gravel, asphalt, and trees will be removed to provide for efficient vehicle circulation and compliance with the fire truck turning radius. The front yard will be excavated for stormwater drainage purposes.

Building and Use

323 N. Ferry St. sits on 0.83 acres, with Jeske Pools to the south, Salvation Army to the east, and residential units to north. The former warehouse building is a 16 ft. tall single story structure, with a total of 10,138 sq. ft., approximately 8,863 sq. ft. of open spaces and 1,275 sq. ft. of office space. The southwest corner of the building will include a cooler and the addition of a 20' x 14' freezer. The Zoning Board of Appeals approved the variance request for an 8.8' rear yard setback from the required 15' setback in February.

The major renovation includes a 22' x 20' canopy overhang. The overhand provides protection from the elements during drop off. The existing façade and exterior materials will not be changing. The canopy is sized enough to provide a turning radius for the fire truck to enter and exit the site. There are no proposed changes to the roof, or installation of any mechanical equipment.

The application states 4 employees will be on site, and the majority of visitors will be picking up supplies during brief periods of time through-out the day. The hours of operation have yet to be specified.

Driveway and Parking

The site consists of gravel driveway and unimproved parking locations. The two drive entrances will remain the same, and provide for one-way traffic flow. All driveway and parking surfaces will be asphalt and concrete. Per Sec. 40-604, 13 spaces are required. The applicant is proposing 17 total spaces, with angled spaces along the entrance drive and exit drive. 1 ADA accessible space is shown near the front entrance.

Loading spaces

The existing shipping dock on the north of the building will remain with two loading spaces. The loading space will not interfere with pedestrian and motor vehicle movement. The frequency of trucks entering the site is unknown at this time



Street View

Stormwater Management

All surface water is shown to be directed to the rain garden in the front yard. Riprap will be installed on the north and south of the rain garden.

Landscaping and screening

The site plan calls for 2 street trees to be planted along Ferry St. All trees in the rear yard, and south lot line will be preserved to the greatest extent possible. The fence in the rear yard will also remain.

Lighting and signage

No changes to the existing lighting is proposed. The plans do call for a non-lit ground mounted sign in the front yard.

Dumpster

The site plan depicts a dumpster located the south of the building. The enclosure will be comprised of 6 ft. wooden fencing and gates. Bollards will be placed inside of the enclosure for protection.



Aerial View

3.0 Sample Motion

Motion to APPROVE Case 25-15, a site plan review a social service distribution center at 323 N. Ferry St. (parcel #70-03-21-328-042) with the following condition(s):

1. *All conditions of the BLP, DPW and Fire Marshal shall be met.*
2. *(Insert any additional conditions as necessary)*

Attachments:

- A. Site Plan Review application dated 3-11-2025
- B. Project narrative
- C. Site Plan (4 sheets)
- D. Fire Marshal review letter
- E. DPW review letter

SITE PLAN REVIEW PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org

1. Project Information

Address/location of property: **323 NORTH FERRY STREET, GRAND HAVEN, MI 49417**

PARCEL #70-03-21-328-042

CURRENT USE - EXISTING WAREHOUSE

PARCEL AREA - 36,007 SFT = 0.83 ACRES

ZONING DISTRICT - NMU

PROPOSED - SOCIAL SERVICE DISTRIBUTION CENTER

SURROUNDING ZONING - ALL NMU

2. Applicant

LOVE IN ACTION OF THE TRI-CITIES

JOSH BYTWERK, EXECUTIVE DIRECTOR

326 N. FERRY STREET

GRAND HAVEN, MI 49417

616-846-2701

josh@loveinactiontricity.org

3. Property Owner

LOVE IN ACTION OF THE TRI-CITIES

JOSH BYTWERK, EXECUTIVE DIRECTOR

326 N. FERRY STREET

GRAND HAVEN, MI 49417

616-846-2701

josh@loveinactiontricity.org

4. Required Attachments

- PDF + 5 copies of the application
- PDF + 5 copies of site plan
- PDF + 5 copies of the building elevations
- PDF + 5 copies of the landscape plan
- Project phasing plan (if applicable)
- Signage plan and details
- Proposed topographic map
- Existing topographic map

5. Fees and Escrow Deposit

Up to \$100,000: \$200.00

\$100,001 to \$500,000: \$300.00

\$500,001 to \$1,000,000: \$400.00

\$1,000,001 & Up: \$500.00

Estimate Project Cost: \$ _____

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.

6. Details of the Nature of Work Proposed *(please identify materials and colors to be used)*

Remodeling the former appliance warehouse for use as a Love in Action's distribution center. Building will be refreshed as shown on attached architectural plans and site will be improved for public access according to the attached site plans. A rear yard setback variance for a freezer addition to the west wall was reviewed by the Zoning Board of Appeals.



7. Buildings and Structures

Number of buildings on site: 1 Use of buildings: Social Service Distribution Center
Height of buildings & # of stories: 16', Single Story Height of rooftop mechanical equipment: _____

8. Floor Use and Area (in square feet)**Commercial Structures**

Total floor area: 10,138 Sft
Open space (area & %): 8,863 Sft +/- 87%
Office space (area): 1,275 Sft +/- 13%
Retail space (area): none
Industrial space (area): none
Assembly space (area): none
Seating capacity: n.a.
Maximum occupancy load: _____

Residential Structures

Total floor area: _____
Total # of units: _____
of 1 bedroom units: _____
of 2 bedroom units: _____
of 3 bedroom units: _____
Open space (area and %): _____
Rental or condominium?: _____
Maximum occupancy load: _____

Not
Applicable

9. Setbacks (see Article Four: District Regulations, Table 40-402.02, for setback requirements)

Required front yard: 70% Proposed front yard: Exist. 101'; Proposed Canopy @ 75'
Required rear yard: 15' Proposed rear yard: As exists. 9'+/- @ freezer per ZBA
Required total side yard: 0' - 5' total Proposed total side yard: Varies. 10' Minimum @ NW Corner

10. Parking (see Article Six: Parking, for zoning requirements)

Required # of spaces: 13 Proposed # of spaces: 17
Typical angle of spaces: 70 degrees Size of spaces: 9' x 19'
Location of parking on site: See Site Plan Number of handicap spaces: One van accessible
Shared parking agreement?: No Location and # of off-street spaces: None
Number of employees: 4 in Warehouse
Explanation of screening (including location and materials): Between proposed parking and sidewalk
See site plan

11. Loading (see Section 40.605.04 for loading space requirements)

Required # of spaces: One Proposed # of spaces: Two
Typical angle of space(s): 0 degree Size of space(s): Prop. 300 Sft and Exist. 484 Sft
Location of loading space(s) on site: At existing OH Doors, NE corner of bldg
Explanation of screening (including location and materials): As existing

12. Site Lighting (see Section 40-317 for lighting requirements)**Building Lighting**

of fixtures proposed: NONE PROPOSED
Type of lighting proposed: _____
Height of fixtures: _____
Location of fixtures: _____

Not
Applicable

Parking Area Lighting

of fixtures proposed: NONE PROPOSED
Type of lighting proposed: _____
Height of fixtures: _____
Location of fixtures: _____
Foot-candles at property line: _____

Not
Applicable

13. Landscaping (see Article Eight: Landscaping, for zoning requirements)

Location of landscape areas: _____ Proposed landscape material: _____
Front yard areas disturbed by construction Turfgrass



14. Exterior Trash Receptacles (see Section 40-301.03 for Dumpster Enclosure requirements)

Location of receptacle: SE Corner of Building Size of receptacle: 80" x 60" behind 10' x 12' screen
Enclosure material: Wooden Screen Fence Height of Enclosure: 72"

15. Mechanical Equipment (see Sections 40-306.08(C) & 40-322 for zoning requirements)

Ground Mounted Mechanical Equipment

of units: _____
Size of units (LxWxH): _____
Location of units: _____
Screening: _____

Not
Applicable

Rooftop Mechanical Equipment

of units: _____
Type of rooftop units: _____
Size of units (LxWxH): _____
Location of units: _____
Screening: _____

Not
Applicable

16. Accessory Buildings (see Section 40-301 for standards for accessory buildings)

of accessory building(s): None. Not Applicable Size of accessory building(s) (LxWxH): _____
Location of accessory building(s): _____

17. Emergency Access Features (contact City of Grand Haven Fire Marshal with questions)

Emergency Access Roads: Existing and proposed driveways off of Ferry St.
Location of hydrants and fire department connection (FDC): Nearest Hydrant 200ft away, across Ferry St.

18. Historic District information (contact City of Grand Haven Historic Conservation District Commission)

Is this location within a Historic Conservation District? Yes/No/Unsure

Name of District, if applicable: No; Not Applicable

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: [Signature] Date: 3/11/2025

Print Name: Josh Bytnerke

Signature of Owner: _____ Date: _____

Print Name: _____

Office Use Only

Case #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Approved by: _____



**Proposed Storehouse
Distribution Center**



323 N Ferry St.

Love in Action (LIA) is requesting approval to relocate its existing donation processing center and central food pantry from its current location at 1106 N Fulton Street to the proposed site at 323 N Ferry Street. Our Fulton Street location has served as a vital hub for our operations for over twenty years. However, to better meet the growing needs of our community, we require a larger and more accessible facility.

The proposed site at 323 N Ferry Street will allow Love in Action to continue its essential work with significantly enhanced capabilities. This space will serve the same purposes as our current Fulton Street location:

- **Central Food Pantry and Distribution Hub:** This location will function as the central point for receiving, storing, and distributing food for all of LIA's food programs. This includes supplying our network of ten food pantries located at various partner sites, our weekend Backpack Blessings program for students facing food insecurity, and our mobile food truck outreach.
- **Donation Processing Center:** The facility will also serve as the central processing center for donated goods, including clothing, furniture, and medical equipment. These items are then distributed to LIA's resale stores and directly to individuals and families in need through our various ministries.

To ensure efficient operations and accessibility for our community, volunteers, and staff, the site and building plan at 323 N Ferry Street includes the following key improvements:

- **Improved Site Access:** The plan incorporates a clearly defined one-way, drive-through access to enhance traffic flow and safety for donation drop-offs.
- **Canopied Donation Drop-Off:** A covered drop-off area will provide a more convenient and weather-protected space for community members to donate goods.
- **Additional Parking:** The plan includes an increase in the number of on-site parking spaces to accommodate volunteers, staff, and visitors.
- **Enhanced Landscaping:** We are committed to improving the aesthetics of the site with additional landscaping, including the planting of new trees.

**Proposed Storehouse
Distribution Center**

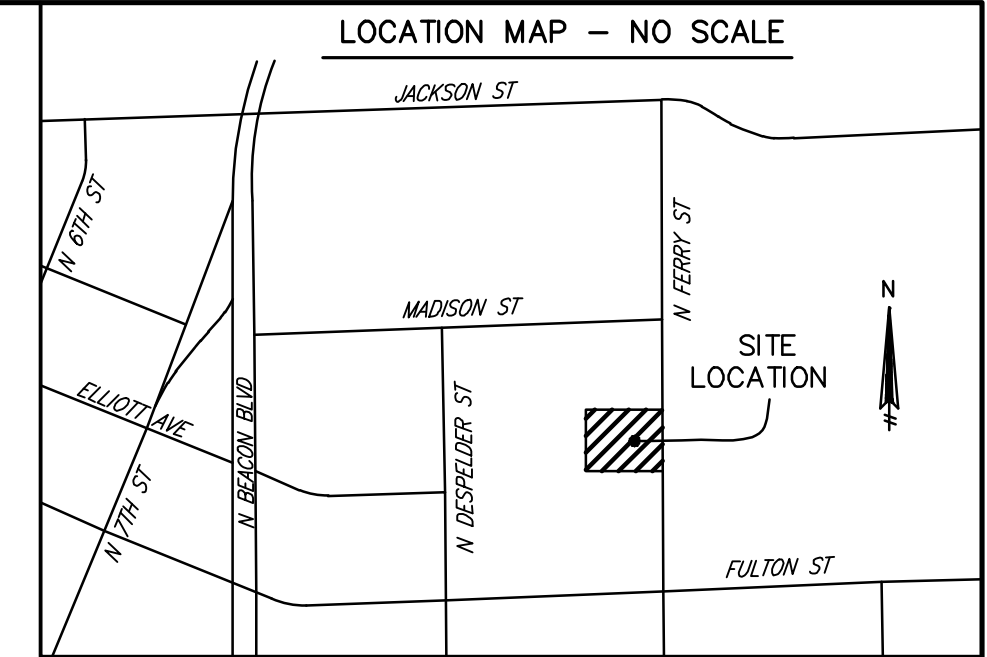


323 N Ferry St.

- **Refrigeration and Freezer Capacity:** The building will be equipped with dedicated freezer and cooler units to allow for the storage and distribution of fresh and frozen food, a crucial component of a healthy diet for those we serve.
- **Efficient Warehouse Operations:** The interior will feature optimized racking and storage space to handle the increased volume of food and donated goods.
- **Improved Logistics:** A dedicated loading dock will facilitate efficient and safe deliveries of bulk food supplies. Additionally, a separate loading dock will accommodate LIA's truck, equipped with a lift gate, for streamlined transport of resources.
- **Functional Office Space:** The plan includes improved office space with a dedicated reception station to better support our administrative functions and client interactions.

The relocation to 323 N Ferry Street represents a significant step forward for Love in Action, enabling us to more effectively address the growing needs within our community. We believe this project will be a positive addition to the neighborhood, providing essential services in an organized and accessible manner. We respectfully request your favorable consideration of our site plan.

ALTA/NSPS LAND TITLE SURVEY



DESCRIPTION OF PROPERTY FROM COMMITMENT NO. 231655, REVISION NO. 4, DATED SEPTEMBER 23, 2024, BY SUN TITLE AGENCY OF MICHIGAN, LLC

Land situated in the City of Grand Haven, Ottawa County, Michigan:

The South 46 feet of Lot 187 and all of Lots 188 and 189, Rycenga's Assessor's Plat No. 2, ALSO the North 6 feet of Lot 187, Rycenga's Assessor's Plat No. 2, according to the recorded plat thereof, as recorded in Liber 9 of Plats, Page 37.

ALSO

The North 75.0 feet of the Easterly 200 feet of Lot 196 of Rycenga's Assessor's Plat No. 2, as recorded in Liber 9 of Plats, page 37.

ITEMS CORRESPONDING TO SCHEDULE B
EXCEPTIONS FROM COVERAGE

(Referencing the Title Commitment for subject property, Commitment No. 231655, Revision No. 4, dated September 23, 2024, by Sun Title Agency of Michigan, LLC)

Note: Items 1 thru 12 are not survey matters

SURVEYOR'S NOTES:

- Descriptions of adjoiners have not been provided to the Surveyor.
- Lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted.
- The Relative Positional Precision of this survey falls within the maximum allowable limits as outlined by the minimum standard detail requirements for ALTA/NSPS Land Title Surveys effective Feb. 23, 2021.
- (A) Gravel drive over Subject property without the benefit of an easement.
- (B) Apparent overhead lines and poles servicing #225 N. Ferry St. over Subject property without the benefit of an easement.

SURVEYOR CERTIFICATION

To: Love in Action of the Tri-Cities, a Michigan non-profit corporation, Sun Title Agency of Michigan, LLC and First American Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes no items of table A thereof. The field work was completed on September 11, 2024.











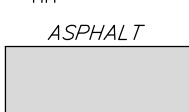
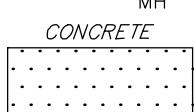
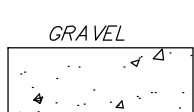





Brian A. Ford

Brian A. Ford
Professional Surveyor
Registration Number 47199

Date: 10-1-2024

bford@abonmarche.com

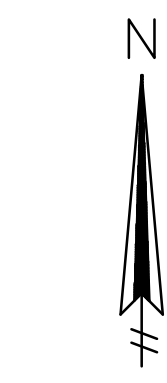


LEGEND			
	TELEPHONE PEDESTAL		WATER CURB STOP
	ELECTRIC METER		FIRE HYDRANT
	GAS METER		WATER VALVE
	UTILITY POLE		SQUARE CATCH BASIN IN CURB
	HAND HOLE		GENERIC MANHOLE
	ASPHALT		CONCRETE
			GRAVEL
			Found Iron
			Set Capped Iron
			Underground Gas
			Overhead Lines
			Chain Link Fence



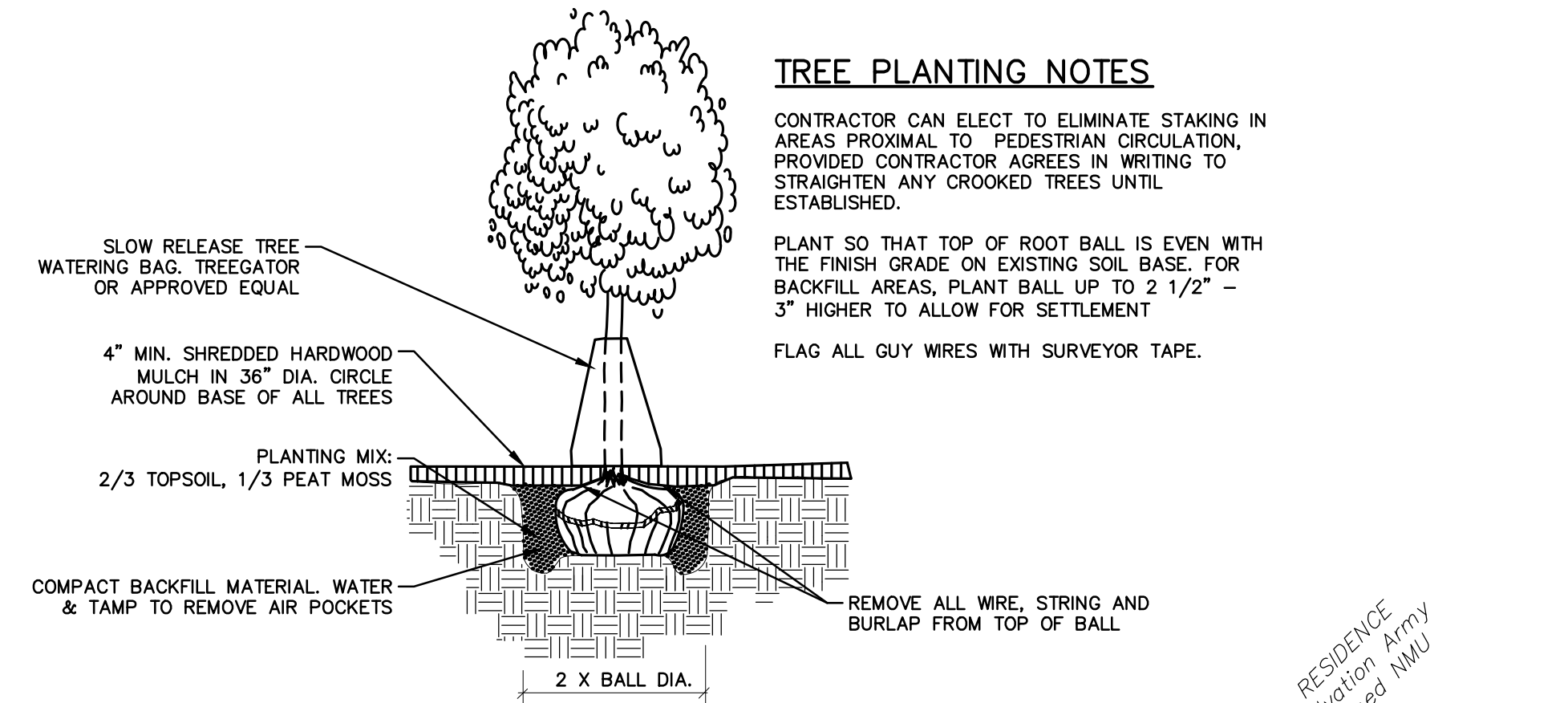
3 WORKING DAYS
(72 HOURS)
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
OR
811

PUBLIC UTILITIES OF ALL TYPES HAVE BEEN SHOWN ON THESE PLANS USING THE INFORMATION AVAILABLE, BUT ARE NOT GUARANTEED AS ACCURATE OR THAT UTILITIES OTHER THAN THOSE SHOWN ARE NOT PRESENT. CONTRACTOR SHALL CONTACT MISS DIG AT 1-800-482-7171 OR 811 FOR INFORMATION AND NOTIFY UTILITY COMPANIES THREE WORKING DAYS PRIOR TO COMMENCING WORK.



Scale 1"=20'

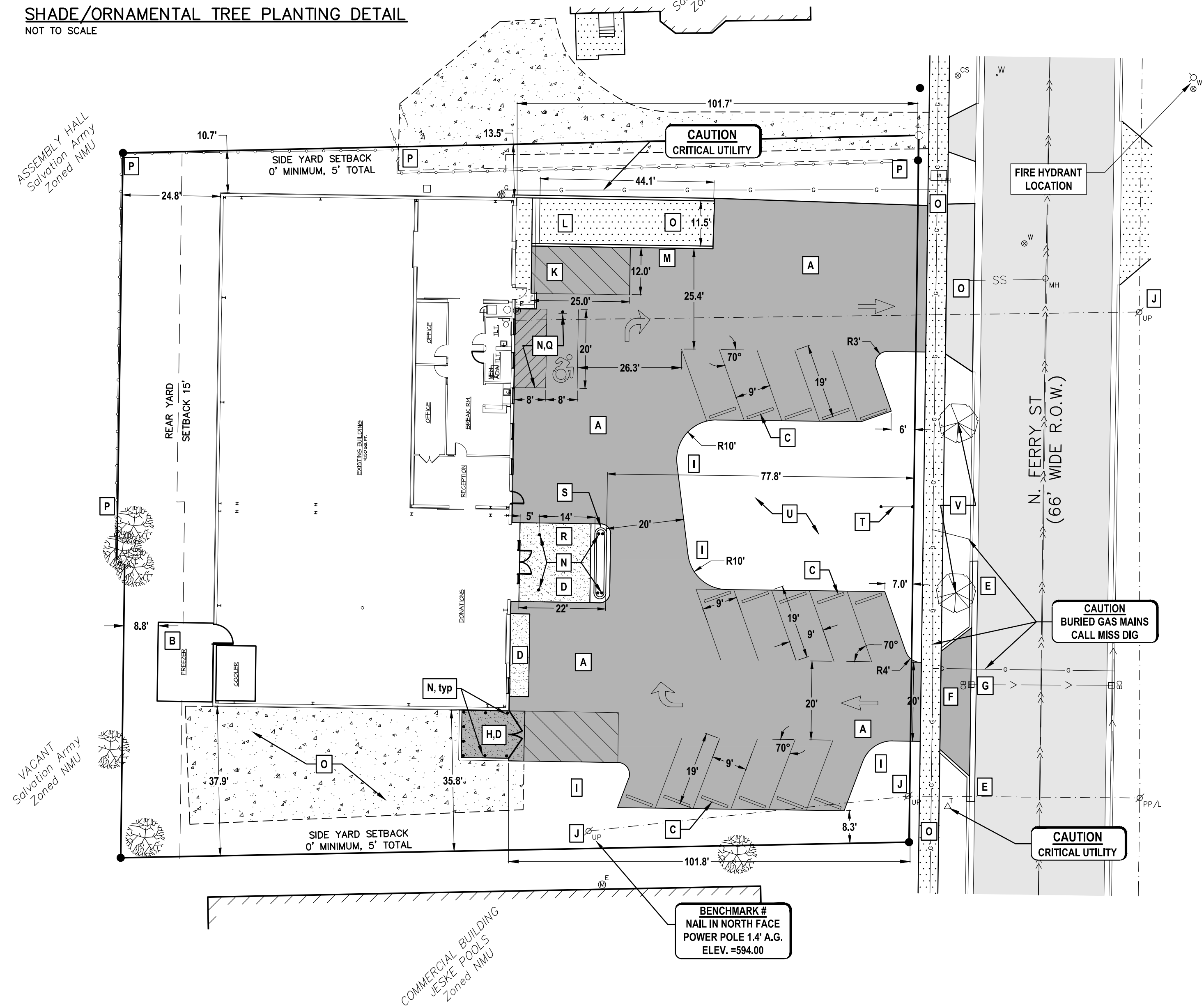




SHADE/ORNAMENTAL TREE PLANTING DETAIL
NOT TO SCALE



PROPOSED SIGN DETAIL
NOT TO SCALE



SITE KEY NOTES

- A** ASPHALT PAVEMENT (SEE DETAIL SHEET)
- B** FREEZER ADDITION PER Z.B.A. FEBRUARY 2025
- C** CONCRETE PARKING STOPS
- D** 8" REINF. CONCRETE
- E** CONCRETE CURB & GUTTER TO MATCH EX. WITH DUB-DOWN AT PROPOSED DRIVEWAY
- F** RELOCATED CURB OPENING
- G** CURB INLET TO REMAIN. REPLACE GRATE TO MATCH PROPOSED GUTTER PAN PROFILE
- H** PROPOSED DUMPSTER ENCLOSURE AREA
- I** SNOW STORAGE AREA
- J** EXISTING UTILITY POLE
- K** PROPOSED AT-GRADE LOADING ZONE
- L** EXISTING TRUCK WELL TO REMAIN
- M** REPLACE CONCRETE RETAINING WALL TO PROPOSED GRADES; RAILING IF REQUIRED BY CODE
- N** BOLLARDS - CONCRETE FILLED IRON PIPE PTD YELLOW. OR SIMILAR (SEE DETAIL SHEET)
- O** EX GRAVEL, CONCRETE, OR ASPHALT TO REMAIN
- P** EX FENCE TO REMAIN
- Q** ADA STRIPING & SIGNAGE 8' WIDE MINIMUM SPACES, (SEE DETAIL SHEET)
- R** PROPOSED CANOPY OVERHANG SEE ARCHITECTURAL PLANS
- S** CONCRETE CURB (1.67') AT CANOPY SUPPORTS. (SEE DETAIL SHEET)
- T** PROPOSED UNLIGHTED SIGN (SEE DETAIL THIS SHEET)
- U** PROPOSED RAIN GARDEN (BY OWNER). SEE GRADING PLAN.
- V** PROPOSED DECIDUOUS TREES. 2- RED OAK (*Quercus rubra*) 2-1/2" CAL; B&B SEE DETAIL

LEGEND

- PROPOSED ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- EXISTING CONCRETE PAVEMENT
- EXISTING GRAVEL

PROPERTY INFORMATION

PROPERTY INFORMATION
ADDRESS: 323 NORTH FERRY STREET, GRAND HAVEN, MI 49417
PARCEL: #70-03-21-328-042
AREA: 36,007 SFT = 0.83 ACRES
CURRENT USE: EXISTING WAREHOUSE

APPLICANT / PROPERTY OWNER
LOVE IN ACTION OF THE TRI-CITIES
JOSH BYTWERK, EXECUTIVE DIRECTOR
326 N. FERRY STREET
GRAND HAVEN, MI 49417
616-846-2701

EXISTING ZONING
THE EXISTING ZONING OF THE SUBJECT PROPERTY IS NMU, NEIGHBORHOOD MIXED USE. THE PARCEL IS NOT LOCATED ON ANY KEY STREET SEGMENT OR WITHIN AN OVERLAY DISTRICT. THE EXISTING ZONING OF ALL ADJUTING PROPERTIES IS THE SAME, NMU.

PROPOSED USE
WAREHOUSE / SOCIAL SERVICE DISTRIBUTION CENTER

ZONING REGULATIONS FOR A NON-RESIDENTIAL USE IN THE NMU DISTRICT

- 1.) MINIMUM LOT AREA (All other uses) = NONE
- 2.) MINIMUM LOT WIDTH (All other uses) = NONE
- 3.) MAXIMUM BUILDING HEIGHT = 35'
- 4.) MAXIMUM LOT COVERAGE (All other uses) = 70%
- 5.) MINIMUM FRONT YARD SETBACK = 70% in build-to zone
- 6.) MINIMUM SIDE YARD SETBACK = 0 FT. (5 FT. Total of Both)
- 7.) MINIMUM REAR YARD SETBACK = 15 FT.

PROPOSED AND EXISTING SETBACK DIMENSIONS ARE SHOWN ON THE PLAN.

LOT COVERAGE

- 1.) LOT AREA = 36,007 SFT
- 2.) AS EXISTING BUILDINGS & IMPERVIOUS SURFACES = 17,338 SF (48%)
- 2.) AS PROPOSED BUILDINGS & IMPERVIOUS SURFACES = 22,086 SF (61%)

PARKING REQUIREMENTS
OFFICE REQUIRES 1 SPACE PER 300 SQUARE FEET OF GROSS FLOOR AREA
WAREHOUSE REQUIRES 5 SPACES, PLUS 1 PER EMPLOYEE ON THE 2 LARGEST SHIFTS
PARKING REQUIRED FOR 1,200 SFT OFFICE = 4 SPACES
PARKING REQUIRED FOR 8,550 SFT WAREHOUSE = 9 SPACES (4 WAREHOUSE EMPLOYEES)
PARKING REQUIRED: 13 SPACES
PARKING PROVIDED: 17 SPACES, INCLUDES ONE VAN ACCESSIBLE ADA.

REQUIRED LOADING AND UNLOADING SPACE:
ONE 10'X25' (250 SFT) LOADING SPACE IS REQUIRED FOR BUILDINGS BETWEEN 5,001 & 20,000 SFT. TWO DEDICATED LOADING SPACES ARE SHOWN ON THE PLAN. SEE KEYNOTES K & L.

SITE ACCESS
TWO CURRENT SITE ACCESS POINTS FROM FERRY STREET. THE EXISTING NORTH DRIVEWAY WILL REMAIN. THE SOUTH DRIVEWAY WILL BE MODIFIED AS SHOWN TO PROVIDE IMPROVED SITE CIRCULATION FOR PUBLIC ACCESS. CONSTRUCTION OF THE NEW DRIVEWAY SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF GRAND HAVEN.

SITE SIGNAGE
ONE FREESTANDING, DOUBLE-SIDED, UNLIGHTED SIGN IS PROPOSED AT THE LOCATION SHOWN ON THIS SHEET. THE SIGN WILL REQUIRE AND CONFORM TO THE GRAND HAVEN ZONING AND SIGN ORDINANCES.

SITE LIGHTING
NONE PROPOSED.

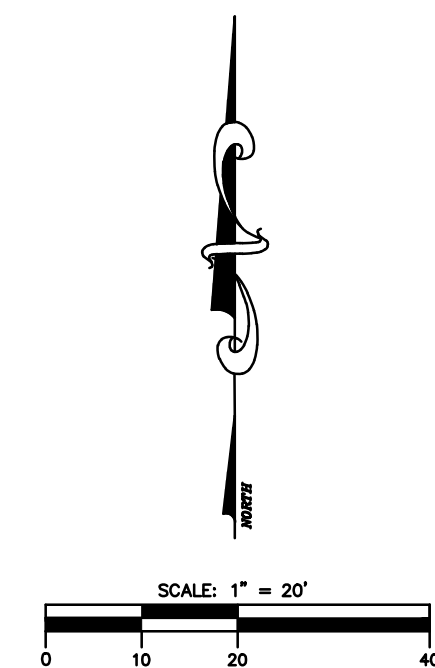
MUNICIPAL SANITARY SEWER AND WATER SERVICE
THE BUILDING WILL UTILIZE THE EXISTING SERVICES FROM THE MUNICIPAL SANITARY SEWER AND WATER IN THE FERRY STREET RIGHT-OF-WAY.

STORM WATER MANAGEMENT
ALL STORM WATER WILL BE MANAGED ON SITE AND SUBJECT TO REVIEW AND APPROVAL BY THE GRAND HAVEN DEPARTMENT OF PUBLIC WORKS. SEE GRADING PLAN.

OTHER UTILITIES
THE BUILDING WILL BE SERVICED BY EXISTING GAS, ELECTRIC, AND COMMUNICATIONS FACILITIES LOCATED ON SITE OR WITHIN THE NORTH FERRY STREET RIGHT-OF-WAY.

LANDSCAPING
THE LANDSCAPING WILL INCLUDE RESTORATION OF DISTURBED AREAS WITH TOPSOIL AND TURF GRASS, A RAIN GARDEN BY OWNER, AND 2 SHADE TREES AT THE LOCATIONS SPECIFIED ON THIS SHEET.

SCHEDULE
CONSTRUCTION TO BEGIN IN SPRING 2025 WITH PLANNED OCCUPANCY IN THE FALL OF 2025.



ABONMARCHÉ

Benjamin Bonarché
South Bend
Cohen
Valparaiso
Fl. Wayne
abonmarche.com
616-846-2701

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**PROPOSED SITE PLAN
DISTRIBUTION CENTER
LOVE IN ACTION**

323 N. FERRY ST., GRAND HAVEN, MI

SITE PLAN

SHEET TITLE:

DRAWN BY: **CES/SJC**

DESIGNED BY: **JR/SJC**

PM REVIEW: **SJC**

QA/QC REVIEW: **TV**

DATE: **MARCH 2025**

SEAL:



SIGNATURE:

DATE:

SCALE:

HORZ: **1"=20'**
VERT: **N/A**

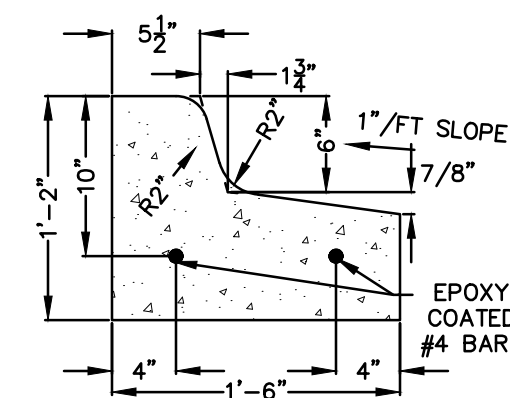
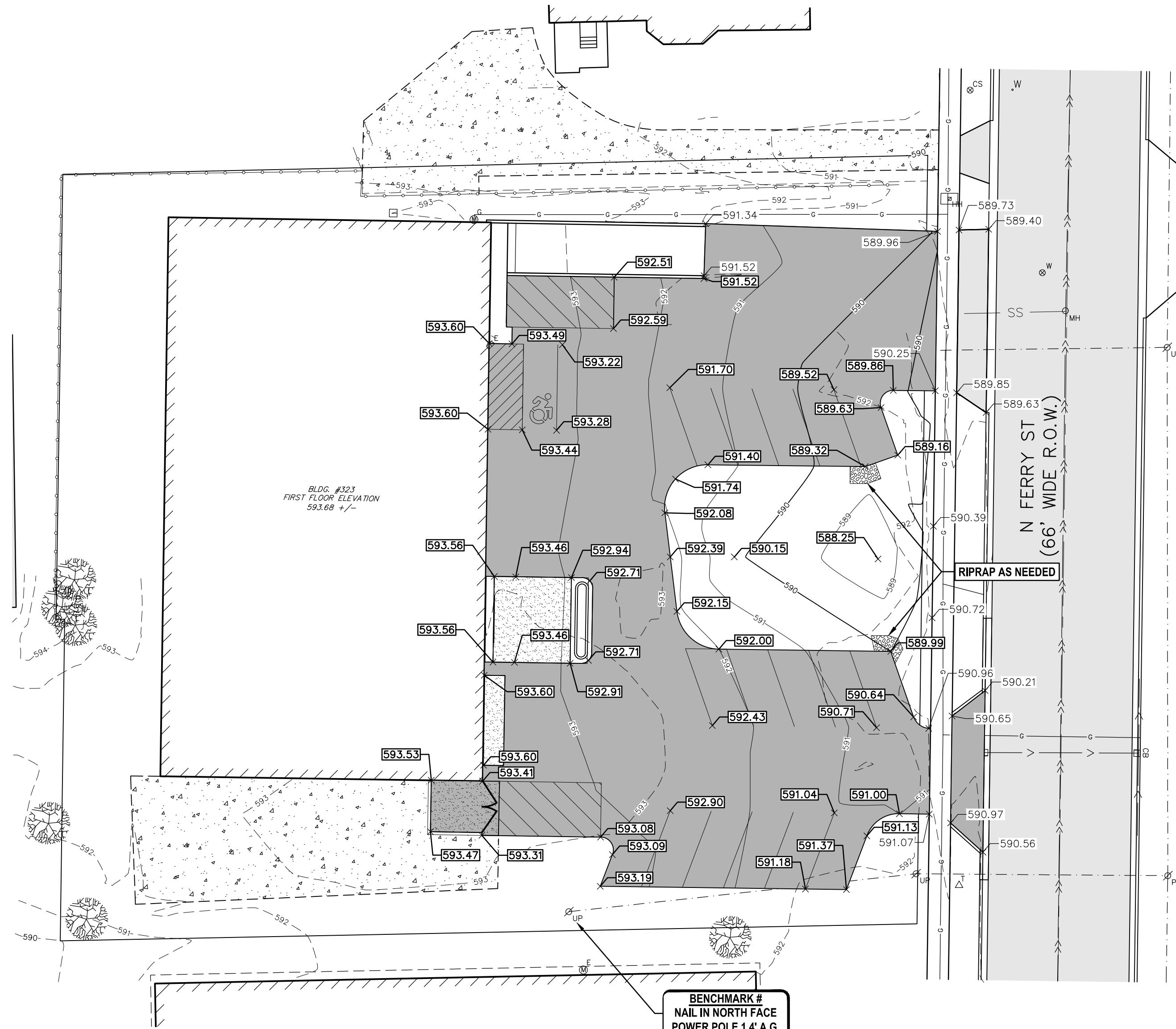
ACI JOB #

25-0101

SHEET NO.

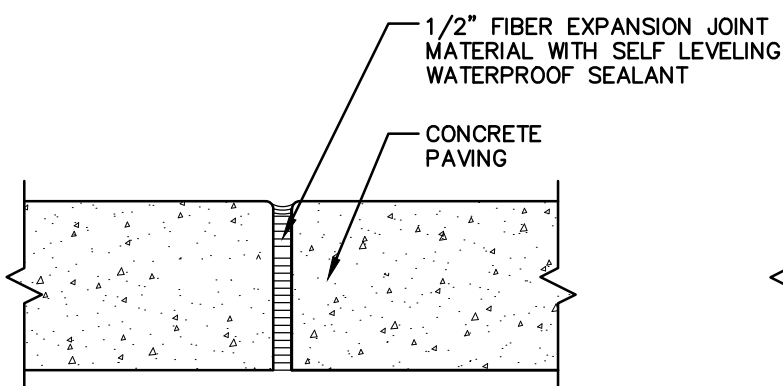
2 of 4

#2	PER CITY STAFF COMMENTS AND PLANNING COMMISSION REVIEW	SJC, JR	4/03/2025
#1	SITE PLAN REVIEW - CITY OF GRAND HAVEN - NOT FOR CONSTRUCTION	SJC	3/11/2025

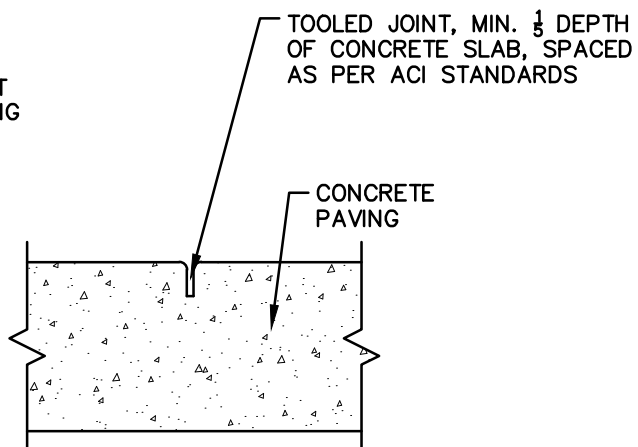


NOTE:
CONTRACTION JOINTS MUST BE PLACED EVERY 10' AND
EXPANSION JOINTS TO BE PLACE A MINIMUM OF 350 FEET
APART AND AT ALL SPRING POINTS ON CURVES.
USE GRADE A CONCRETE AND 6A STONE/LANE TIES OMITTED

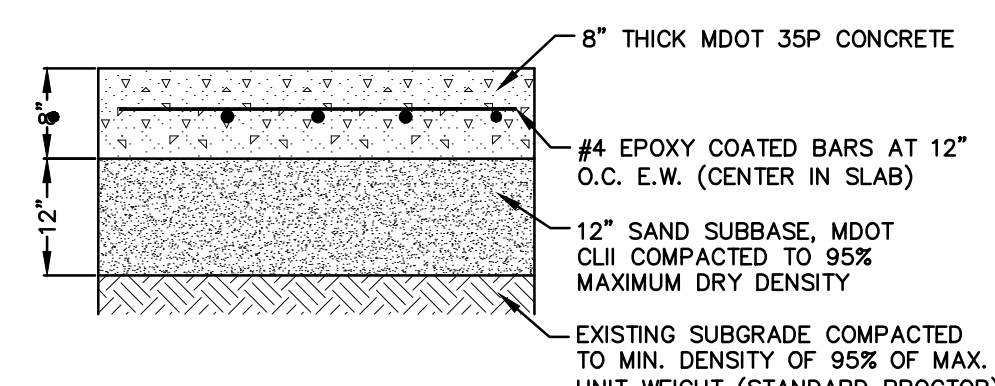
18" CONCRETE CURB DETAIL -- TIP OUT
NOT TO SCALE M.D.O.T. DETAIL F-4 MODIFIED



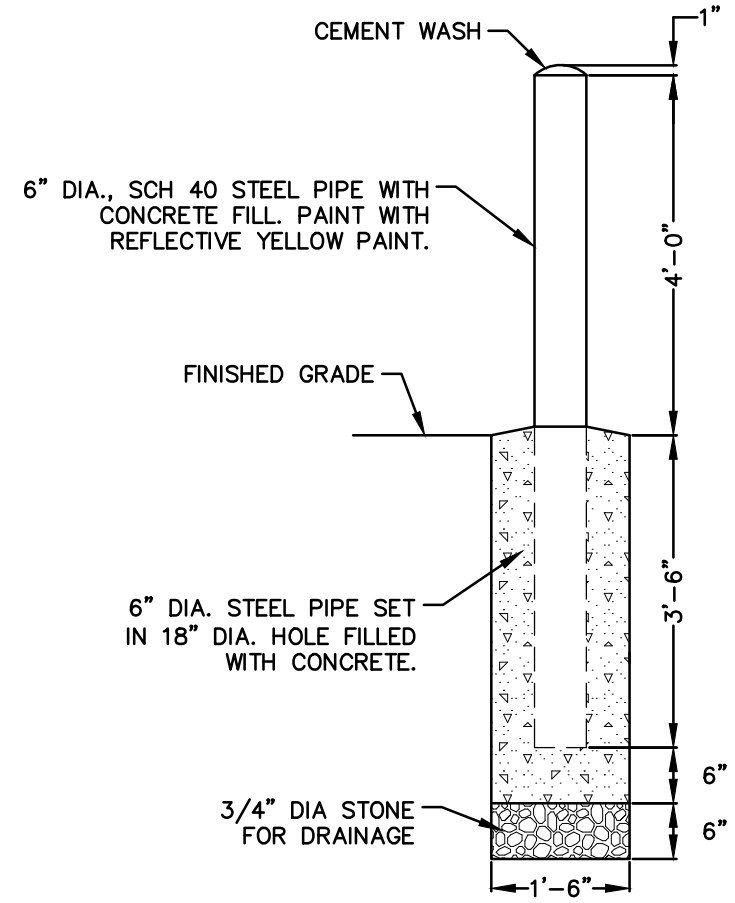
CONCRETE
EXPANSION JOINT
NOT TO SCALE



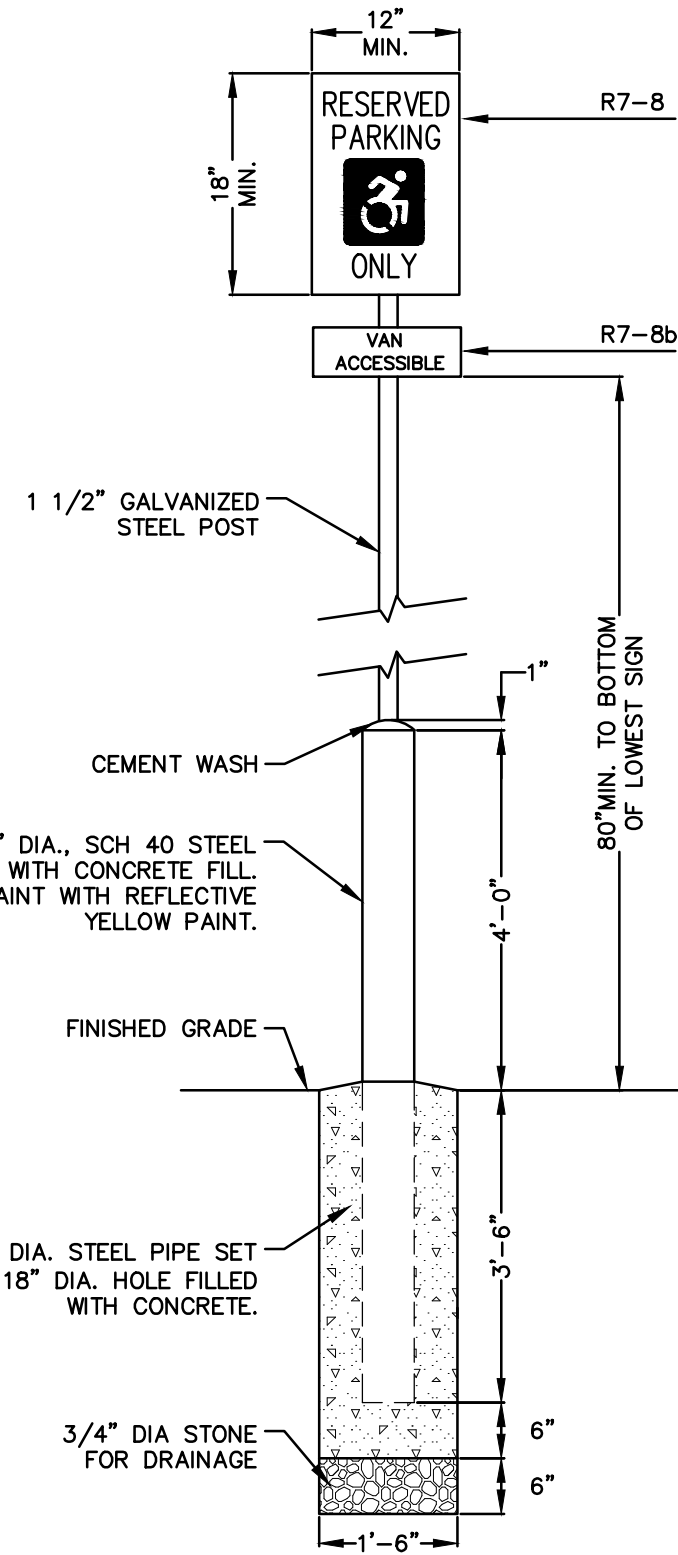
CONCRETE
CONTROL JOINT
NOT TO SCALE



CONCRETE PAVEMENT CROSS SECTION
NOT TO SCALE



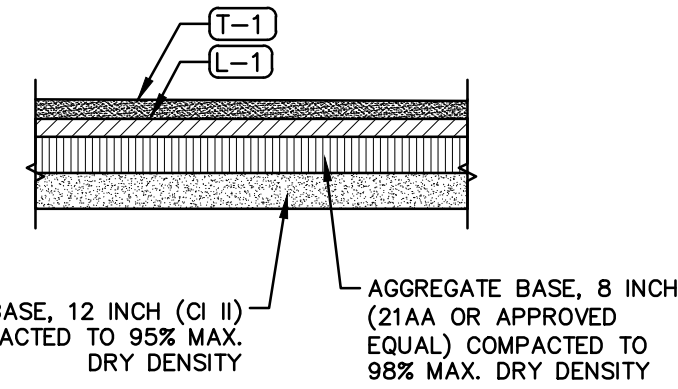
BOLLARD DETAIL
NOT TO SCALE



SIGN AND POST DETAIL
NOT TO SCALE

GENERAL NOTES:

- MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION SHALL PREVAIL, UNLESS INDICATED OTHERWISE. ALL WORK AND MATERIALS SHALL BE CONSTRUCTED PER CITY OF GRAND HAVEN STANDARDS.
- THREE WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST THE LOCATIONS OF ALL UTILITIES BY CALLING MISS DIG. REGARDLESS OF DURATION, NO SUBSURFACE WORK SHALL COMMENCE UNTIL ALL UTILITIES HAVE CLEARED THE MISS DIG REQUEST.
- ANY EXCESS/UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND THEY SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF THIS MATERIAL.
- ALL EXISTING FEATURES AND IMPROVEMENTS (INCLUDING TREES, LANDSCAPING, ETC.) NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED BY THE CONTRACTOR. DAMAGED ITEMS SHALL BE RESTORED TO OWNER'S SATISFACTION OR REPLACED AT THE CONTRACTORS EXPENSE. ALL TREES DAMAGED BEYOND SAVING AS DETERMINED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH A NURSERY GROWN TREE AS SPECIFIED BY THE ENGINEER.
- WHERE CONCRETE SIDEWALK IS ADJACENT TO THE BACK OF CURB, A 1/2" EXPANSION JOINT SHALL BE PLACED BETWEEN THE CURB AND SIDEWALK. PAYMENT IS INCLUDED IN CONCRETE SIDEWALK.
- BACKFILL MATERIAL SHALL BE MDOT CLASS II SAND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY IN 12" MAXIMUM LIFTS UNLESS OTHERWISE SPECIFIED.
- PAVEMENT DESIGNATED FOR REMOVAL SHALL BE SAWCUT FULL DEPTH AT REMOVAL LIMITS PRIOR TO REMOVAL. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY RAMPS AND/OR SECONDARY SAWCUTS IN ORDER TO PROVIDE A NEAT JOINT BETWEEN EXISTING AND PROPOSED PAVEMENT. NO EXTRA PAYMENT WILL BE MADE FOR ADDITIONAL SAWCUTTING WORK OR PAVEMENT REMOVAL BEYOND THE REMOVAL LIMITS IN ORDER TO ADDRESS DETERIORATION OF EXISTING PAVEMENT DUE TO THE CONTRACTOR'S OPERATIONS.



PROPOSED HMA PARKING LOT
CROSS SECTION
NOT TO SCALE

HMA APPLICATION TABLE					
PAY ITEM	IDENT. NO.	MIXTURE	RATE (LBS/SYD)	PERFORMANCE GRADE	TYPE
HMA, 5EML	T-1	5 EL	165	58 - 28	WEARING COURSE (AWI=220)
HMA, 4EML	L-1	4 EL	165	58 - 28	LEVELING COURSE

NOTE: APPLY HMA BOND COAT BETWEEN HMA LIFTS AT A RATE OF 0.05 TO 0.15 GAL/SYD (NOT A PAY ITEM)

LEGEND

100.00 PROPOSED GRADE
100.00 EXISTING GRADE

PROPOSED ASPHALT PAVEMENT

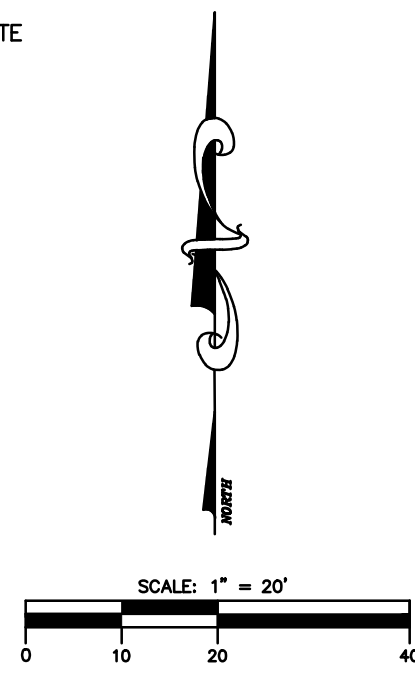
EXISTING ASPHALT PAVEMENT

PROPOSED CONCRETE PAVEMENT

EXISTING CONCRETE PAVEMENT

EXISTING GRAVEL

EXISTING CONTOUR
PROPOSED CONTOUR



#2	PER CITY STAFF COMMENTS AND PLANNING COMMISSION REVIEW	SJC, JR	4/03/2025
#1	SITE PLAN REVIEW - CITY OF GRAND HAVEN - NOT FOR CONSTRUCTION	SJC	3/11/2025

PROPOSED SITE PLAN
DISTRIBUTION CENTER
LOVE IN ACTION

323 N. FERRY ST., GRAND HAVEN, MI

GRADING PLAN AND
SITE CONSTRUCTION DETAILS

SHEET TITLE:

DRAWN BY:
CES / SJC

DESIGNED BY:
JR/SJC

PM REVIEW:
SJC

QA/QC REVIEW:
TV

DATE:
MARCH 2025

SEAL:



SIGNATURE:

DATE:

SCALE:

HORIZ: 1"=20'

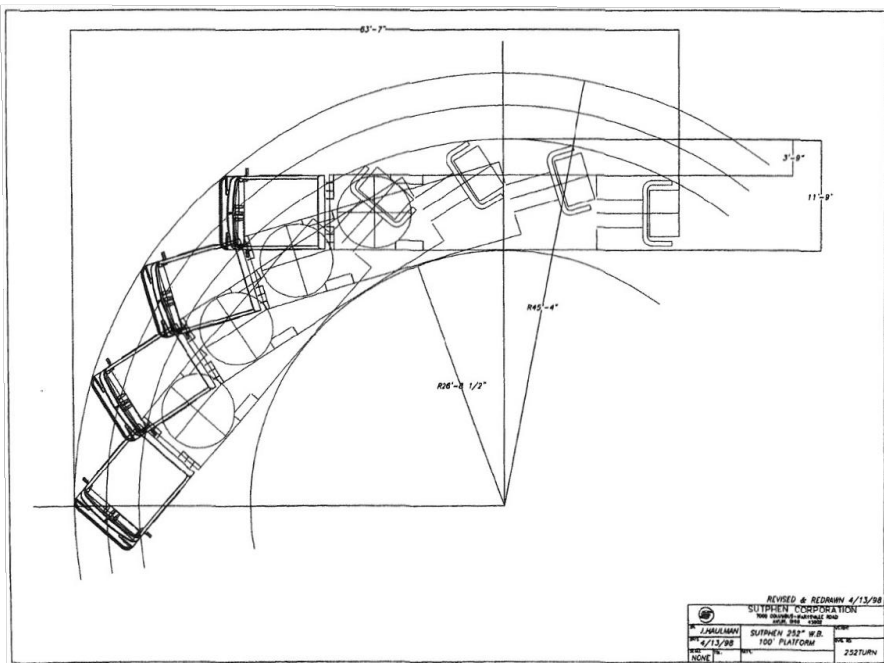
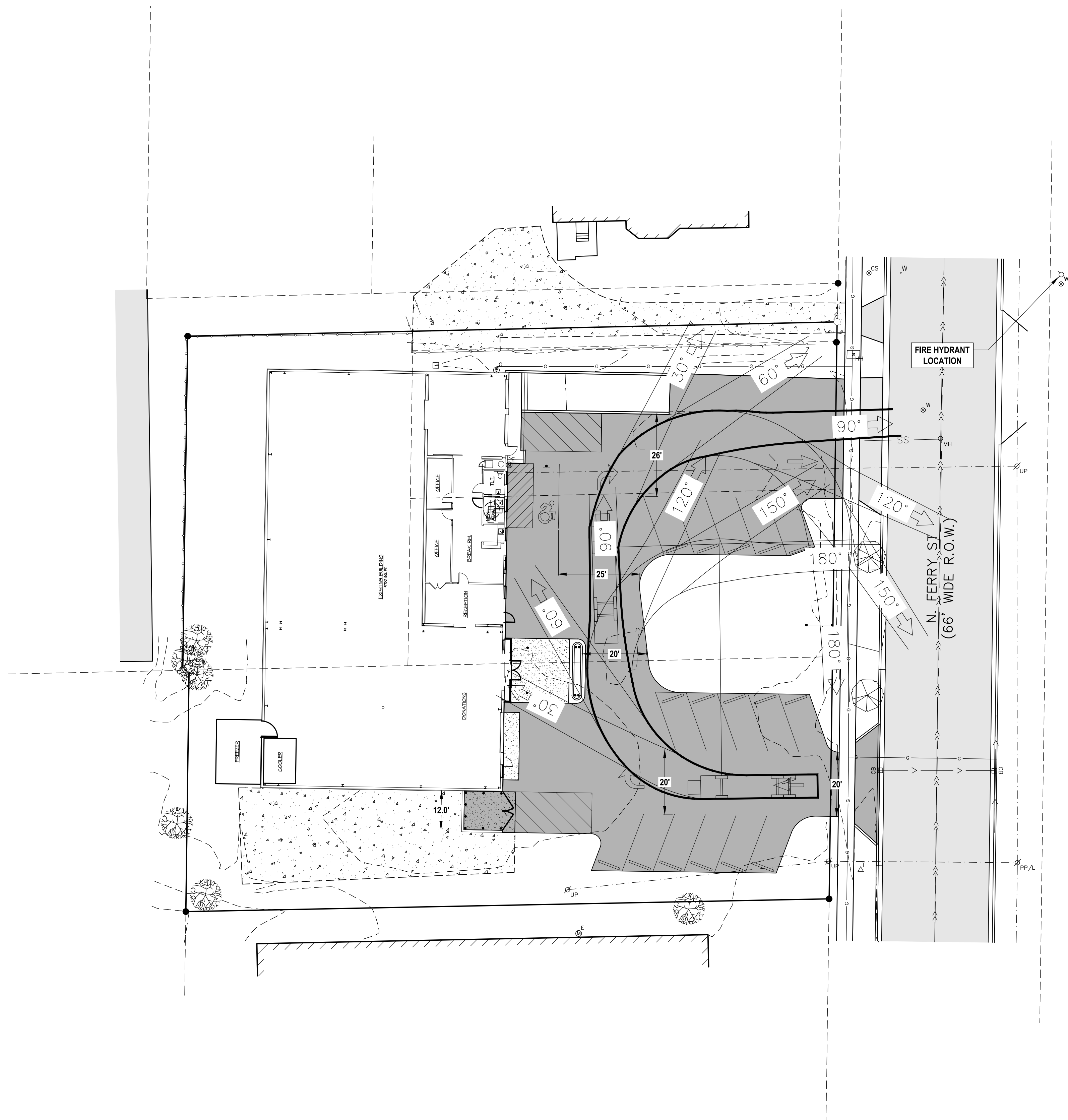
VERT: N/A

ACI JOB #

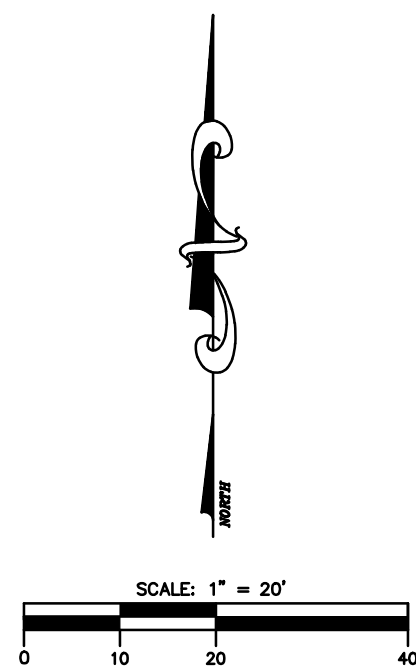
25-0101

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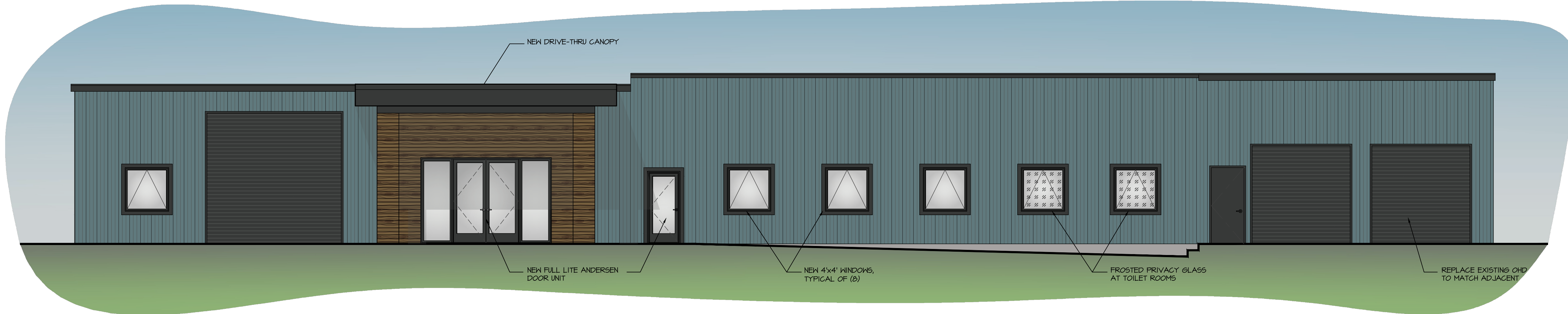
3 of 4



TEMPLATES AS PROVIDED BY GHDPs AND SCALED TO SITE PLAN



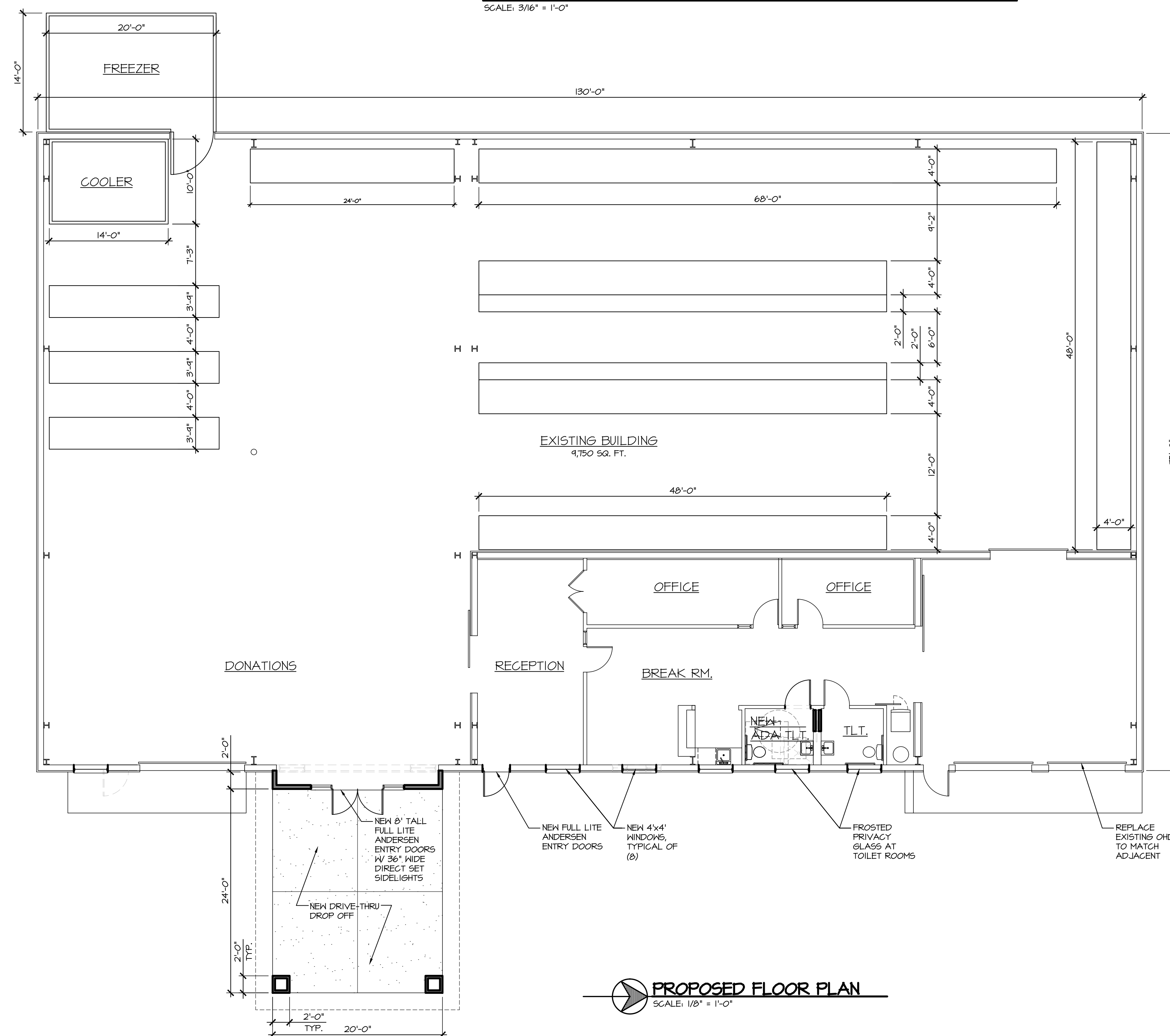
#2	PER CITY STAFF COMMENTS AND PLANNING COMMISSION REVIEW	SJC, JR	4/03/2025
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EAST EXTERIOR ELEVATION

SIDING COLOR: SHERWIN WILLIAMS SH761T 'MEDITERRANEAN'

SCALE: 3/16" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

PRELIMINARY
THE PURPOSE OF THIS DRAWING IS TO ILLUSTRATE DESIGN INTENT ONLY. THIS DOCUMENT IS A PROGRESS PRINT FOR REVIEW, AND SHOULD NOT BE CONSTRUED TO ILLUSTRATE COMPLETENESS OF THE FINAL SCOPE OF WORK FOR THIS PROJECT.

DATE: 1/13/25
DESIGNED BY: B. HESSELSWEET
CAD OPERATOR: C. DANIELS
CHECKED BY: B. HESSELSWEET

BROCK HESSELSWEET A.I.A.
14250 CRICKLEWOOD STREET
GRAND HAVEN, MICHIGAN 49417
PHONE 616-335-1906

Love In Action
325 N. Ferry Street, Grand Haven, Michigan
Proposed Floor Plan

SHEET NO.
A1.1

City of Grand Haven
Department of Public Works
616-847-3493



MEMORANDUM

TO: Brian Urquhart – City Planner

CC: Dana Kolleywehr – Public Works Director

FROM: Michael England – Streets and Utilities Manager

DATE: April 3, 2025

SUBJECT: Plan Review – 323 North Ferry

The Department of Public Works has the following comments regarding the proposed site plan for 323 North Ferry.

Public Water Utilities Connections Review:

1. All water utilities to follow City of Grand Haven standards.

Storm Sewer System Connection Review:

1. All storm water to follow the cities adopted LGROW standards.

If there are any questions regarding the review, please forward any questions to Dana Kolleywehr, Public Works Director or Michael England Streets and Utilities Manager.



Plan Review Report

General

Plan Review 325 N Ferry/Love Inc.
Property Address:

Confirm emergency lighting/exit signs

Confirm proper number/placement of fire extinguishers

Confirm travel distances to exits

Confirm what will be stored in the building

All drive widths must be a minimum of 20 ft.

Confirm turning radius for fire apparatus from templates
online

Confirm the minimum vertical distance of not less than 13 feet
6 inches for canopy

Date on Plans: 03/14/2025

Plans Reviewed on: 03/14/2025

Plans Reviewed by: Terry Turkelson

Status of Review: Review Complete,
Submitted

Questions or Comments? Please contact Fire Marshal Terry Turkelson at 616-842-3460 or
tturkelson@grandhaven.org

DATE: April 17, 2025
TO: City of Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 25-14:** Special Land Use Permit – 36 Edward Ave. Short-Term Rental

Current Zoning: DR, Dune Residential

Existing Use: Residential

Proposed Use: Short-Term Rental

1.0 Request

Applicant Gaby Farkas submitted an application for a Special Land Use Permit for Short-Term Rental located at 36 Edward Ave. (parcel #70-03-29-155-045). The Dune Residential District allows short-term rentals as a special land use.

2.0 Special Land Use Regulations & Conditions

36 Edward Ave. is a single family dwelling located in the Dune Residential District. The floor plan shows 4-bedrooms, 2-bathrooms, a screened porch, and outdoor gathering space. There are 2 designated parking spaces in front of the property. No additional parking is available on site.

The neighborhood characteristic is primarily single-family homes. There are a few short term rentals nearby, all of which received prior approval.

Section 40-513 provides a list of ten (10) regulations and conditions for a Short-Term Rental. The review of the Special Land Use Permit application is also subject to the standard regulations and conditions of all Special Land Uses outlined in Section 40-116.03.

Adjacent uses

Address	Use	Short Term Rental?
34 Edward Ave	Single-family	No
26 Edward Ave.	Single-family	No
9 Peterson Ridge	Single-family	No
7 Peterson Ridge	Single-family	No
6 Peterson Ridge	Single-family	No
5 Peterson Ridge	Single-family	No
4 Peterson Ridge	Single-family	Yes
3 Peterson Ridge	Single-family	Yes
2 Peterson Ridge	Single-family	No
20 Edward Ave.	Single-family	Yes
22 Edward Ave.	Single-family	Yes
38 Edward Ave	Single-family	No
40 Edward Ave	Single family	No
44 Edward Ave	Single family	Yes
46 Edward Ave.	Single family	Yes, via SLU

The city placed a tracking list of all registered short term rentals on the city webpage. For reference, please see the link: <https://grandhaven.org/wp-content/uploads/2025/04/Str-Map-List.pdf>



STR nearby

3.0 Correspondence

As of the date of this staff report, the City has received six emails regarding the case, all are included in the packet.

4.0 Sample Motion

Motion to APPROVE Case 25-14, a request for a Special Use Permit for a short term rental located at 36 Edward Ave. (parcel #70-03-29-156-045) based on the information submitted for review with the following condition:

1. *Sleeping occupancy shall be determined by the building official.*

Motion to DENY Case 25-14, a request for a Special Use Permit for a short term rental located at 36 Edward Ave. (parcel #70-03-29-156-045) based on the information submitted for review with the following condition:

1. *Insert reasons for denial.*

Attachments:

- A. Special Land Use application
- B. Floor Plan
- C. Correspondence

SPECIAL LAND USE PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org

1. Project Information

Address/location of property: 36 Edwards Ave, Grand Haven, MI 49417

Parcel #: 700329156045

Zoning District: DR-Dune Residential

Current Use: Residential

Proposed Use: Residential

Area in Acres or Sq. Ft.: 4791 sqft lot / 1723 sqft home Zoning of adjacent properties: DR

2. Applicant

Name: Gabrielle Farkas

Company: _____

Address: 8398 Cameron Ct.

Pickerington, OH 43147

Phone: 330-883-2322

Email: gfarkas32@gmail.com

3. Property Owner

Name: Gabrielle Farkas

Address: 8398 Cameron Ct.

Pickerington, OH 43147

Phone: 330-883-2322

Email: gfarkas32@gmail.com

4. Required Application Materials

- Application (PDF + 5 copies)
- Site Plan (PDF + 5 copies)
- Letter or signed narrative describing the proposed special land use and detailing why the location selected is appropriate. Narrative must include responses to the special land use review standards of Section 40-116.03 and the specific review standards of Article V of the Zoning Ordinance.
- Statement of expected effect of the special land use on emergency service requirements, schools, storm water systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes
- Additional information which may be necessary (i.e. soil erosion, dune protection, view protection, shoreline protection, excessive noise or adverse impact on surrounding properties).
- Supporting statements, evidence, data, information and exhibits that address the standards and requirements for assessing a Special Use permit application as provided in Section 40-116.03.
- Required fee

1. Fees and Escrow Deposit

Application Fee: \$350.00 (any Site Plan Review is in addition to this review)

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.



2. Details of the Nature of Work Proposed

Residential property applying for short term rental approval.

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: Gabrielle Farkas Date: 03-08-25
Print Name: Gabrielle Farkas

Signature of Owner: Gabrielle Farkas Date: 03-08-25
Print Name: Gabrielle Farkas

Office Use Only

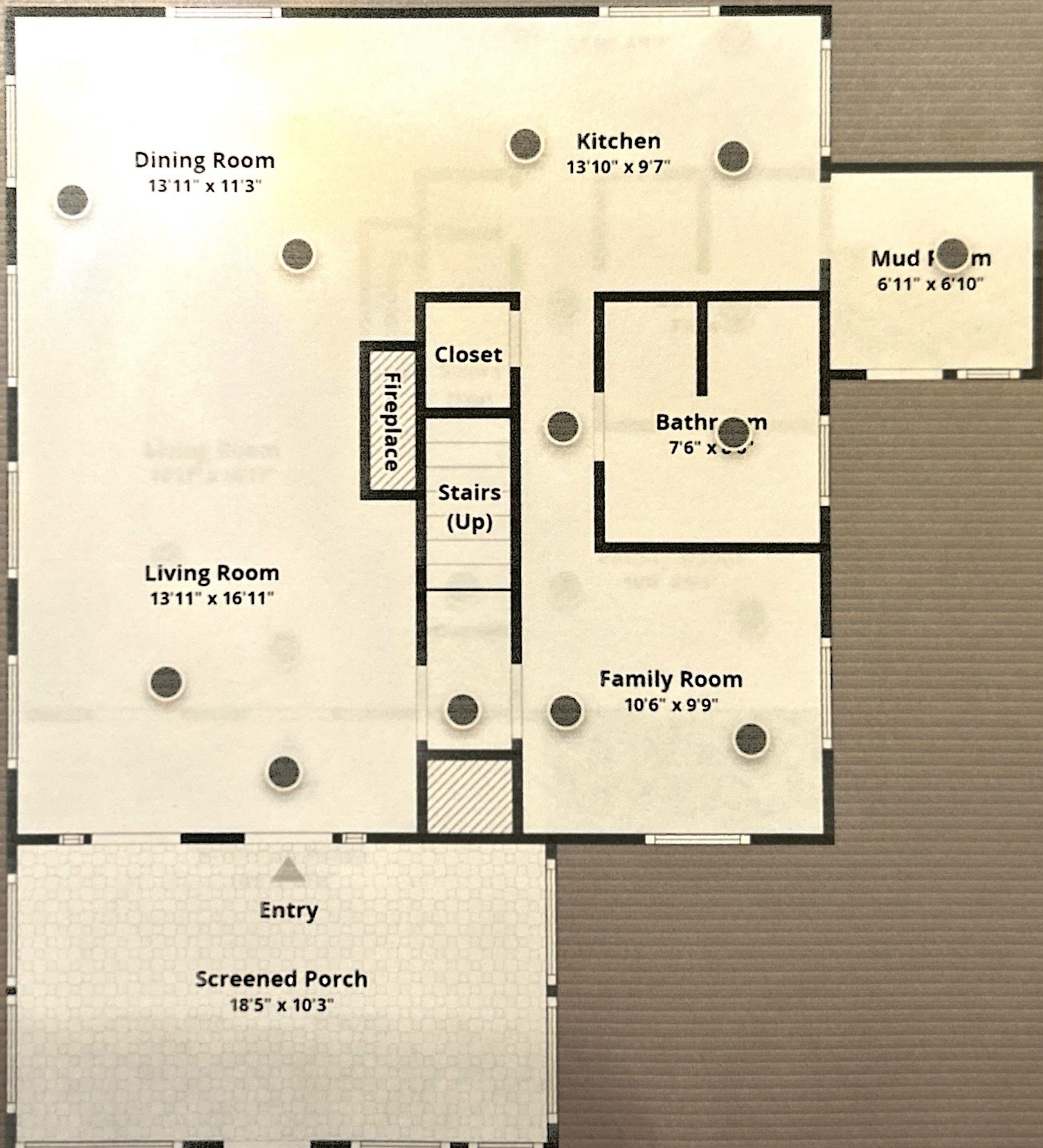
Case #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Approved by: _____



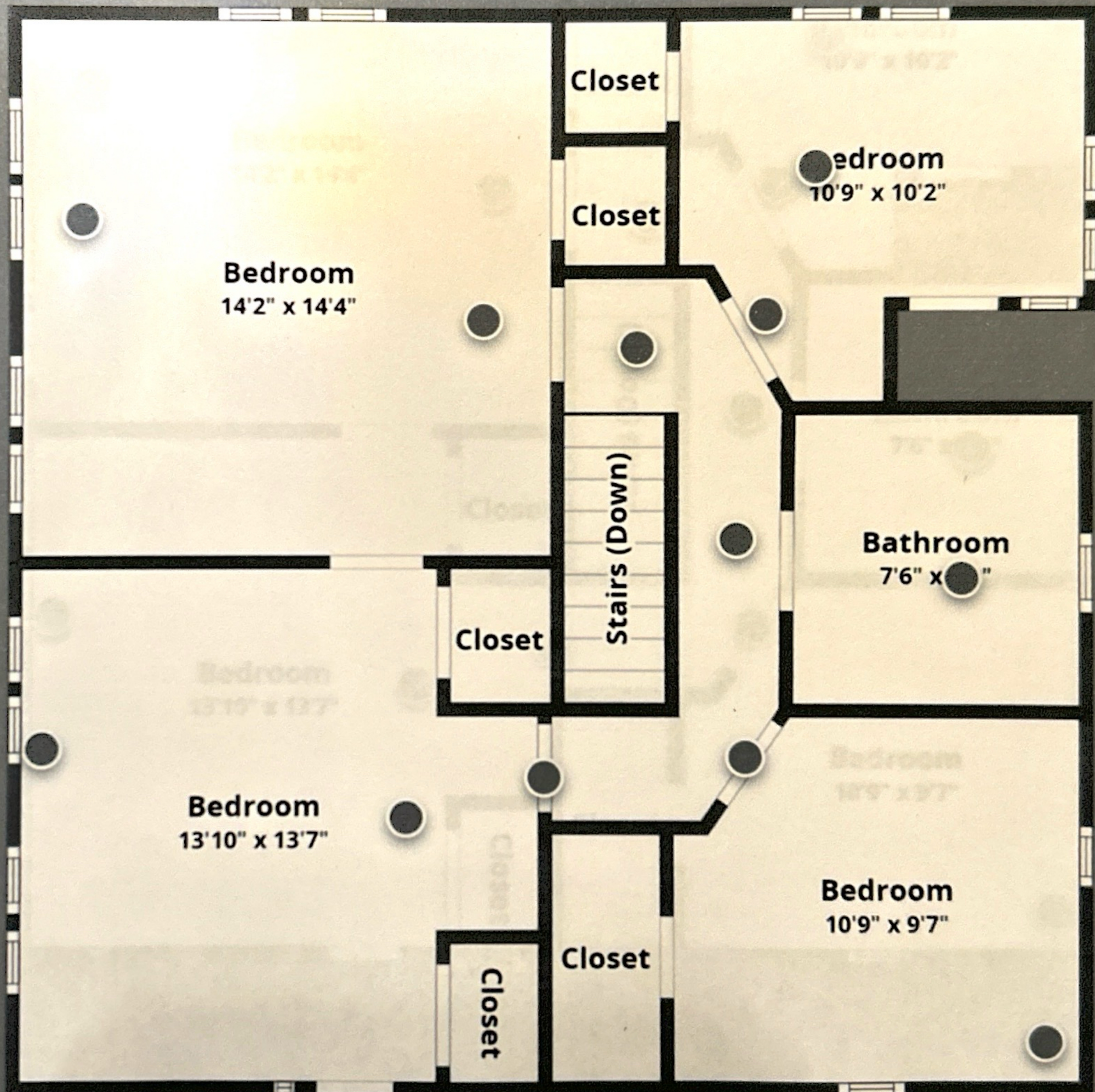


Floor 1, ~905 sqft





Floor 2, ~850 sqft



Dear Mr. Urquhart,

I have been coming to Grand Haven for 70 years, first as a cottage owner in Highland Park and now as a permanent resident on Edwards Avenue. The Grand Haven community is one where people know their neighbors and look forward to getting together in the warmer months.

For the record, we were not notified by the city nor were many of our neighbors regarding Case 25-14. Last year we also did not receive notification when 46 Edwards was approved as a short-term rental on our residential street.

We are not anti-rental people by any means but our street is approximately 40% rentals. According to various articles on short term rentals in vacation communities, the recommended percentage is between 10-25% in order to maintain a balanced community. We are a small community of homeowners who take pride in our street and wish to maintain the quality of our small neighborhood for the long term. Short term renters bring increased traffic, parking problems, noise disturbances and change the character of the residential street. They do not have any vested interest in the neighborhood.

Edwards is a single lane street in need of desperate repair (see attached photos) and repaving. Parking and safety are major concerns. Last year 46 Edwards was approved for short term renting. We live 2 doors down and dealt with parking issues every time someone rented. The city asked us to contact UNSALTED every time this occurred. When cars are parked illegally on the street, emergency vehicles cannot get through. We asked tenants to move cars for safety reasons which they usually complied with until the next day when cars were parked illegally again. 46 Edwards was approved for 6 residents which usually meant 3 cars and sometimes 4-5 with visitors. We should not have to deal with this on a residential street. What support from the city can we expect in policing this matter?

36 Edwards has 2 parking spots but the cottage has 4-5 bedrooms. Multiple families will rent and then the parking issue will continue. There are no other parking spots available without parking illegally or in another homeowner's spot.

Many of the homes on Edwards are close in proximity and when short term renters come, they are coming to "party and vacation" which brings excessive noise to our peaceful street. Many of the homes do not have air conditioning so as a resident, my sleep was interrupted while I listened to loud music and conversation. This was our experience last year with 46 Edwards. Who will enforce the noise ordinance?

Short term rentals bring additional trash to our street. Cans overflow and the wind brings the trash to Mulligan's Hollow and the Lake.

If this was your street, would you want excessive parking issues, noise, more trash and a less safe neighborhood? We must limit the number of short-term rentals to maintain our Edwards Avenue and Petersen Ridge community. Please vote against yet another short-term rental and deny petition Case 25-14.

Sincerely,

Alan and Deborah Greenfield, 40 Edwards Avenue

From: [Bob King](#)
To: [Brian Urquhart](#)
Cc: nmking25@gmail.com; [Robert King](#)
Subject: Case 25-14 36 Edward Ave
Date: Wednesday, April 16, 2025 10:58:15 AM

Hi Brian,

Weighing in on the upcoming rental hearing for 36 Edward Ave.. Our property is at 6 Peterson Ridge , maybe a 100 yards from this home. Our concern is three fold:

- There is a lot of traffic already on Edwards and parking spaces are hard to find. Renters do not typically understand that they cannot just grab open spots nearby their cottage. This often becomes a heated debate between parking spot owners and short term users.
- For the most part, Rental property users are not as concerned as owners about noise and commotion.
- There are a number of rentals in the area already. Within 200 yards, there are at least 8 rental properties.

Thanks for asking for input on this topic. We just want to keep an appropriate balance.

Bob and Nicole King
6 Peterson Ridge
Grand Haven, MI 49417
847-812-9779

From: [catherine.ruster](#)
To: [Brian.Urquhart](#)
Subject: Request for Planning Commission to Deny Short Term Rental Permit for 36 Edwards Avenue
Date: Wednesday, April 16, 2025 10:20:06 PM
Attachments: [IMG_7497.png](#)

Dear Grand Haven Planning Commission,

We are writing **to oppose the approval of a permit for a Short-Term Rental at 36 Edwards Avenue, Grand Haven.**

We have owned our home at 9 Peterson Ridge, Grand Haven since 2015. Our property abuts Edwards Avenue, and one corner of 36 Edwards Avenue is adjacent to our property on the opposite side of Edwards Avenue.

We oppose the approval of a Short-Term Rental Permit at this location for safety, noise and trespassing purposes - renters are louder than residents and often park in ways that obstruct traffic or are on residents' parking spaces. See attached photo of one example where five cars were parked in the rental property's two permitted spaces - one car is in our neighbor's parking spot and another is in ours. They trespass over our property (passing through a gate clearly marked "Private - 9 Peterson Ridge") looking for the path to the beach. They set off illegal fireworks. As the number of short-term rental permits has increased from 270 units at the time of the 2017 moratorium (March 3, 2017 article on https://link.edgepilot.com/s/e458be7a/C_JLKVesekalny5siPA8ng?u=http://www.mlive.com/) to now 348 units (March 5, 2025 report on <https://link.edgepilot.com/s/777104d5/Miyk17A4VEKlx1UbsBUpVg?u=http://www.wgvnnews.org/>) - an increase of 28% - our quality of life has diminished and our neighborhood has been negatively affected by the additional safety, noise and trespassing issues in many ways.

We expect other neighbors will provide additional specifics on these negative impacts as we are increasingly experiencing them, but we would like to focus on the unsuitability of granting this property a short-term rental permit based on the City's own Zoning Ordinance:

1. Property is less than half the Minimum Lot Size for the Dune Residential neighborhood.

- City Zoning Ordinance Sec. 40-513 states that an applicant for a short-term rental permit must meet certain standards for short-term rental use.
- One of these standards is that "If the subject lot does not meet the district minimum lot area or has other dimensional non-conformities, the planning commission may determine that the short-term rental use is not suitable or it may condition approval on measures that mitigate potential adverse effects of operating a short-term rental on the lot."
- The minimum lot area for the Dunes Residential neighborhood is 10,500 square feet. City Zoning Ordinance Sec. 40.406-02. 36 Edwards has an area of 4,791 square feet - a mere 45% of the district minimum. In fact, **36 Edwards is the smallest lot on Edwards Avenue** (<https://link.edgepilot.com/s/cd298a9f/GgRa41Y8k0CeFMPAkha6tw?u=http://www.gis.miottawa.org/>). In our opinion, this makes it unsuitable for use as a short-term rental.

If the Planning Commission were to approve the short-term rental permit application for 36 Edwards, given the tiny lot size, condensed space and proximity to neighbors with limited to no buffer between homes, it will need to condition the approval on measures that mitigate potential adverse effects. Such mitigation should include reducing the permitted number of occupants to no more than 45% of the standard occupancy typically permitted.

2. Property has only two parking spaces.

- 36 Edwards has two parking spaces, both parallel to Edwards. See photo from real estate listing attached.
- We have witnessed cars parked at rental properties on Edwards with parallel parking spaces similar to 36 Edwards decide to park perpendicular to the road to allow more cars. This obstructs the road and is a safety hazard regarding emergency vehicles and also can obstruct garbage trucks, delivery trucks, etc.
- City Ordinance Sec. 40-604.03 states that for short-term rentals, there must be "2 parking spaces per unit (up to six occupants), plus one space for every three occupants over six."
- If the City were to approve the short-term rental permit for 36 Edwards, by its own Zoning Ordinance it can only approve it for six occupants. The real estate listing states that the home has 5 bedrooms. This would typically correlate to 10-14 people. At a minimum, if this permit is approved it must permit no more than six occupants.

4. Additional short-term rental permit is inconsistent with the express intent of the Dune Residential District.

- Zoning Ordinance Sec. 40-406.01 expressly states that with respect to the Dune Residential District "The intent of this district is to preserve the character of the neighborhoods and resources of the dunes **for the enjoyment of residents and visitors alike.**" (Emphasis added as it seems that the balance has tipped very strongly to the desires of renters/rental property owners and we would like to remind the Planning Commission that the enjoyment as directed in the Zoning Ordinance is required to be alike.)
- There are currently many short-term rental properties within a short distance of our home. Since we cannot find a list of such properties on any City or public website, based on our observations there are at least 15 short term rental properties in our small neighborhood - on Edwards Avenue, Peterson Ridge, and Harbor Drive (these houses line the end of Peterson Ridge). There are 33 properties within this same area, so almost half are short-term rentals. See attached photo of an aerial plat photo of our neighborhood, showing our property (9) marked with an arrow and shaded red; the short-term rental properties shaded in blue; and 36 Edwards marked with an arrow and shaded in pink. Please note that from the challenging lot lines in our neighborhood, we may have shaded blue properties that are adjacent to the actual short-term rental, but as there appears to be no available map showing the exact location this is our best determination and if anything is conservative.
- Short-term rental properties do not maintain landscaping to the same extent as

residential residents. There are typically no flowers or other beautification. Weeds flourish. Wet towels are conspicuously hung over deck railings and chairs and other play items like bikes and beach games are scattered around the property or along Edwards Avenue. In addition, late night parties and group gatherings are not conducive to a family neighborhood with people (including ourselves) who have to get up for work the next morning.

- While we have been good, friendly, and tolerant neighbors to the renters and recognize that some commercial use (short-term rentals) is permitted, as the number of rental properties in our neighborhood has increased our quality of life has declined. They have brought more safety, noise, traffic and parking issues. At this point, the character of our neighborhood has already been negatively affected by this rise. By adding yet more short-term rental property(s) - especially if it is on the smallest lot on the street - to this already over-burdened neighborhood is in direct opposition to the City Zoning Ordinance's stated intent of the neighborhood within the short-term rental program.

In addition to the above reasons why a short-term rental permit for 36 Edwards is unsuitable under the existing City Ordinance and thus the Planning Commission should deny the application, we are concerned about the deference paid to the rental property owners at the expense of residential residents:

- We recently saw reports on <https://link.edgepilot.com/s/777104d5/Miyk17A4VEKlx1UbsBUpVg?u=http://www.wgvunews.org/> and elsewhere, that the City planned to increase the short-term rental permit owners annual fee from \$160 to \$540 - an amount similar to other areas (Saugatuck, Muskegon, Douglas, etc.). At the City Council meeting in early March, the City Finance Director showed that the amounts received in revenue from the short-term rental permits are not even closely covering the City's costs to inspect the number of short-term rental properties.
- At the meeting, some of the short-term rental property owners objected to the increase, even though the City clearly showed that the fees are insufficient and way below market compared to the other areas. The City Council gave in to the short-term rental property owners' objections and while the fee will be increased gradually, it is still way below the costs incurred by the City and way below market.
- The obvious result of this is that residential owners like us are subsidizing the costs these short-term rental property owners impose on the City. They are profiting from their units in amounts of \$4,000 - \$7,000 per week, yet they object to paying an additional \$380 a year to defray the City's costs of permitting their rental use. The City has thus allowed residential neighbors who have to put up with the increased noise, traffic and safety issues they cause to foot the bill. How is this fair?
- We have also had significant trouble getting the City to enforce the City Code with respect to open fires less than 15 feet from houses (including from neighbors' houses!), and with respect to parking issues at rental properties. We are told by the City to contact the rental unit manager or we receive no response to legitimate concerns about large fires in close proximity to wooden structures. No doubt the limited permit revenues translate into limited budgets

for this necessary oversight, but the result is a significant safety risk.

As a proud resident of Grand Haven and a neighborhood property owner, it seems that the rental property owners' objections and interests are taken into account far more than ours. Why is that? Where is the balance? If you continue to add to the short-term rental market, the neighborhood will continue to decline, property values will decrease and you will drive out residential property owners such as ourselves, which will be detrimental to the City and the beachfront area as a whole.

For the above reasons, we request that the Planning Commission **deny the short-term rental permit application for 36 Edwards Avenue.**

Furthermore, if this application is not denied, we would like to know the following:

- 1. What mitigation measures are applied to the permit given its small lot size and small parking area; and**
- 2. Has any application for a short-term rental permit ever been denied. If not, what is the criteria for denials as the increase in rental properties take over the residential properties? Surely the City has some balance in mind.**

Submitted respectfully,

Brian and Catherine Ruster

9 Peterson Ridge, Grand Haven

From: [Jeffrey Miller](#)
To: [Brian Urquhart](#)
Cc: [Nancy Wildeman](#); [Margot L. Van Dis](#)
Subject: Case 25-14
Date: Thursday, April 10, 2025 12:45:51 PM

April 10, 2025

Mr. Brian Urquhart
Grand Haven Planning Commission
519 Washington Avenue
Grand Haven, Michigan 49417

Dear Mr. Urquhart:

I am writing in opposition to the petition, Case 25-14. I understand that a hearing and decision will be held this April 22nd. Unfortunately, I will be out of town and cannot attend the meeting, but very much want my position known. I strongly believe that the owners of 36 Edward Avenue (parcel #70-03-29-1565-045) should not be awarded a special land use permit for short term rental.

By my count there are already currently six short term rentals on Edward Avenue that have significantly impacted, in a detrimental way, the peace and harmony of the existing neighborhood. Short term rental patrons do not have any investment in the local community and often do not, in general, take into account the effects of their "vacation" behavior on the adjacent full time neighbors.

In addition, the dwellings at #2, #4, and #5 Peterson Ridge on the west side of Edward Avenue are also short term rentals. At what point and how many rentals can be allowed by the city before the surrounding area is awash in visitors and not full time residents who are the foundation of a neighborhood?

Compounding the problem with the specific property in question is that it has only two small parking spaces on a very narrow street. The two parking spots are wholly inadequate when trying to accommodate large minivans, SUVs and extended cab trucks which are commonly the vehicles of choice of short term vacationers. Additionally, short term rentals very often attract multiple visitors with multiple vehicles which Edward Avenue was not originally designed for. The result is often encroachment on other people's empty parking spots, parking in someone else's spot, or blocking someone's spot by double parking. This has created unnecessary tensions in the past, and another rental property will only exacerbate the situation with the full time tax-paying residents.

Please deny petition Case 25-14.

Thank you for your time and attention regarding this matter.

Sincerely,

Jeffrey R. Miller
1120 South Harbor Drive
Grand Haven, Michigan 49417

From: dunequeen1@aol.com
To: [Brian Urquhart](#)
Subject: Short term rental at 36 Edwards
Date: Tuesday, April 8, 2025 12:09:29 PM

Please check your records as we did not receive notice of this nor did many of our other neighbors. It was sent to us by another neighbor. This same thing happened when “Groove Den” on Edwards was approved for rental last year.

I am very strongly opposed to any more short term rental approvals on Edwards. Please check your records as to the number of short term rentals already approved on Edwards and Peterson Ridge. We are at the tipping point of changing the flavor of this special, small neighborhood. The full time owners should be given more consideration.

As you know, Edwards is a very narrow street. More (often faster/louder) traffic in and out is an on going issue. We have also had parking issues from rentals that block the road which causes potential problems for any emergency vehicles.

I am concerned that you are not getting the full picture as these notices are not being received by home owners and the hearings are scheduled before many of us are back in residence for the summer and are unable to attend these hearings.

Nancy Wildeman
12 Edwards Ave

[Sent from the all new AOL app for iOS](#)

From: dunequeen1@aol.com
To: [Brian Urquhart](#)
Subject: Re: Short term rental at 36 Edwards
Date: Wednesday, April 9, 2025 4:11:57 PM

We received our notice today.

I would appreciate if you would add these two observations to the record.

By my estimate, Edwards and Peterson Ridge already have at least a 40% short term rental rate. I have read that less than 25% is the goal for most vacation communities. This most certainly is/has changed the flavor of our neighborhood.

Secondly, real estate agents declare that our neighborhood is a good buy for getting a return on investment due to desirability of short term rental income. Not a positive for us.

As a long term owner, I bought for the desirability of a small, unique and close knit neighborhood. The short term rental infestation is completely ruining that.

Thank you.
Nancy Wildeman

[Sent from the all new AOL app for iOS](#)

On Tuesday, April 8, 2025, 12:20 PM, Brian Urquhart <burquhart@grandhaven.org> wrote:

Nancy,

The records show that your mailing address is:
100 S Birch Rd. #1204
Fort Lauderdale, FL 33316

Notices were mailed on Saturday.

Based on your email, I'm under the presumption you have not received the post card yet. I would trust you should receive it shortly.

Please let me know either way if you receive the notice or not. I would greatly appreciate that.

Thanks,



Brian Urquhart AICP

City Planner

616-935-3276
231-282-4915
burquhart@grandhaven.org
519 Washington Ave.
Grand Haven, MI 49417

CONFIDENTIALITY NOTICE: The information contained in this e-mail may be confidential or legally privileged and is intended only for use only by the named recipient. Unauthorized use, disclosure, or copying is strictly prohibited and may be unlawful. If you have received this communication in error, please notify the sender immediately at (616-935-3276).

From: dunequeen1@aol.com [mailto:dunequeen1@aol.com]

Sent: Tuesday, April 8, 2025 12:09 PM

To: Brian Urquhart <burquhart@grandhaven.org>

Subject: Short term rental at 36 Edwards

Please check your records as we did not receive notice of this nor did many of our other neighbors. It was sent to us by another neighbor. This same thing happened when "Groove Den" on Edwards was approved for rental last year.

I am very strongly opposed to any more short term rental approvals on Edwards. Please check your records as to the number of short term rentals already approved on Edwards and Peterson Ridge. We are at the tipping point of changing the flavor of this special, small neighborhood. The full time owners should be given more consideration.

As you know, Edwards is a very narrow street. More (often faster/louder) traffic in and out is an on going issue. We have also had parking issues from rentals that block the road which causes potential problems for any emergency vehicles.

I am concerned that you are not getting the full picture as these notices are not being received by home owners and the hearings are scheduled before many of us are back in residence for the summer and are unable to attend these hearings.

Nancy Wildeman
12 Edwards Ave

[Sent from the all new AOL app for iOS](#)



JAMES RICHARDSON

DATE: April 17, 2025
TO: Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 25-09:** Special Land Use Public Hearing – 1445 Columbus Ave.

Current Zoning: TI, Transitional Industrial
Existing Use: Parking lot and Spotlight Dance Academy
Proposed Use: 37-unit multiple-family dwelling

1.0 Request

Joe Westerbeke of *Eng. Engineering and Survey*, submitted a site plan and special land use application for multiple-family dwelling at 1445 Columbus Ave. (parcels #70-03-21-477-017 & #70-03-21-447-016). The total lot area of the development is 0.86 acres. A multiple-family dwelling is permitted by special land use in the Transitional Industrial (TI) district per Sec. 40-419.02.B.

Recently a preliminary plan review was held in which the Building Official, Fire Marshal, Dept. of Public Works, Board of Light & Power did not have any major concerns. The proposed height, lot coverage, exterior design, and access management all met the standards in the TI district.

2.0 Site Plan Review

Building site placement

The TI district requires a front yard setback of 25 ft. The building is setback 25 ft. from both Columbus and Beechtree. The side yard setback is 10 ft. from the west and north lot lines. Maximum lot coverage in the TI district is 70%. The proposed lot coverage is approximately 40.2%. The maximum building height in the TI district is 40 ft., and the proposed height is 39 ft. 6 in.

Building form

The TI district does not require specific transparency requirements, but does require building articulation every 50 ft. The articulation is accomplished with the proposed windows and exterior material design. The building exterior is comprised of sandstone masonry, vintage brick, vinyl frame windows, pre-finished metal cap flashing, and window openings on the garage level.

Floor Plan

The garage level includes an entrance lobby, stairway, equipment room and two 1-bedroom units. The 2nd and 3rd levels include eight 1-bedroom, eight efficiency units, and one 2-bedroom unit. The roof level includes one 1-bedroom unit with a roof deck and an exit walk to the stairway and elevator. Residential unit size varies from 1,050 sq. ft. 2-bedroom, to 600 sq. ft. efficiency units. All units meet the minimum residential floor area of 400 sq. ft.

Parking

Per Sec. 40-604.03, a multiple-family dwelling requires two spaces per dwelling unit. After the work session, the applicant amended the site plan. The applicant is proposing 62 total off-street spaces, with 30 covered spaces on the first floor of the building, and surface spaces along the west and north side of the building. The request is a reduction of 12 spaces from the required 74 spaces.

	Total Dwelling Units	Total Spaces
Required off-street parking	37	74
Requested off-street parking	37	62



Section 40-604.02 grants waivers and reductions for parking. The applicant notes a 20% reduction may be permitted by the Planning Commission for a use located within 800 ft. of a year round transit stop. However, it was determined the Harbor Transit seasonal stop near Beechtree and Fulton would not count towards this reduction, because the transit stop is not year round in use.

Sec. 40-604.02.C grants a reduction of 1 space per 4 covered or uncovered bicycles spaces. The site plan calls for 38 bicycle spaces, or reduction in 9 parking spaces. The plan also calls for 3 Electric Vehicle charging spaces, 5 compact spaces, and 4 spaces on adjacent property via shared parking agreement.

Parking Calculations: 74 spaces (required parking) - 9 spaces (38 bicycle parking spaces) = 65 spaces. At the work session, the original proposal was for 58 spaces. The Planning Commission recommended the applicant locate about 4 more spaces, and the parking amount would be determined satisfactory. With the bicycle racks and the 4 spaces via shared parking agreement at 1426 Fulton, parking demand should be met.

Previously mentioned during the work session, the city has made a commitment to provide additional housing units to the housing supply. Chapter 12 of the adopted 2023 Master Plan, lists goals for housing and neighborhoods. Goal 1 states *"Dwellings in Grand Haven will include a broad range of housing types, including detached and attached, appropriate for all segments of the population. The city should support a variety of housing types and densities and mixed-use developments for all segments of the population that places users near daily services."* Staff believes by granting the parking reductions, the proposed development would satisfy the Master Plan.

Signage and lighting

No signs are shown on the property. The application states 12' to 15' tall light poles will be installed around the parking lot. Ceiling mounted lighting is planned for the garage. No exterior lighting is shown. In order to protect nearby residential uses, a photometric plan should be provided for the exterior parking areas, particularly along the western portion of the property.

Stormwater Management

The parking lot includes catch basins directing stormwater to the main off Beechtree. There is also a gas/oil separator added downstream of the catch basins in the parking garage, as required per DPW.

Landscaping

8 Red Maples and 6 Japanese Lilac are shown to be planted in the front and side yards of the property. Sec.40-801.D. requires deciduous trees to be planted within the parkway along Columbus and Beechtree, spaced no more than 25 ft. apart. Sec. 40-803.02 requires a screening area of not less than 5 ft. in width along the perimeter of an off street parking lot to protect from nearby uses. The west lot line is shared with the residential home at 1423 Columbus. The 5 ft. wide buffer area is comprised of arborvitae, planted 6 ft. in height, and red maples, also planted 6 ft. in height. The combination should provide screening between the uses.

Fire Protection

The applicant says emergency access will be available from Columbus and Beechtree. There will be a 4 in. fire suppression line serving the building. A fire hydrant is located on the SE corner of Beechtree and Columbus.

Mechanical Screening

The application calls for all mechanical systems to be individual thru-wall vented units. No roof top screening will be required.



Trash Receptacles

A 22' x 22' dumpster area is shown on the NW corner of the site screened by a 6 ft. tall wooden fence.

Pedestrian connectivity and non-motorized parking

The eastern entrance serves as a walk up entrance to the building, near the bicycle racks. The site plan includes a sidewalk around the south, west, north and west walls of the building. However, there is no sidewalk shown to connect to Columbus. As mentioned previously, there are 38 total bicycle racks located at the SW, NW, and E side of the building.

3.0 Correspondence

At of the time of the memo, staff has not received any correspondence regarding this case.

4.0 Sample Motions

Motion to APPROVE Case 25-09, a request for a special use permit for a multiple-family dwelling at 1445 Columbus Ave. (parcels #70-03-21-477-017 & 016) based on the information submitted for review.

1. *(Insert conditions as necessary).*

Motion to APPROVE Case 25-09, a request for a site plan review for multiple-family dwelling at 1445 Columbus Ave. (parcels #70-03-21-477-017 & 016) based on the information submitted for review, and subject to the following conditions:

1. *All conditions of the Fire Marshal and DPW shall be met.*
2. *Applicant shall provide shared parking agreement for the 4 spaces located on 1426 Fulton Ave. (parcel #70-03-21-477-018).*
3. *A sidewalk shall be shown to connect the internal sidewalk to Columbus Ave.*
4. *(Insert any other conditions as necessary).*

Attachments:

- A. Site Plan Application
- B. Special Land Use permit application
- C. Preliminary site and floor plan (7 sheets)

SITE PLAN REVIEW PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org

1. Project Information

Address/location of property: 1445 Columbus Ave

Parcel #: 70-03-21-477-017

Current Use: Commerical - Improved

Area in Acres: .43

Zoning District: Commerical - Improved

Proposed Use: Residential

Zoning of adjacent properties: Commercial - Improved

2. Applicant

Name: Peter Oleszczuk

Company: ~~Midwest V, LLC~~ Westwind Construction

Address #: 1435 Fulton St., Second Floor

Grand Haven, MI 49417

Phone #: 616-842-2030

Email: pete@westwind.build

3. Property Owner

Name: Beechtree Leasing, LLC.

Address: 1445 Columbus Ave

Grand Haven, MI 49417

Phone #: _____

Email: _____

4. Required Attachments

- PDF + 5 copies of the application
- PDF + 5 copies of site plan
- PDF + 5 copies of the building elevations
- PDF + 5 copies of the landscape plan
- Project phasing plan (if applicable)
- Signage plan and details
- Proposed topographic map
- Existing topographic map

5. Fees and Escrow Deposit

Up to \$100,000: \$200.00

\$100,001 to \$500,000: \$300.00

\$500,001 to \$1,000,000: \$400.00

\$1,000,001 & Up: \$500.00

Estimate Project Cost: \$1.15M.

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.

6. Details of the Nature of Work Proposed *(please identify materials and colors to be used)*

Proposed 3 story apartment building with associated off-street parking under building and on site.

Materials and colors- see architectural sheets A2.0 & A2.1



7. Buildings and Structures

Number of buildings on site: 1
Height of buildings & # of stories: 4 stories

Use of buildings: Residential
Height of rooftop mechanical equipment: _____

8. Floor Use and Area (in square feet)**Commercial Structures**

Total floor area: N/A
Open space (area & %): N/A
Office space (area): N/A
Retail space (area): N/A
Industrial space (area): N/A
Assembly space (area): N/A
Seating capacity: N/A
Maximum occupancy load: N/A

Residential Structures

Total floor area: _____
Total # of units: 37
of 1 bedroom units: 19 Studio units: 16
of 2 bedroom units: 2
of 3 bedroom units: 0
Open space (area and %): _____
Rental or condominium?: rental
Maximum occupancy load: _____

9. Setbacks (see Article Four: District Regulations, Table 40-402.02, for setback requirements)

Required front yard: 25' double frontage
Required rear yard: N/A-Double frontage
Required total side yard: 10'

Proposed front yard: 25' double frontage
Proposed rear yard: N/A-Double frontage
Proposed total side yard: 10'

10. Parking (see Article Six: Parking, for zoning requirements)

Required # of spaces: 74
Typical angle of spaces: 90 degree
Location of parking on site: see sheet 3 for location
Shared parking agreement?: N/A
Number of employees: N/A
Explanation of screening (including location and materials):
see sheet 6 for plant materials

Proposed # of spaces: 62
Size of spaces: 9' x 19' or 8' x 16' for compact
Number of handicap spaces: 5
Location and # of off-street spaces: 62 spaces -see sheet 3 for location

11. Loading (see Section 40.605.04 for loading space requirements)

Required # of spaces: N/A
Typical angle of space(s): N/A
Location of loading space(s) on site: N/A
Explanation of screening (including location and materials): N/A

Proposed # of spaces: N/A
Size of space(s): N/A

12. Site Lighting (see Section 40-317 for lighting requirements)**Building Lighting**

of fixtures proposed: _____
Type of lighting proposed: _____
Height of fixtures: _____
Location of fixtures: _____

Parking Area Lighting

of fixtures proposed: _____
Type of lighting proposed: _____
Height of fixtures: 12'-15' light poles in parking lot
Location of fixtures: ceiling mounted in parking garage
Foot-candles at property line: _____

13. Landscaping (see Article Eight: Landscaping, for zoning requirements)

Location of landscape areas: see sheet 6 for location Proposed landscape material: see sheet 6 for material
proposed landscaping on west property line and around building and parking lot islands



14. Exterior Trash Receptacles (see Section 40-301.03 for Dumpster Enclosure requirements)

Location of receptacle: Northwest corner of property Size of receptacle: 22'x22' enclosure
Enclosure material: Wood fence Height of Enclosure: 6'

15. Mechanical Equipment (see Sections 40-306.08(C) & 40-322 for zoning requirements)

Ground Mounted Mechanical Equipment

of units: _____
Size of units (LxWxH): _____
Location of units: _____
Screening: _____

Rooftop Mechanical Equipment

of units: None - individual thru-wall vented
Type of rooftop units: units (see Architectural sheets)
Size of units (LxWxH): _____
Location of units: _____
Screening: _____

16. Accessory Buildings (see Section 40-301 for standards for accessory buildings)

of accessory building(s): 0 Size of accessory building(s) (LxWxH): N/A
Location of accessory building(s): N/A

17. Emergency Access Features (contact City of Grand Haven Fire Marshal with questions)

Emergency Access Roads: Emergency access from Columbus and Beechtree
Location of hydrants and fire department connection (FDC): FDC Location TBD. Hydrant located at SE corner of Beechtree/Columbus

18. Historic District information (contact [City of Grand Haven Historic Conservation District Commission](#))

Is this location within a Historic Conservation District? Yes/No/Unsure
Name of District, if applicable: _____

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: _____ Date: 3-10-25

Print Name: Peter Osmerick

Signature of Owner: _____ Date: 3-10-25

Print Name: Peter Osmerick

Office Use Only

Case #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Approved by: _____



SPECIAL LAND USE PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org

1. Project Information

Address/location of property: 1445 Columbus Ave

Parcel #: 70-03-21-477-017

Current Use: Commerical - Improved

Area in Acres or Sq. Ft.: .43

Zoning District: Commerical - Improved

Proposed Use: Residential

Zoning of adjacent properties: Commerical - Improved

2. Applicant

Name: Peter Oleszczuk

Company: Westwind Construction

Address: 1435 Fulton St., Second Floor

Grand Haven, MI 49417

Phone: 616-842-2030

Email: pete@westwind.build

3. Property Owner

Name: Beechtree Leasing, LLC.

Address: 1445 Columbus Ave

Grand Haven, MI 49417

Phone: _____

Email: _____

4. Required Application Materials

- Application (PDF + 5 copies)
- Site Plan (PDF + 5 copies)
- Letter or signed narrative describing the proposed special land use and detailing why the location selected is appropriate. Narrative must include responses to the special land use review standards of Section 40-116.03 and the specific review standards of Article V of the Zoning Ordinance.
- Statement of expected effect of the special land use on emergency service requirements, schools, storm water systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes
- Additional information which may be necessary (i.e. soil erosion, dune protection, view protection, shoreline protection, excessive noise or adverse impact on surrounding properties).
- Supporting statements, evidence, data, information and exhibits that address the standards and requirements for assessing a Special Use permit application as provided in Section 40-116.03.
- Required fee

1. Fees and Escrow Deposit

Application Fee: \$350.00 (*any Site Plan Review is in addition to this review*)

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.



2. Details of the Nature of Work Proposed

Proposed 3 story apartment building with associated off-street parking under building and on site.

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant:

Date: 3-10-25

Print Name:

Peter Demoszek

Signature of Owner:

Date: 3-10-25

Print Name:

Peter Demoszek

Office Use Only

Case #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Approved by: _____



March 11, 2025

Community Development Department
519 Washington Avenue
Grand Haven, MI 49417

Re: Special Land Use Permit Application
1445 Columbus Ave
Grand Haven, MI 49417

Mr. Urquhart,

Please see our boldened responses below showing how the proposed development meets the requirements for a Special Land Use as detailed in the City of Grand Haven Zoning Ordinance.

- Letter or signed narrative describing the proposed special land use and detailing why the location selected is appropriate. Narrative must include responses to the special land use review standards of Section 40-116.03 and the specific review standards of Article V of the Zoning Ordinance.

Section 40-116.03

A. *General review standards.* The planning commission, before acting on a special use permit application, shall employ and be guided by standards which shall be consistent with and promote the intent and purpose of this zoning ordinance, and ensure that the land use or activity authorized shall be compatible with adjacent uses of land, the natural environment, and the capacities of public services and facilities affected by the land use. The planning commission shall review each application and take action to approve a special use application only if it finds that such special use meets each of the following standards, together with any and all special use standards reflected for the zoning district, and any and all applicable specific review standards found in this article. The planning commission shall find adequate evidence that each use at its proposed location will be consistent with the public health, safety, and welfare of the city and shall comply with the following standards:

1. The special use shall be consistent with the adopted City of Grand Haven Master Plan.

Chapter 12 of the adopted 2023 Master Plan lists goals for housing and neighborhoods. Goal 1 states “Dwellings in Grand Haven will include a broad range of housing types, including detached and attached, appropriate for all segments of the population. The city should support a variety of housing types and densities and mixed-use developments for all segments of the population that places users near daily services.”

We believe the proposed development within the Transitional Industrial Zoning area would satisfy the Master Plan goal for additional housing.

2. The special use shall be designed, constructed, operated, and maintained to be consistent with the existing or intended character of the general vicinity and such use will not change the essential character of the area in which it is proposed.

The site is located in the Transitional Industrial zoning district, which is intended to allow for the transition from traditional industrial uses to commercial, retail, residential and some

live/work uses. The site is located adjacent to commercial and residential uses, and we believe the proposed use will have a minimal impact on the character of the area.

3. The special use shall not be hazardous or disturbing to existing or future uses in the same general vicinity and in the community as a whole.

The special use will not be hazardous or disturbing to the existing or future adjacent uses, or the community as a whole. We will ensure all landscaping and screening requirements, as well as architectural standards, are being met to ensure there is no negative impact to neighboring existing and future uses.

4. The special use shall be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, stormwater drainage, refuse disposal, water and sewage facilities, and schools; or persons or agencies responsible for the establishment of the proposed use shall provide adequately for such services.

The proposed development will be served adequately by the essential public facilities and services which are already existing for the adjacent properties on Columbus Avenue and Beechtree Street.

5. The special use shall not create excessive additional requirements at public cost for facilities and services and will not be detrimental to the economic welfare of the community.

The special use will not create excessive requirements at public cost for facilities and services. We believe there will be a benefit to the economic welfare of the community as a result of the proposed development.

6. The special use shall not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to any person, property, or general welfare by reason of excessive production of traffic, noise, vibration, smoke, toxic emissions, fumes, glare, or odors.

We do not believe the proposed special use will involve any uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to any person, property, or general welfare by reason of excessive production of traffic, noise, vibration, smoke, toxic emissions, fumes, glare, or odors.

The proposed development will result in a minimal change to the noise, vibration, or emissions in the area. There may be minimal changes to the traffic patterns at the property, however, we believe Columbus Avenue and Beechtree Street can accommodate any minor changes to the traffic patterns.

7. The special use shall meet the intent and purpose of the zoning ordinance; be related to the standards established in the ordinance for the land use or activity under consideration; and will be in compliance with these standards.

We believe the special use meets the intent and purpose of the zoning ordinance for the zoning district, and that the proposed site plan and architectural elevations meet the requirements of the ordinance.

As discussed as the preliminary site plan review at the Planning Commission Meeting on February 11, 2025, we are requesting a reduction of parking spaces. We have provided the additional parking spaces as requested at the Planning Commission Meeting, and believe we are in compliance with the zoning ordinance given the ordinance allows for some exemptions for parking.

8. The special use shall comply with the City of Grand Haven Code of Ordinances, as amended, including but not limited to Chapter 23, nuisances, as well as any applicable state and federal law

The proposed development shall comply with the City of Grand Haven Ordinance, including Chapter 23-02 which defines nuisances, as well as any applicable state and federal law.

- Statement of expected effect of the special land use on emergency services requirements, schools, stormwater systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes.

We believe the proposed development and special land use will result in no or minimal impact on emergency services requirements, schools, stormwater systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes. We believe the City's services are sufficient to accommodate any minor changes that result from the proposed project.

Sincerely,
Eng., Inc.



Joseph W. Westerbeke, PE
Project Manager

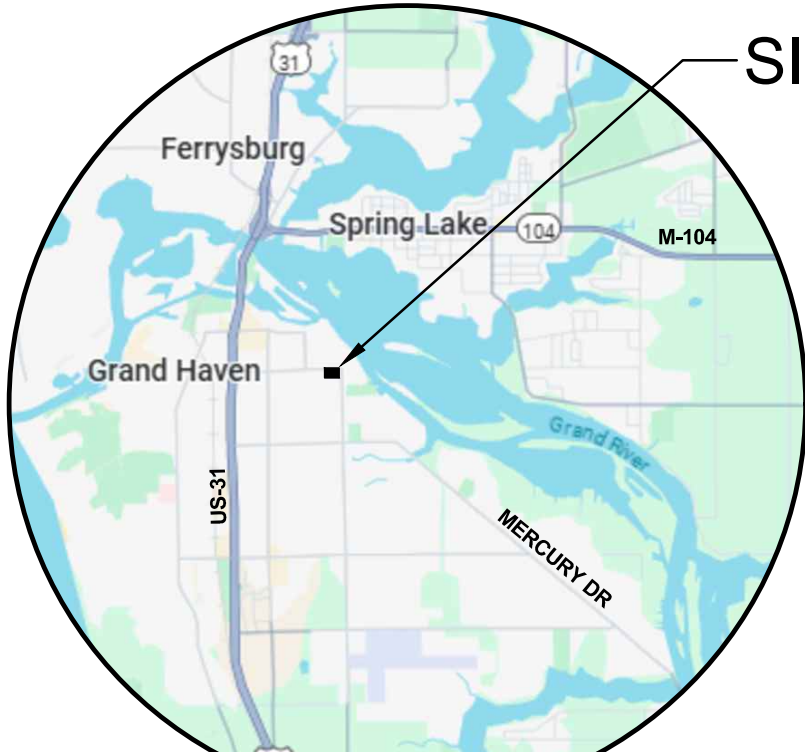
WESTWIND CONSTRUCTION

1445 COLUMBUS AVE, GRAND HAVEN, MICHIGAN



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



LOCATION MAP
NO SCALE

APPLICANT

WESTWIND CONSTRUCTION
1435 FULTON STREET,
2ND FLOOR,
GRAND HAVEN, MI 49417
(616) 842-2030

CIVIL ENGINEER

ENG., INC
16930 ROBBINS ROAD, SUITE 105
GRAND HAVEN, MI 49417
(616) 743-7070

ARCHITECT

OPPENHUIZEN ARCHITECTS
8135 OLIVE TRAIL
WEST OLIVE, MI 49460
(616) 846-8990

SHEET LIST

1. COVER SHEET
 2. TOPOGRAPHIC SURVEY & DEMOLITION PLAN
 3. SITE PLAN
 4. UTILITY PLAN
 5. GRADING & SOIL EROSION AND SEDIMENTATION PLAN
 6. LANDSCAPE PLAN
- A1.0 SITE AND PARKING LEVEL PLAN
A1.1 TYPICAL LEVEL 2-3 PLAN
A1.2 ROOF LEVEL PLAN
A2.0 ELEVATIONS
A2.1 ELEVATION

JOSEPH W. WESTERBEKE, P.E.

#6201064727

COVER SHEET

WESTWIND CONSTRUCTION

1445 COLUMBUS AVE GRAND HAVEN, MICHIGAN

PROJECT NO.

24030

SHEET NO.

1 OF 6

4063 Grand Oak Drive Suite A109
Lansing, MI 48201
311.887.1100
16930 Robbins Road Suite 105
Grand Haven, MI 49417
616.743.7070
2311 East Ballline Avenue, Suite 201
Grand Rapids, MI 49546
616.743.3020



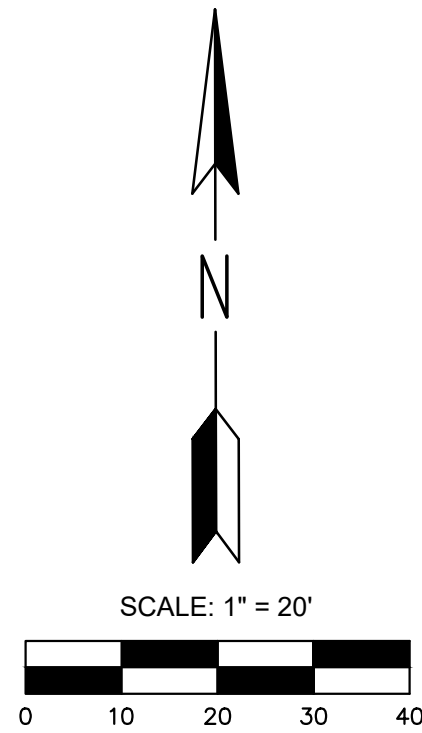
NO.	REVISIONS	BY	DATE	Drawn By	R/S	Date	Approved By	JWW	Date

DESCRIPTION TAKEN FROM:
CHICAGO TITLE INSURANCE COMPANY
FILE NO: 701198904CML
COMMITMENT DATE: FEBRUARY 6, 2012

AS LOCATED IN THE EAST $\frac{1}{2}$ OF THE EAST $\frac{1}{2}$ OF THE
SOUTHEAST $\frac{1}{4}$ OF SECTION 21, T8, NORTH R16, WEST. LOT 19
EXCEPT THAT PART DESCRIPTION AS BEGINNING AT SW
CORNER OF SD LOT & RUNNING EAST 4.8 FEET THENCE
NORTH 126.15 FEET TO NW CORNER THENCE SOUTH TO
BEGINNING AND ALL OF THE LOTS 20 & 21 CORLS ADDITION.

NOTE:
ALL EXISTING UTILITIES SHOWN
ARE APPROXIMATE LOCATION
FOR RECORD INFORMATION.

	=	PROPERTY LINE		=	EXISTING WATER VALVE
	=	EDGE OF PAVEMENT		=	EXISTING CURB STOP / METER
	=	FENCE		=	EXISTING HYDRANT
	=	EXISTING CONTOUR ELEVATION		=	EXISTING CATCH BASIN
	=	EDGE OF WOODS		=	EXISTING SIGN
	=	DECIDUOUS TREE		=	EXISTING MAILBOX
	=	EXISTING CONIFEROUS TREE		=	EXISTING LIGHT POLE
	=	REMOVE EX TREE		=	EXISTING GUY ANCHOR
	=	EXISTING ELECTRIC LINE		=	EXISTING UTILITY POLE
	=	BUILDING SETBACK LINE PER CURRENT ZONING ORDINANCE		=	EXISTING TELEPHONE PEDESTAL
	=	EXISTING GAS LINE		=	FOUND IRON PIPE, ROD OR CONCRETE MONUMENT
	=	EXISTING WATER MAIN		=	SET IRON ROD AND CAP NO 45499
	=	EXISTING STORM SEWER		=	BENCH MARK
	=	EXISTING SANITARY SEWER		=	EXISTING MANHOLE
	=	REMOVE EXISTING TREES AND BRUSH		=	EXISTING STORM CATCH BASIN
	=	REMOVE EXISTING PAVEMENT		=	EXISTING WELL LOCATION
	=	REMOVE EXISTING STORM SEWER		=	SOIL BORINGS (SEE SOILS & STRUCTURES SOIL BORING LOGS)
	=	EXISTING COMMUNICATION LINE			
	=	EXISTING TELEPHONE LINE			
	=	EXISTING EASEMENT			
	=	EXISTING BUILDING			



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1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY OTTAWA COUNTY.
3. CONTACT "811" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. OPERATIONS SHALL BE CONDUCTED IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH & REMOVE EXISTING SITE FEATURES AS REQUIRED.
5. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
6. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
7. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
8. TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. SWEEP IMMEDIATELY IF TRACKING OCCURS.
9. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
10. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
11. SAW CUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAW CUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
12. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSAL OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
13. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
14. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
15. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
16. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
17. CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TIRE PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.

4063 Grand Oak Drive Suite A109
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517.887.1100

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616.743.7070

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616.743.3020



1445 COLUMBUS AVE GRAND HAVEN, MICHIGAN

SHEET NO.

2 OF 6

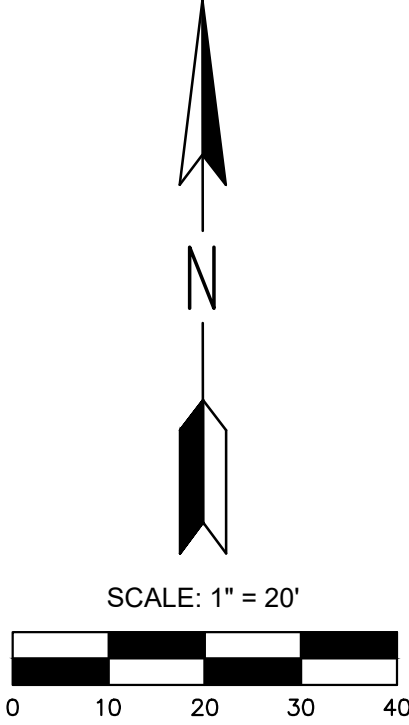
TOPOGRAPHIC SURVEY & DEMOLITION PLAN

GENERAL NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. ALL CURB RADII AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
4. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING, SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.

LEGEND

---	= PROPERTY LINE	⊞	= EXISTING CATCH BASIN
---	= EDGE OF PAVEMENT	△	= EXISTING SIGN
- x - x -	= FENCE	⊞	= EXISTING MAILBOX
~ 860 ~	= EXISTING CONTOUR ELEVATION	✱	= EXISTING LIGHT POLE
⊙	= EDGE OF WOODS	<	= EXISTING GUY ANCHOR
⊙	= DECIDUOUS TREE	—●—	= EXISTING UTILITY POLE
⊙	= CONIFEROUS TREE	⊙	= EXISTING TELEPHONE PEDESTAL
—●—	= BUSH	●	= FOUND IRON PIPE, ROD OR CONCRETE MONUMENT
—ε—ε—	= EXISTING ELECTRIC LINE	○	= SET IRON ROD AND CAP NO 45499
---	= BUILDING SETBACK LINE PER CURRENT CITY OF CENTERLINE ZONING ORDINANCE	⊞	= BENCH MARK
—GAS—	= EXISTING GAS LINE	⊞	= PROPOSED PARKING COUNT
---	= EXISTING WATER MAIN	●	= PROPOSED WELL LOCATION
---	= EXISTING STORM SEWER	■	= PROPOSED HMA PAVEMENT
---	= EXISTING SANITARY SEWER	■	= PROPOSED CONCRETE SIDEWALK/PAD
---	= EXISTING COMMUNICATION LINES	■	= PROPOSED CONCRETE PAVEMENT
---	= EXISTING TELEPHONE LINE	■	= PROPOSED OCRC CONCRETE PAVEMENT
○	= EXISTING MANHOLE	■	= PROPOSED STONE
⊞	= EXISTING STORM CATCH BASIN	■	= PROPOSED GRAVEL FIRE ACCESS ROAD
⊞	= EXISTING WELL LOCATION	■	= PROPOSED INVERTED PAN CURB AND GUTTER
⊞	= EXISTING WATER VALVE	■	= PROPOSED CURB AND GUTTER
●	= EXISTING CURB STOP / METER	■	= PROPOSED DOWNSPOUT
◇	= EXISTING HYDRANT	■	= PROPOSED EXTERIOR LIGHT
---	= EXISTING EASEMENT		



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SITE DATA

PROPERTY INFORMATION

PARCEL NUMBER: 70-03-21-477-017 & 70-03-21-477-016
DEVELOPER:
MIDWEST V. LLC,
1435 FULTON ST, 2ND FLOOR
GRAND HAVEN, MI 49417
(616) 842-2030
PROPERTY ZONING: TRANSITIONAL INDUSTRIAL (TI)
EXISTING LAND USE: INDUSTRIAL
PROPOSED LAND USE: RESIDENTIAL

ADJACENT PROPERTY ZONING

WEST: EASTOWN (E)
NORTH: TRANSITIONAL INDUSTRIAL (TI)
EAST: BEECHTREE (B)
SOUTH: TRANSITIONAL INDUSTRIAL (TI) & EASTOWN (E)

BUILDING SETBACKS

WEST: 10'
NORTH: 10'
EAST: 25'
SOUTH: 25'

UNITS

EFFICIENCY UNITS: 16 UNITS
1 BEDROOM UNITS: 19 UNITS
2 BEDROOM UNITS: 2 UNITS
TOTAL: 37 UNITS

PARKING

MINIMUM COMPACT SPACE SIZE: 8' X 16'
MINIMUM SPACE SIZE: 9' X 19'
MINIMUM AISLE WIDTH: 22'

PROPOSED: 32 SPACES OUTSIDE OF BUILDING

INCLUDES:
3 ADA SPACES
3 ELECTRIC VEHICLE SPACES
5 COMPACT SPACES
4 SPACES ON ADJACENT PROPERTY

PROPOSED: 30 SPACES UNDER BUILDING

INCLUDES:
2 ADA SPACES

TOTAL PROPOSED: 62 SPACES

LOT

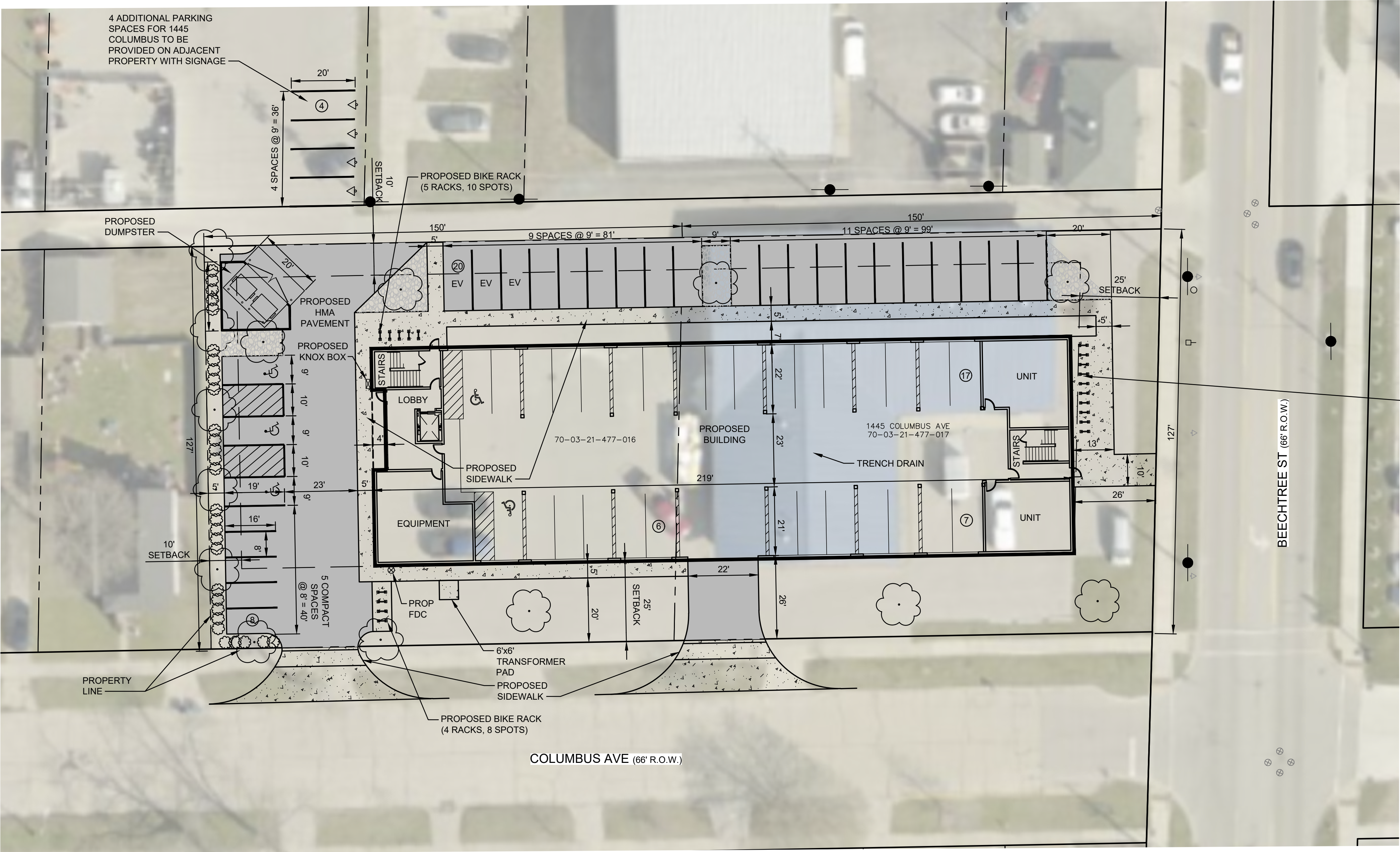
LOT WIDTH: 300'
LOT DEPTH: 126'

LANDSCAPING

LANDSCAPING PER CITY OF GRAND HAVEN ORDINANCE

STORMWATER RETENTION

STORMWATER PER OTTAWA COUNTY WATER RESOURCES
COMMISSION AS SHOWN ON UTILITY AND GRADING PLANS



WESTWIND CONSTRUCTION

1445 COLUMBUS AVE GRAND HAVEN, MICHIGAN

PROJECT NO.

24030

SHEET NO.

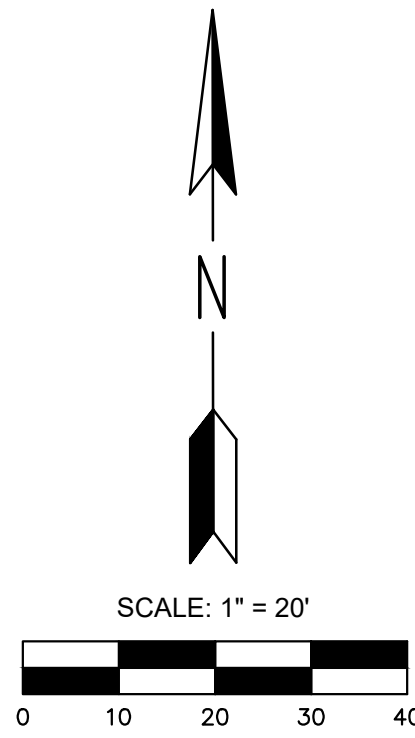
3 OF 6

SITE PLAN

1. SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHALL BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUNOFF WATER SHALL BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO REMAIN. IF POSSIBLE ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHALL BE ADEQUATELY PROTECTED.
2. REMOVE ALL SUBGRADE GRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
3. STORM SEWER SHALL BE CORRUGATED HDPE PIPE WITH SMOOTH INTERIOR WALL, BY ADS OR EQUAL. LEACHING BASINS AND MANHOLES ARE TO BE REINFORCED CONCRETE WITH RIM AND SLOTTED GRATING (AS SHOWN). STORM SEWER & LEACHING BASINS ARE TO BE WRAPPED WITH FILTER FABRIC.
4. INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
5. EXTERIOR CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI. ALL WALLS SHALL HAVE A MINIMUM AGGREGATE AND SHALL HAVE 4 - 6 % AIR ENTRAINMENT WITH A BROOM FINISH.
6. EXPANSION JOINTS IN CONCRETE PAVEMENT AND WALLS SHALL BE 1/2" ASPHALT IMPREGNATED FULL DEPTH 40' O.C. MAXIMUM & AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING AT SIDEWALK WIDTH DIMENSION AND @ 10'-0" O.C. IN DRIVES.

LEGEND

	= PROPERTY LINE		= EXISTING LIGHT POLE
	= EDGE OF PAVEMENT		= EXISTING GUY ANCHOR
	= FENCE		= EXISTING UTILITY POLE
	= EXISTING CONTOUR ELEVATION		= EXISTING TELEPHONE PEDESTAL
	= EDGE OF WOODS		= FOUND IRON PIPE, ROD OR CONCRETE MONUMENT
	= DECIDUOUS TREE		= SET IRON ROD AND CAP NO 45499
	= CONIFEROUS TREE		= BENCH MARK
	= BUSH		= PROPOSED PARKING COUNT
	= EXISTING ELECTRIC LINE		= PROPOSED WELL LOCATION
	= BUILDING SETBACK LINE PER CURRENT CITY OF CENTERLINE ZONING ORDINANCE		= PROPOSED HMA PAVEMENT
	= EXISTING GAS LINE		= PROPOSED CONCRETE SIDEWALK/PAD
	= EXISTING WATER MAIN		= PROPOSED CONCRETE PAVEMENT
	= EXISTING STORM SEWER		= PROPOSED OCRC CONCRETE PAVEMENT
	= EXISTING SANITARY SEWER		= PROPOSED STONE
	= EXISTING COMMUNICATION LINES		= PROPOSED INVERTED PAN CURB AND GUTTER
	= EXISTING TELEPHONE LINE		= PROPOSED CURB AND GUTTER
	= EXISTING MANHOLE		= PROPOSED UNDERGROUND ELECTRIC
	= EXISTING STORM CATCH BASIN		= PROPOSED STORM SEWER
	= EXISTING WELL LOCATION		= PROPOSED SANITARY SEWER
	= EXISTING WATER VALVE		= PROPOSED ELECTRIC METER
	= EXISTING CURB STOP / METER		= PROPOSED GAS METER
	= EXISTING HYDRANT		= PROPOSED TELEPHONE SERVICE
	= EXISTING CATCH BASIN		= PROPOSED DOWNSPOUT
	= EXISTING SIGN		= PROPOSED DRAINAGE STRUCTURES
	= EXISTING MAILBOX		= PROPOSED HYDRANT ASSEMBLY
	= EXISTING EASEMENT		= PROPOSED EXTERIOR LIGHT



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1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.E.P.A. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
3. ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL OTTAWA COUNTY DEPARTMENT OF PUBLIC HEALTH. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
4. ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
5. ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
6. WATER SERVICE PRESSURE TESTING AND CHLORINATION SHALL BE PER EGLE AND OTTAWA COUNTY REQUIREMENTS.
7. SANITARY SEWER INSTALLATION AND TESTING MUST MEET THE REQUIREMENTS OF OTTAWA COUNTY HEALTH DEPARTMENT, AND THE MICHIGAN DEPARTMENT OF EGLE.
8. ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT).
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, PAT FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK.
10. CONTACT "811" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AND AT THE CONTRACTOR'S EXPENSE. IF ANY ELEMENTS OF THE SANITARY SEWER SYSTEM ARE DAMAGED AND NEED REPAIRED, IT MUST MEET OTTAWA COUNTY SPECIFICATIONS.
12. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER PAD PER THE UTILITY COMPANY SPECIFICATIONS.
13. THE TELEPHONE UTILITY COMPANY SHALL PROVIDE UNDERGROUND TELEPHONE TO THE BUILDING AT THE OWNERS' EXPENSE.
14. REFER TO ELECTRICAL DRAWINGS FOR UNDERGROUND ELECTRICAL REQUIREMENTS FOR SITE LIGHTING & SITE DETAIL SHEETS FOR THE FIXTURE AND POLE SPECIFICATIONS.
15. DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
16. COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
17. UNCOVER AND CONFIRM ALL PAT LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION FOR RESOLUTION.
18. PROVIDE THE WATER SERVICE PIPING FROM THE BUILDING TO THE PUBLIC MAIN. MAKE THE CONNECTION TO THE SHUT OFF VALVE AND COORDINATE SERVICES WITH CITY OF GRAND HAVEN.
19. CONTRACTOR/OWNER SHALL OBTAIN UTILITY CONNECTION PERMITS AND SETTLE APPLICABLE UTILITY ASSESSMENTS PRIOR TO EXTENSION OF PUBLIC UTILITIES ONSITE.
20. MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT. STORM STRUCTURES MUST ALL HAVE A SUMP OF TWO FEET.
21. ALL WATER MAIN TO HAVE A BURIAL DEPTH AS REQUIRED BY OTTAWA COUNTY AND THE MICHIGAN DEPARTMENT OF EGLE FOR THE SPECIFIC REGION OF WORK.
22. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
23. REVIEW THE GEOTECHNICAL REPORT PREPARED BY SOILS & STRUCTURES.
24. DRIVEWAY LAYOUT AND CONNECTION TO AIRPARK DR SHALL COMPLY WITH ALL ASPECTS OF THE ROAD COMMISSION OF OTTAWA COUNTY.
25. GEOTEXTILE FABRIC SHALL BE PLACED UNDER ALL APPLICATIONS OF RIPRAP OUTFALLS AND SPILLWAYS.
26. PUBLIC WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL CITY OF GRAND HAVEN SPECIFICATIONS. ALL PUBLIC WATER MAIN SHALL BE INSPECTED BY THE ENGINEER AND A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO WORK COMMENCING.

NO.	REVISIONS	BY	DATE	Drawn By	RBS
					Date
					02/24/25
					Approved
					By JWW
					Date
					03/10/25

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WESTWIND CONSTRUCTION

1445 COLUMBUS AVE GRAND HAVEN, MICHIGAN

PROJECT NO.

24030

SHEET NO.

4 OF 6

UTILITY PLAN

P:\24030.00 Westwind Construction - 1445 Columbus Ave\24030 - Construction Drawings\2025-02-24_24030 CAD File Plan Set.dwg, 4/19/2025 9:49:49 AM, DWG To PDF.pc3

SOIL EROSION CONTROL NOTES

- COMPLY WITH CURRENT OTTAWA COUNTY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. ALL CONTRACT DOCUMENTS, APPROVED SESC PLANS, PERMIT CONDITIONS AND WITH PARTS 31 AND 91 OF PUBLIC ACT 451 OF 1994. OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL(SESC) PERMIT FROM THE APPROPRIATE MUNICIPAL ENFORCING AGENCY (MEA) OR COUNTY ENFORCING AGENCY (CEA). PERMIT FEES AND ROUTINE INSPECTIONS CHARGED BY THE MEA/CEA WILL BE PAID FOR BY THE CONTRACTOR.
- PRIOR TO BEGINNING ANY EARTH CHANGE, RETAIN A EGLE CERTIFIED STORM WATER OPERATOR (CSWO) TO PROVIDE THE REQUIRED SESC REPORTS WHICH INCLUDE THE WEEKLY AND STORM EVENT REPORTS AS WELL AS ALL FOLLOW UP REPORTS FOR BOTH VIOLATIONS AND STORM EVENT CORRECTIONS ON THE STANDARD EGLE FORM. PROVIDE THE REPORTS TO THE OWNER ON A WEEKLY BASIS, AND RETAIN THOSE REPORTS FOR THREE YEARS.
- PRIOR TO BEGINNING ANY EARTH CHANGE, INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS DIRECTED BY THE OWNER, CSWO, MEA/CEA OR EGLE AT ANYTIME DURING THE LIFE OF THE CONTRACT OR UNTIL THE OWNER OFFICIALLY TAKES OVER RESPONSIBILITY FOR THE SITE. IMMEDIATELY PRIOR TO THE OWNER TAKING RESPONSIBILITY FOR THE SITE, CLEAN ALL CATCH BASINS AFFECTED BY THE CONSTRUCTION, BOTH WITHIN THE CONTRACT LIMITS AND ALL SURROUNDING ROADS AND LAWN AREAS WHERE SOIL MAY HAVE SPREAD AS THE RESULT OF CONSTRUCTION ACTIVITIES.
- CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEAN UP OPERATIONS IN A MANNER SUCH THAT SEDIMENT GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
- WATER FROM TRENCHES AND OTHER EXCAVATION SHALL BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
- IF SEDIMENT EXTENDS BEYOND THE PROJECT LIMITS, CLEAN UP AND RESTORE ALL SURFACES AND UTILITY SYSTEMS TO THE CONDITION THAT EXISTED PRIOR TO THE CONTRACT AWARD.
- ALL SESC MEASURES SHALL BE MAINTAINED DAILY. MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND UNTIL FINAL STABILIZATION OF ENTIRE PROJECT AREA.
- SHOULD VIOLATIONS BE IDENTIFIED BY THE OWNER, CSWO, MEA/CEA OR EGLE, THEY SHALL BE CORRECTED WITHIN 24 HOURS OF NOTIFICATION. THE CORRECTION(S) SHALL BE APPROVED BY THE OWNER, CSWO, MEA/CEA OR EGLE. ALL SUBSEQUENT INSPECTIONS PERFORMED BY THE OWNER, CSWO, MEA/CEA OR EGLE AS A RESULT OF THE VIOLATION (AND ANY OTHER ASSOCIATED COSTS) WILL BE PAID BY THE CONTRACTOR.
- FINES ASSESSED AS A RESULT OF THE VIOLATION FOR NONCOMPLIANCE OF THE SESC PROVISIONS, WILL BE PAID BY THE CONTRACTOR. SHOULD A "STOP WORK" ORDER FOR NONCOMPLIANCE BE ISSUED, A TIME EXTENSION REQUEST FOR THAT TIME PERIOD WILL NOT BE GRANTED.
- ALL DISTURBED AREAS WILL RECEIVE PERMANENT EROSION CONTROL WITHIN 5 DAYS OF FINAL GRADING.
- TEMPORARY AGGREGATE APPROACH SHALL BE INSTALLED AND MAINTAINED FOR SOIL EROSION CONTROL (SEE DETAIL).
- SITE IS MORE THAN 1000 FEET FROM ANY WATER OF THE STATE.
- CATCH BASIN FILTER BAGS:
 - INSPECT DAILY AND IMMEDIATELY FOLLOWING EACH RAINFALL
 - REMOVE ALL SILT COLLECTED IN FILTER ON A WEEKLY BASIS
 - REPLACE FILTER IF TORN
 - INSTALL FLOC LOGS WHERE FILTERS ARE INADEQUATE.
- DUST CONTROL SHALL BE EXERCISED AT ALL TIMES DURING THE PROJECT. WATERING WILL TAKE PLACE ONCE A DAY OR MORE OFTEN AS NEEDED AND WILL BE DIRECTED BY THE STORM WATER OPERATOR.
- LIMITS OF DISTURBANCE = PROPERTY LINES
- PERMANENT AND TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE LIMITS OF DISTURBANCE IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL SUCH TIME WHEN THE SITE IS DEEMED PERMANENTLY STABILIZED, AFTER WHICH MAINTENANCE OF THE PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- REMOVAL OF TEMPORARY MEASURES FOLLOWING ACCEPTANCE OF THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ADJOINING STREETS AND PARKING LOTS SHALL BE SWEEPED DAILY, OR MORE OFTEN AS NEEDED.
- THIS PARCEL IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN AS DEFINED BY FEMA
- COORDINATE WITH THE OWNER TO DESIGNATE AN AREA TO STOCKPILE SOIL. SURROUND LIMITS OF PILE WITH SILT FENCE. APPLY WATER TO CONTROL DUST AS NECESSARY.

GRADING NOTES

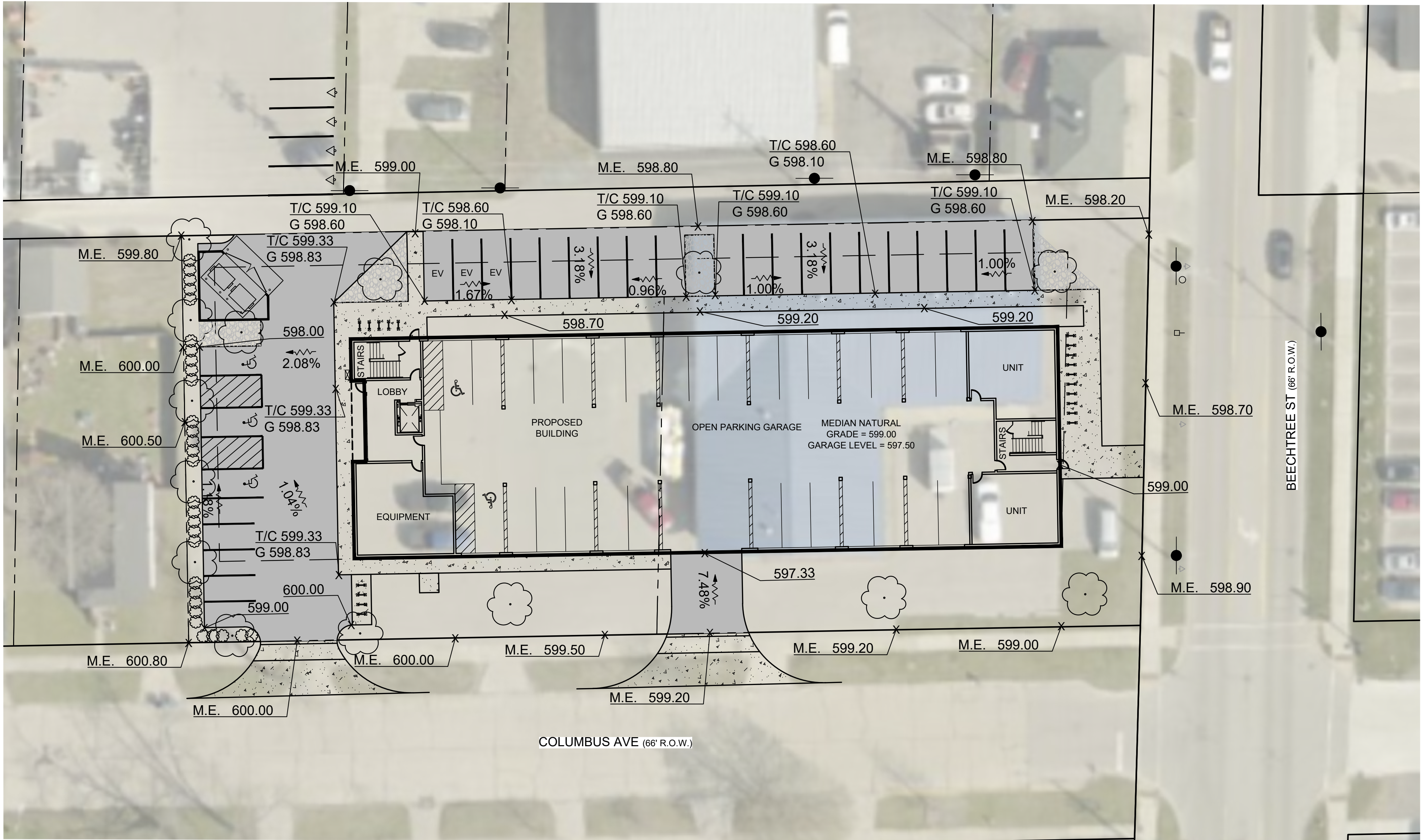
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND NOT EXACT. CALL 811 OR 1-800-362-2764.
- ALL EXISTING UTILITIES SHALL BE PROTECTED FROM EXCAVATION. EXISTING UTILITIES DAMAGED BY CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- FINISHED SURFACES TO BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE.
- ALL NEW SIDEWALKS AND PAVEMENTS SHALL BE PLACED AT AN ELEVATION THAT PROVIDES POSITIVE DRAINAGE AND CONSISTENT SLOPES. ENSURE NO LOW SPOTS ARE CREATED. NEW WALKS SHALL MEET EXISTING WALKS FLUSH AT EXISTING GRADE. NOTIFY ENGINEER IF GRADES ON PLAN CANNOT BE MET TO ENSURE POSITIVE DRAINAGE.
- ALL PROPOSED GRADES SHALL BE STAKED BY A LICENSED SURVEYOR AND FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- MATCH ADJACENT PAVEMENT GRADES WHERE NEW PAVEMENT ABUTS EXISTING PAVING.

CONSTRUCTION SEQUENCE SCHEDULE (2025)

Sequence of Construction Activities	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar
Install Temporary SESC Measures:									
A. Stabilized Construction Access									
B. Silt Fence									
C. Catch basin Protection									
D. Dust Control									
E. Catch Basin									
F. Storm Drain Inlet Protection									
Maintain Temporary SESC Measures:									
Remove and Stockpile Topsoil									
Site Grading									
Utility Installation									
Building Construction									
Pavement Construction									
Final Grade									
Final Site Stabilization and Landscaping (to be completed within 5 days of final grading or activity within that area)									
Remove Temporary SESC Measures									
Permanent SESC Measures									

LEGEND

---	= PROPERTY LINE	☼	= EXISTING LIGHT POLE	[Pattern]	= PROPOSED HMA PAVEMENT
---	= EDGE OF PAVEMENT	<	= EXISTING GUY ANCHOR	[Pattern]	= PROPOSED CONCRETE SIDEWALK/PAD
- x - x -	= FENCE	●	= EXISTING UTILITY POLE	[Pattern]	= PROPOSED CONCRETE PAVEMENT
~ 660 ~	= EXISTING CONTOUR ELEVATION	⊕	= EXISTING TELEPHONE PEDESTAL	[Pattern]	= PROPOSED OCRG CONCRETE PAVEMENT
☼	= EDGE OF WOODS	—	= EXISTING COMMUNICATION LINES	[Pattern]	= PROPOSED STONE
☼	= DECIDUOUS TREE	—	= EXISTING TELEPHONE LINE	[Pattern]	= PROPOSED GRAVEL FIRE ACCESS ROAD
☼	= CONIFEROUS TREE	●	= FOUND IRON PIPE, ROD OR CONCRETE MONUMENT	[Pattern]	= PROPOSED INVERTED PAN CURB AND GUTTER
☼	= BUSH	⊕	= SET IRON ROD AND CAP NO 45499	[Pattern]	= PROPOSED CURB AND GUTTER
⊕	= EXISTING WELL LOCATION	⚡	= BENCH MARK	[Pattern]	= PROPOSED FENCE
⊕	= EXISTING WATER VALVE	—	= FLOW DIRECTION	[Pattern]	= PROPOSED UNDERGROUND ELECTRIC
⊕	= EXISTING CURB STOP / METER	—	= EXISTING EASEMENT	[Pattern]	= PROPOSED STORM SEWER
⊕	= EXISTING HYDRANT	—		[Pattern]	= PROPOSED SILT FENCE
⊕	= EXISTING SIGN	—		[Pattern]	= PROPOSED DRAINAGE STRUCTURES
⊕	= EXISTING MAILBOX	—		[Pattern]	= LIMITS OF DISTURBANCE



Know what's below.
Call before you dig.

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SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

2	Mulch		On flat areas, slopes, grassed waterways and spillways, diversion ditches and dikes, borrow and stockpile areas, and spoil piles when areas are subject to rainfall impact, and erosive forces from wind or water.	2 P
3	Mulch Blankets		On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion. Required on slopes greater than 3H:1V.	3 P
5	Seeding		Inexpensive & very effective Stabilizes soil, thus minimizing erosion Permits runoff to infiltrate soil, reducing runoff volume. Should include prepared topsoil bed	5 P
15	Paving		Protects areas which cannot otherwise be protected, but increases runoff volume and velocity Irregular surface will help slow velocity	15 P
35	Storm Sewer		System removes collected runoff from site, particularly from paved areas. Can accept large concentrations of runoff. Conducts runoff to municipal sewer system or stabilized outfall location. Use catch basins to collect sediment.	35 P
14	CRUSHED AGGREGATE CONSTRUCTION ENTRANCE		ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. DIVERSION DITCHES MINUS GRADES EXCEEDS 2%.	14 T
54	Geotextile Silt Fence		Use geotextile and posts or poles may be constructed or prepackaged easy to construct and locate as necessary	54 T
56	Street Sweeping		Remove sediment from pavement minimizing non-point source pollution.	56 T
60	Inlet Protection Fabric Drop		Use at stormwater inlets, especially at construction sites.	60 T

Drawn By	RS	Date	Approved By	Date
DATE	DATE	DATE	DATE	DATE
BY	BY	BY	BY	BY
REVISIONS	NO.	NO.	NO.	NO.

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WESTWIND CONSTRUCTION

1445 COLUMBUS AVE GRAND HAVEN, MICHIGAN

PROJECT NO.

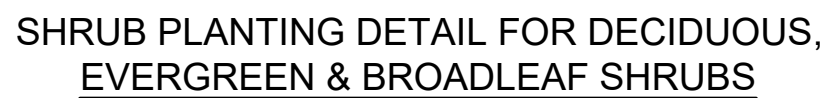
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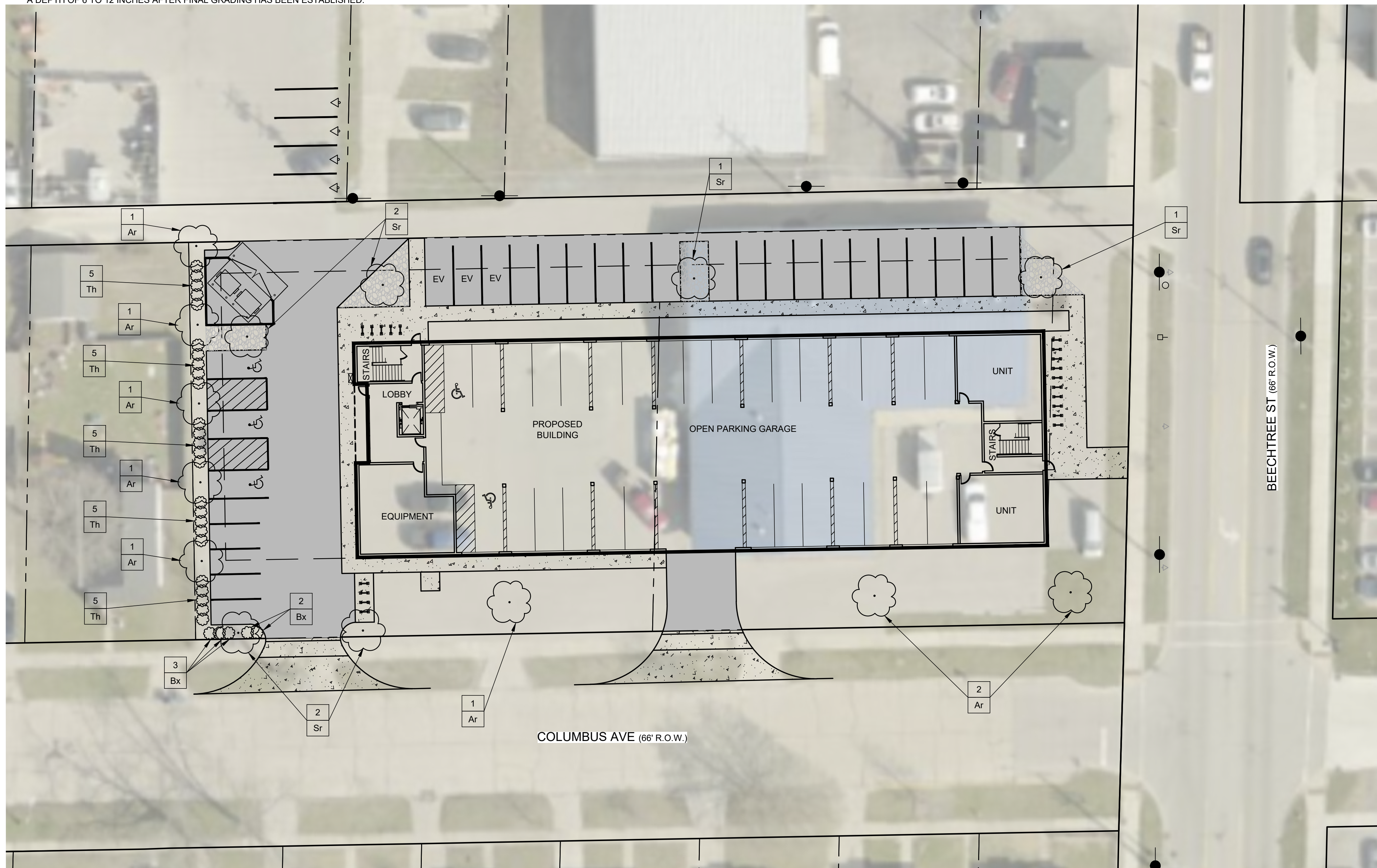
5 OF 6

GRADING & SOIL EROSION
AND SEDIMENTATION PLAN

3. INSTALL CONSTRUCTION FENCE AROUND DRIP LINES OF EXISTING TREES TO REMAIN. NO COMPACTION OR INCREASED DEPTH OF SOIL OVER THE ROOT SYSTEM AREA PRIOR TO AND DURING CONSTRUCTION.
2. ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 3-4 LBS/ 1000 SFT.
3. ALL EDGING SHALL BE STANDARD COMMERCIAL-STEEL EDGING 3/16" X 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
4. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK." MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
5. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
6. BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
7. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
8. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEEOUS MATTER FROM SITE.
9. MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
10. MAINTAIN TREES AND SHRUBS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
11. REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
12. TREES, AND SHRUBS SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
13. THE BOTTOM OF DRY RETENTION BASINS SHALL BE SCARIFIED OR DEEP TILLED TO A DEPTH OF 6 TO 12 INCHES AFTER FINAL GRADING HAS BEEN ESTABLISHED.



SHRUB PLANTING SCHEDULE						
<u>SYMBOL</u>	<u>LATIN NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER TYPE</u>	<u>SPACING</u>	<u>QUANTITY</u>
Bx	Buxus	Boxwood	24" H	B&B	5' O.C. Min or Shown	5
Th	Thuja Occidentalis	A/rborvitae	6' H	B&B	10' O.C. Min or As Shown	25



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				RBS
				Date
				02/24/25
				Approved
				By JWW
				Date
				03/10/25

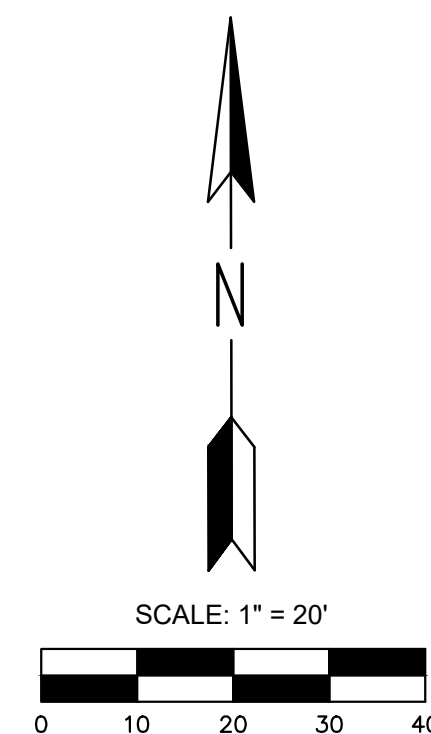
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	=	PROPERTY LINE
	=	EDGE OF PAVEMENT
	=	EDGE OF PAVEMENT
	=	EDGE OF GRAVEL
	=	FENCE
	=	EDGE OF WOODS
	=	DECIDUOUS TREE
	=	EXISTING CONIFEROUS TREE
	=	EXISTING SIGN
	=	EXISTING MAILBOX
	=	EXISTING LIGHT POLE
	=	EXISTING GUY ANCHOR
	=	EXISTING UTILITY POLE
	=	EXISTING TELEPHONE PEDESTAL
	=	EXISTING COMMUNICATION LINES
	=	EXISTING TELEPHONE LINE
	=	FOUND IRON PIPE, ROD OR CONCRETE MONUMENT
	=	SET IRON ROD AND CAP NO 45499
	=	PROPOSED HMA PAVEMENT
	=	PROPOSED CONCRETE SIDEWALK/PAD
	=	PROPOSED CONCRETE PAVEMENT
	=	PROPOSED GRAVEL
	=	PROPOSED HYDROSEED WITH IRRIGATION (SUN & SHADE MIX)
	=	PROPOSED SHRUB DECIDUOUS / EVERGREEN
	=	PROPOSED DECIDUOUS TREE



LANDSCAPE PLAN

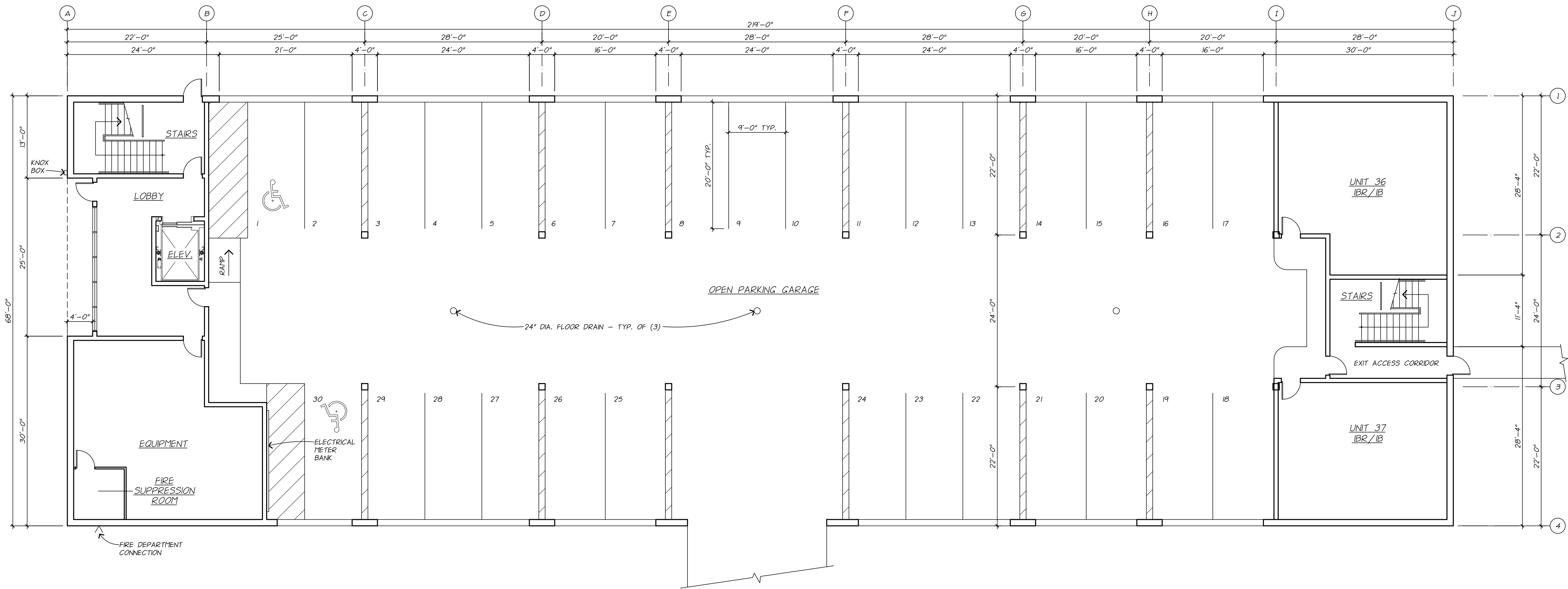
WESTWIND CONSTRUCTION

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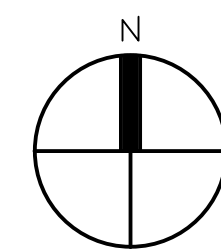
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6 OF 6



SITE + PARKING LEVEL PLAN
SCALE: 1/8"=1'-0"

NOTE: THE PARKING GARAGE MEETS THE REQUIREMENTS OF THE MICHIGAN BUILDING CODE FOR AN OPEN PARKING GARAGE. TWENTY PERCENT OF THE PARKING GARAGE PERIMETER WALL AREA IS REQUIRED TO BE OPEN. FORTY PERCENT OF THE PARKING GARAGE PERIMETER WALL AREA IS OPEN AS DEFINED BY THE MICHIGAN BUILDING CODE.



1445 Columbus Apartments

Grand Haven, Mi. 49417

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SUP.
3-15-25 date

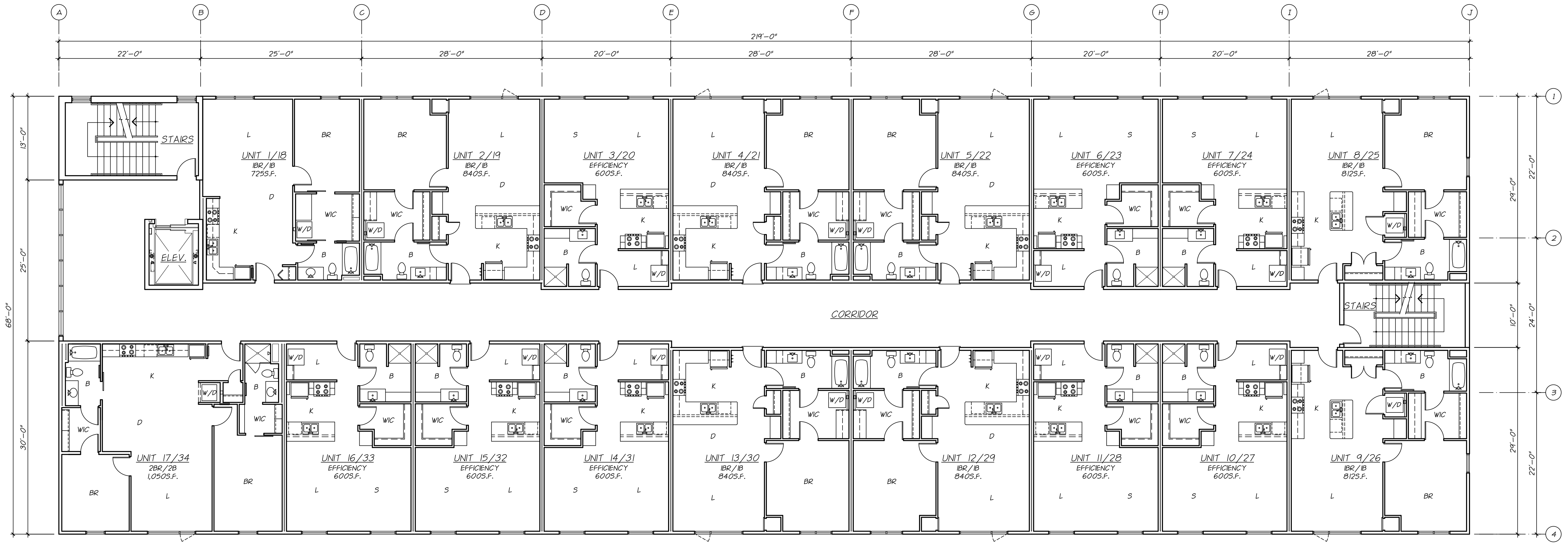
1624 commission

A.I.O. sheet

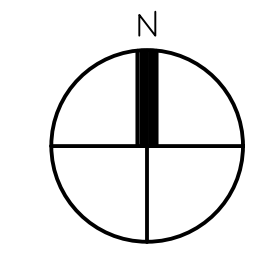
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TYPICAL LEVEL 2-3 PLAN
SCALE: 1/8"=1'-0"



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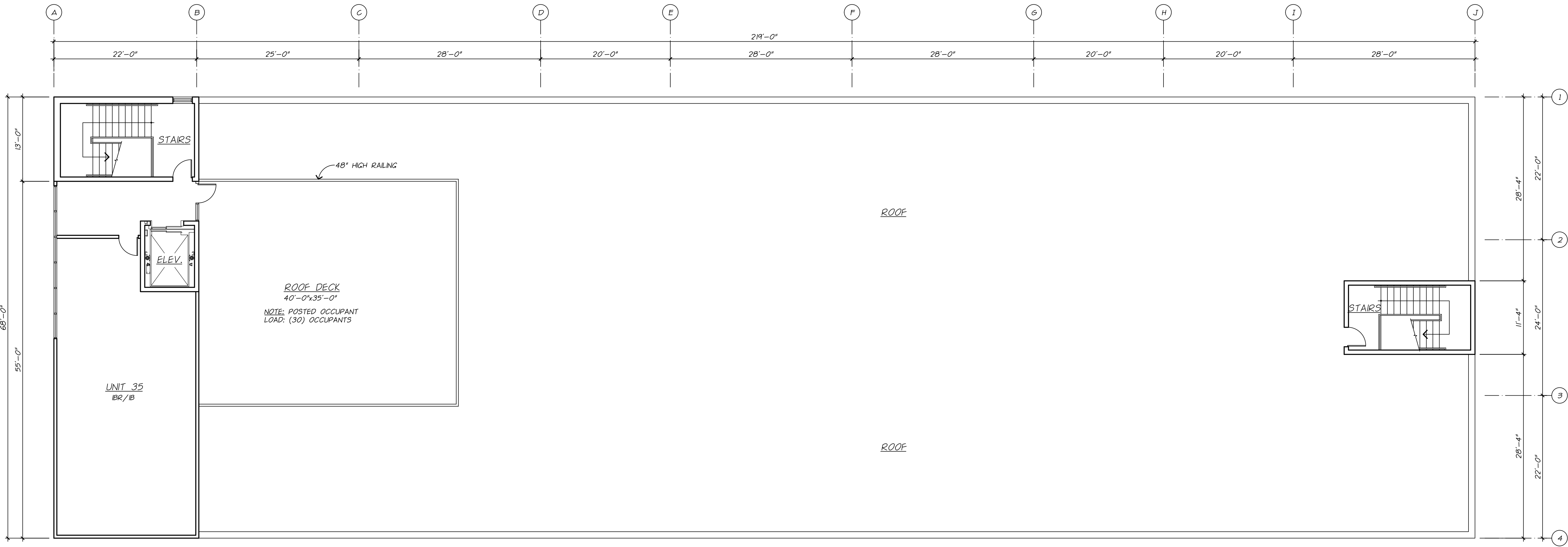
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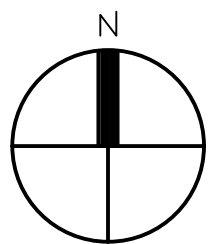
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ROOF LEVEL PLAN
SCALE: 1/8"=1'-0"



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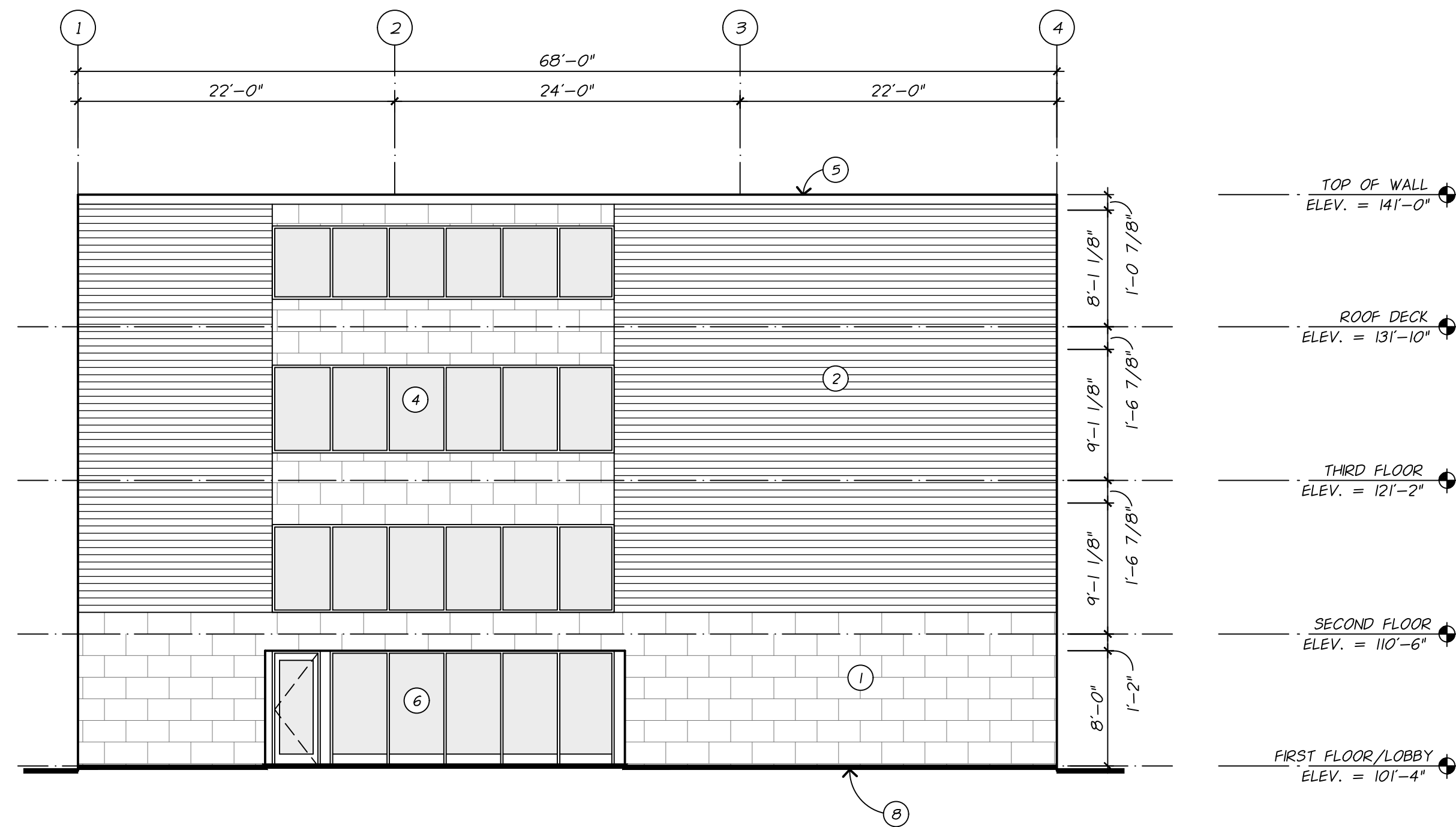
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SOUTH ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL KEY:

- ① NICHHA SANDSTONE MASONRY SERIES
- ② NICHHA VINTAGE BRICK, BRICK SERIES
- ③ WALL OPENING AT PARKING GARAGE LEVEL WITH MATERIAL ① ON HEAD, JAMB AND SLOPED SILL RETURN
- ④ VINYL FRAME WINDOW WITH LOW-E INSULATED GLASS
- ⑤ PRE-FINISHED METAL WALL CAP FLASHING
- ⑥ ALUMINUM FRAME WINDOW AND DOOR UNIT WITH LOW-E INSULATED GLASS
- ⑦ HOLLOW METAL DOOR AND FRAME
- ⑧ GRADE LINE



WEST ELEVATION
SCALE: 1/8"=1'-0"

SUP.
3-15-25 date

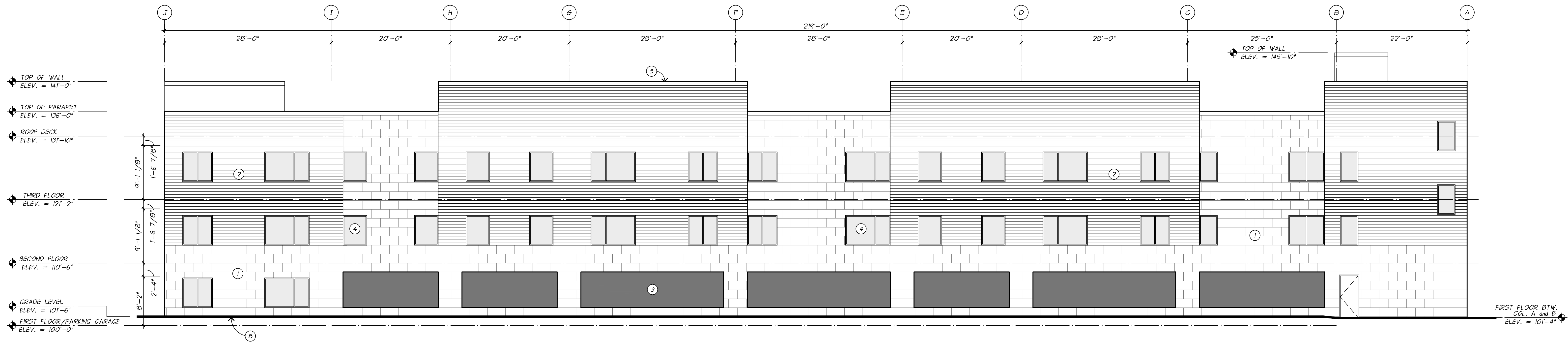
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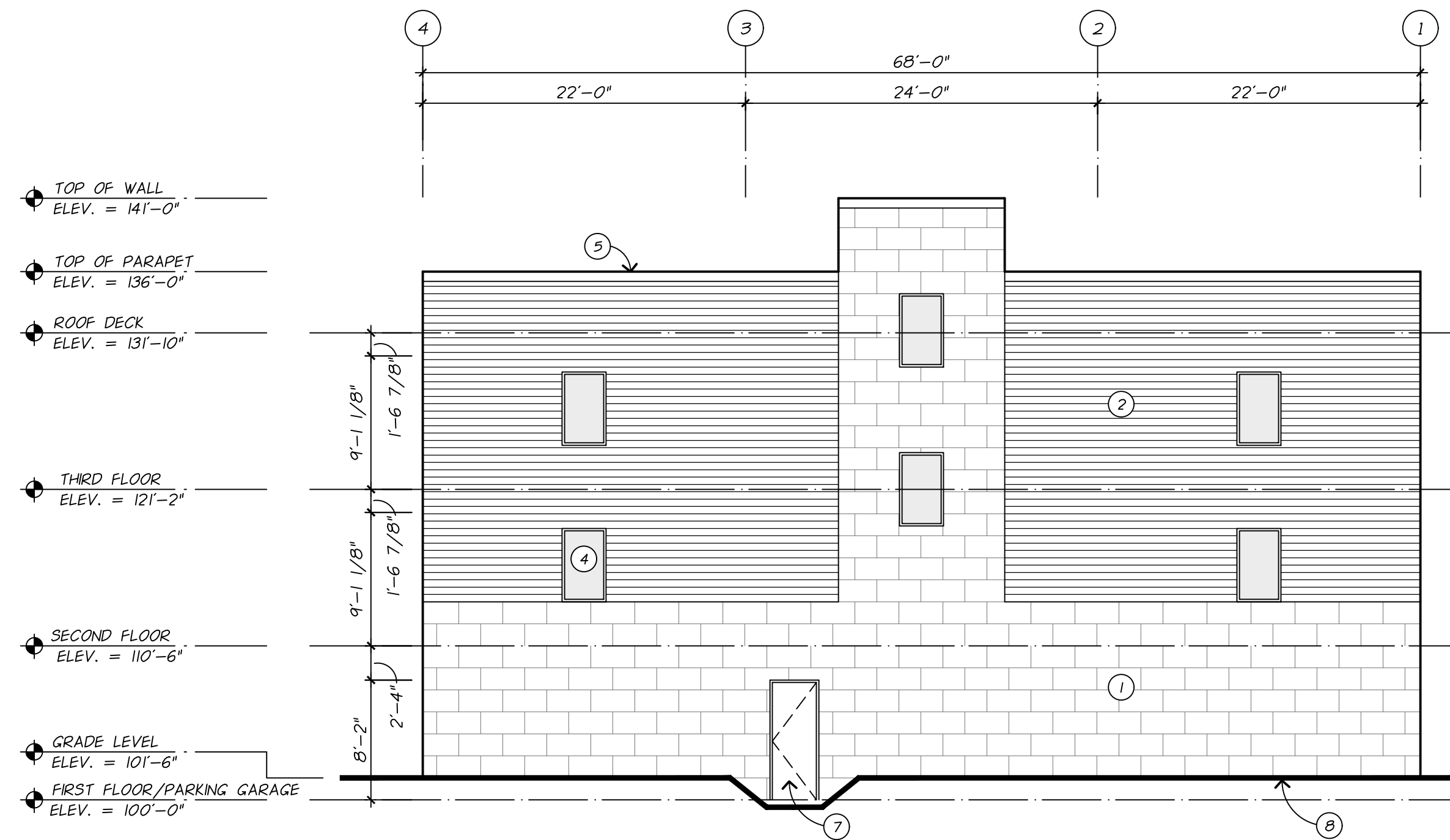
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NORTH ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL KEY:

- ① NICHHA SANDSTONE MASONRY SERIES
- ② NICHHA VINTAGE BRICK, BRICK SERIES
- ③ WALL OPENING AT PARKING GARAGE LEVEL WITH MATERIAL ① ON HEAD, JAMB AND SLOPED SILL RETURN
- ④ VINYL FRAME WINDOW WITH LOW-E INSULATED GLASS
- ⑤ PRE-FINISHED METAL WALL CAP FLASHING
- ⑥ ALUMINUM FRAME WINDOW AND DOOR UNIT WITH LOW-E INSULATED GLASS
- ⑦ HOLLOW METAL DOOR AND FRAME
- ⑧ GRADE LINE



EAST ELEVATION
SCALE: 1/8"=1'-0"

1445 Columbus Apartments
Grand Haven, Mi. 49417

SUP.
3-15-25 date

1624 commission

A2.1 sheet

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8135 Olive Trail
West Olive
Michigan
49460
ph. 616.846.8990

OppenhuizenArchitects
Mark A. Oppenhuizen AIA

April 9, 2025

Mr. Brian Urquhart, AICP
Grand Haven City Planner
519 Washington Avenue
Grand Haven, MI 49417

Re: PC Case 25-09
1445 Columbus Ave
Grand Haven, MI 49417

Mr. Urquhart,

Enclosed is our revised Planning Commission submittal with comments below addressing comments from the City Plan Review Team, emailed March 25, 2025. The original comments are noted and our boldened response is provided below:

- Building Official: Wants to know the rooftop occupancy for the 1500 sq. ft. deck. He will need stamped and sealed plans for the elevation and foundation levels. Of course the plans can be provided following Planning Commission approval.
 - **The rooftop occupancy will be a maximum of 30 people. A sign will be provided on the rooftop stating the maximum occupancy.**
 - **A stamped and sealed plan for the elevation and foundation level will be provided once they are finalized after the Planning Commission Meeting.**
- Fire Marshal: Inquired about if a generator will be on the rooftop. Will the parking garage be ventilated? Where will the FDC connection be? Please see his review memo.
 - **There will be no rooftop generator (or any generator) on the site.**
 - **The parking garage will not be ventilated because the proposed design exceeds the requirements for an open parking garage.**
 - **The FDC will be provided on the southwest corner of the building as noted on Sheet 3 of the attached plan set and Sheet A1.0.**
 - **Signage will be provided for the Fire Suppression Room.**
 - **A knox box will be located on the west side of the building, just north of the door, as shown on Sheet 3 of the attached plan set.**
 - **The water supply requirements for the proposed sprinkler system will meet the requirements of NFPA13.**

- Public Works: What are the proposed size and location of the utilities? Would like a gas/oil separator on the lower level parking garage. I hope to have a review memo shortly from DPW.
 - **There will be a 6" sanitary service, a 2" domestic water service, AND 4" fire suppression line serving the building. A gas/oil separator has been added downstream of the catch basins in the parking garage as shown on Sheet 4 of the attached plan set.**
 - **We will address any remaining DPW comments once the DPW Review Letter is received.**
- Board of Light & Power: BLP is requesting a 6' x 6' pad for the transformer. Where on the plan will the pad be located?
 - **A 6' x 6' transformer pad has been added to the site plan and is labeled on Sheet 4.**
- Zoning: Do you have confirmation on exterior cladding material and color? Do you have a draft shared parking agreement for the 4 spaces at 1426 Fulton? Will you install a sign for 1445 Columbus parking only? The Planning Commission may be concerned with the fact the space is already leased out for other uses and parking.
 - **The exterior cladding material and color is noted in the Elevation Material Key on Sheet A2.0 and A2.1.**
 - **We are working on a draft shared parking agreement for the 4 parking spaces at 1426 Fulton and will provide once we have a final draft for review. Signage will be provided for these four parking spaces, as noted on Sheet 3 of the attached plan set. The owner of 1445 Columbus is also the owner of 1426 Fulton, and has stated that there is adequate parking spaces for the current leased parking agreement and the additional 4 spaces required for the 1445 Columbus development.**
- Sustainability Committee: Any thought to a green roof? Any thought of solar panels on the roof? LEED certification for the units?
 - **The owner is not interested in a green roof for this property. However, they are considering the installation of solar panels on the rooftop.**

Sincerely,
Eng., Inc.



Joseph W. Westerbeke, PE
Project Manager



Plan Review Report

General

Plan Review 1445 Columbus
Property Address:

Date on Plans: 03/20/2025

Plans Reviewed on: 03/20/2025

Plans Reviewed by: Terry Turkelson

Status of Review: Review Complete,
Submitted

Plan Review 1445 Columbus
Notes/Comments:

1. FDC location on the Columbus street side
2. Signage on the FDC riser room and utility room
3. Knox Box Required
4. Confirm water supply requirements for sprinkler systems per NFPA13

Questions or Comments? Please contact Fire Marshal Terry Turkelson at 616-842-3460 or tturkelson@grandhaven.org

City of Grand Haven
Department of Public Works
616-847-3493



MEMORANDUM

TO: Brian Urquhart – City Planner

CC: Dana Kollewehr – Public Works Director

FROM: Michael England – Streets and Utilities Manager

DATE: April 3, 2025

SUBJECT: Plan Review – 1445 Columbus

The Department of Public Works has the following comments regarding the proposed site plan for 1445 Columbus.

Public Water System Connection Review:

1. All water utilities to come off of Columbus St.

Public Sewer System Connection Review:

1. All sewer connection to come off Columbus St.

Storm Sewer System Connection Review:

1. All storm water to follow the cities adopted LGROW standards.

If there are any questions regarding the review, please forward any questions to Dana Kollewehr, Public Works Director or Michael England Streets and Utilities Manager.