

CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION
MEETING AGENDA
March 11, 2025

Notice and agenda of the regular Planning Commission Meeting at 7:00 p.m. to be held at the Grand Haven City Council Chambers, 519 Washington Avenue. Planning Commissioners unable to attend the meeting are requested to contact the Planning Department at 616-935-3276 prior to the meeting.

1. MEETING CALLED TO ORDER

2. ROLL CALL: Amy Kozanecki, Dan Borchers, Joe Pierce, Vice-Chair Ryan Galligan, Tamera Owens, David Skelly, Magda Smolenska, Jennifer Smelker, Chair Mike Dora

3. APPROVAL OF MINUTES – February 11, 2025

4. APPROVAL OF AGENDA

5. CALL TO AUDIENCE – ONE OF TWO OPPORTUNITIES

6. PUBLIC HEARING

A. Case 25-10: Special land use for yoga studio at 207 Washington Ave. (parcel #70-03-20-432-018)

7. NEW BUSINESS

A. Case 25-11: Consideration of replacement of observation deck at 5-Mile Hill (parcel #70-03-29-160-004)

B. Case 25-13: Pre-public hearing discussion on Zoning Text Amendment to Sec 40-411.02.A, to permit short term rentals in the Centertown Overlay in the Neighborhood Mixed-Use District.

8. OLD BUSINESS

9. ZONING BOARD OF APPEALS LIAISON REPORT

10. CITY PLANNER REPORT

11. CALL TO AUDIENCE – SECOND OPPORTUNITY

12. ADJOURNMENT

**CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION MINUTES
FEBRUARY 11, 2025**

A regularly meeting of the Grand Haven Planning Commission was called to order by Chair Dora at 7:00 pm. Upon roll call, the following members were present:

Present: Dan Borchers, Amy Kozenecki, David Skelly, Jennifer Smelker, Vice-Chair Ryan Galligan, Chair Mike Dora

Absent: Magda Smolenska, Tamera Owens, Joe Pierce

Also Present: City Planner Brian Urquhart, Assistant City Manager Dana Kollwehr, Mayor Bob Monetza and members of the public.

Approval of Minutes

Motion by **Skelly**, seconded by **Smelker**, to approve the minutes of the January 14th meeting. All ayes. **Motion passes.**

Approval of Agenda

Motion by **Smelker**, seconded by **Vice Chair Galligan**, to approve the agenda with the following changes: Move item C -Case 25-08 under new business to item A. All ayes. **Motion passes.**

Call to the Audience: First Opportunity

None

New Business

Case 25-08: An overview of proposed façade improvements to VerDuin's located at 623 Washington Ave. (parcel #70-03-21-352-011).

Urquhart introduced the case. Kirsten Runschke of Architecture, on behalf of property owner Mike VerDuin, submitted a site plan application for proposed façade improvements to the building located at 623 Washington Ave. (parcel #70-03-21-352-011). Due to the fact the proposed changes will result in an improvement to the conformity of building transparency and mix of exterior cladding materials in the NMU District, the zoning administrator has the authority to approve the application per Sec. 40-115.09.A. However, the applicant would like the Planning Commission's comment on the facade, therefore the request will be brought before the Commission.

In May 2023, the front wall at 623 Washington Ave. was failing, and the existing brick at the top of the wall was in danger of falling, creating a public safety concern. The building official approved the removal of the brick, and the installation of wall frame attached the roof structure. The repair was intended to be

temporary, including the vinyl signage. After reviewing various designs, Mr. VerDuin has elected to move forward with the permanent improvement to the façade. There will be no change to the interior floor plan. The front façade will include new windows, doors, and replacement of the brick and siding. In the NMU District, the minimum ground floor transparency is 60%. The new windows and doors will increase the transparency from 28% to 56%, nearing conformity with Sec. 40-411.02.G. The brick will be replaced with lighter color brick along the bottom 1/3rd of the wall. The existing horizontal lap siding will remain. Smartside smooth panel siding will match the existing siding in the middle of the front façade between the windows. No lighting is proposed, nor will there be any improvements to the sidewalk.

Staff is requesting the Planning Commission provide feedback on the proposed façade improvements before the applicant applies for a building permit. No formal motion is necessary.

Applicant was present and available for questions.

Commissioners did not have any questions for applicant, and felt this would be a big improvement for Centertown.

Case 25-06: Consideration of a new public parking lot off Beechtree St. (parcel #70-03-22-351-014)

Urquhart presented the case. Leah Bectel of *Abonmarche* submitted a site plan review application for the resurfacing and expansion of the existing Wastewater Treatment Plant (WWTP) parking lot. The project will also include an additional parking lot at the end of Washington Ave. to provide parking for the Beechtree Corridor.

The Site Plan calls for removing the existing trees, stumps, and pavement south of the WWTP parking lot. The new parking lot will consist of 25 parking spaces, with two ADA accessible spaces. The WWTP parking lot has 21 spaces, with two ADA accessible. Also included are four parallel parking spaces off Washington located in front of Sporty's Bar and Grill at 6 S. Beechtree St. A marked crosswalk will connect the parking lot with the existing sidewalk on both sides of Washington Ave. The WWTP has met with neighboring businesses and property owners, all of which were in favor of the parking lot.

The parking area will be illuminated by two light poles 16 ft. in height located in the center and southern portion in the parking lot. The light fixtures will feature 100% horizontal cut off to comply with Sec. 40-317. Although not required, no bicycle racks or electric vehicle charging spaces are shown. The site plan application does note that city staff will plant trees in the parking lot following completion of the project.

Per Sec. 40-115.02 D of the Zoning Ordinance, the Dept. of Public Works requests the Grand Haven Planning Commission acknowledge this facility improvement and expansion project and defer the site plan review to the City Planner for the following reasons:

- 1.) The project will result in a planned improvement and expansion of an existing use.*
- 2.) The project will not significantly change the nature of the public use.*

Applicant Leah Bectel and Assistant City Manager Dana Kollwehr were both present.

Kollwehr mentioned that EV chargers and bike racks will be included.

Borchers and Kozeneki did not have any questions and would be in favor of the bike racks included. Skelly also echoed the sentiments and wanted to verify there would not be special parking permits or overnight parking.

Kollewehr mentioned the plan would monitor how the public would use the parking lot; however, there would not be any permits or overnight parking.

Smelker, Vice-Chair Galligan, and Chair Dora all agree this would be a great plan and would help with the additional parking for the east end.

Motion by **Vice-Chair Galligan** seconded by **Smelker** to approve Case 25-06 consideration of a new public parking lot off Beechtree St. (parcel #70-03-22-351-014) project and defer the site plan review to the City Planner for the following reasons:

- 1.) The project will result in a planned improvement and expansion of an existing use.*
- 2.) The project will not significantly change the nature of the public use.*

Roll call vote. Yeas: Skelly, Kozeneki, Smelker, Borchers, Vice-Chair Galligan, Chair Dora.
Motion passed.

Case 25-07: Notos PD Final Development Plan at 1223 S. Harbor Dr. (parcel #70-03-29-312-004)

Urquhart presented the case. In late 2024, Greg Gurney of *Bear Sign Company* approached the city regarding an additional sign on the south wall at Noto's at the Bil Mar. The primary reason to attract attention to motorists traveling north on S. Harbor Dr. The applicant justifies the additional sign will improve safety, and there is no practical location for a ground sign.

At the October 8th, 2024, meeting, the Planning Commission determined the sign was a major change. After holding a public hearing at the November 11, 2024 meeting, the planning Commission made a recommendation to approve the preliminary plan for the sign, but restrict the sign to be non-illuminated.

The City Council held a public hearing at the December 2nd meeting, and directed staff to contact the City. The attorney is to draft an ordinance containing two options: an illuminated sign and a non-illuminated sign.

Following several meetings, the City Council voted to approve the preliminary development plan and Ordinance 25-##, which permitted an illuminated sign. City Council is authorized to approve the preliminary plan, with conditions, per Sec. 40-421.07.

In coordination with Sec. 40-421.08, the Planning Commission shall make a determination of the final development plan. In this case, the final development plan is identical to the preliminary development plan. Should the final development plan be approved, the applicant can apply for the necessary sign, building, and electrical permits.

No additional public comments were made.

Applicant was present.

Borchers, Skelly, Smelker, Vice-Chair Galligan, and Chair Dora affirmed approval.

Kozenecki had no comment.

Motion by **Skelly**, seconded by **Vice-Chair Galligan**, to approve Case 25-07, an amendment to Noto's Planned Development for a sign on the south wall and the associated final development plan located at 1223 S. Harbor Dr. (parcel #70-03-29-312-003).

Roll call vote. All ayes. **Motion passed.**

Case 25-09: Pre-public hearing for multiple-family dwelling at 1445 Columbus Ave. (parcel #70-03-21-477-017)

Urquhart presented the case. Joe Westerbeke of Eng. Engineering and Survey submitted a request for a pre-public hearing for a proposed multiple-family dwelling at 1445 Columbus Ave. (parcels #70-03-21-477-017 & #70-03-21-447-016). The total lot area of the development is 0.86 acres. A multiple-family dwelling is permitted by special land use in the Transitional Industrial (TI) district per Sec. 40-419.02.B.

Recently, a preliminary plan review was held with the city, in which the Building Official, Fire Marshal, Dept. of Public Works and Board of Light & Power did not have any major concerns. The proposed height, lot

coverage, exterior design, and access management all met the standards in the TI district. However, the applicant did express a concern over parking requirements. Per Sec. 40-604.03, a multiple-family dwelling requires two spaces per dwelling unit. The applicant is proposing 58 total off-street spaces, with 30 covered spaces on the first floor of the building, and 28 surface spaces along the west and north side of the building. The request is a reduction of 16 spaces from the required 74 spaces.

	Total Dwelling Units	Total Spaces
Required off-street parking	37	74
Requested off-street parking	37	58

The applicant is requesting consideration of a similar approach to multiple-family residential parking the City of Traverse City utilizes, which requires a maximum of 1 space per unit. Although a different local jurisdiction, the applicant believes there is merit to reasonable parking exemptions, in which the parking spaces required are determined by the type of dwelling unit, not just the same amount regardless of unit size. The preliminary floor plan includes:

Dwelling Type	# of units	Proposed parking per unit	Total
Efficiency Units	16	1	16
One-bedroom	19	1	19
Two-bedroom	2	2	4
Total			39

Granting one parking space per efficiency and one-bedroom units, and keeping two-family dwelling at two spaces each, would equate to 39 total spaces.

Section 40-604.02 grants waivers and reductions for parking. The applicant correctly notes a 20% reduction may be permitted by the Planning Commission for a use located within 800 ft. of a year round transit stop.

A year round transit stop located at the corner of Beechtree and Fulton, approximately 300 ft. away. This reduction could result in 15 spaces.

Sec. 40-604.02.C grants a reduction of 1 space per 4 covered or uncovered bicycles spaces. The site plan calls for 38 bicycle spaces, or a reduction in 9 parking spaces. Therefore, 74 spaces (required parking) – 15 spaces (20% reduction near transit stop) – 9 spaces (38 bicycle parking spaces) = 50 spaces. Taking into account the maximum reduction, the proposed 58 parking spaces would satisfy the ordinance. Other considerations for the applicant to pursue include: reducing the amount of dwelling units, seeking a shared parking agreement with a neighboring property, or applying for a variance from the ZBA for reduction in required parking.

Frequently, when municipalities incorporate a strict application of parking requirements, it creates barriers for residential developments to occur. The city has made a commitment to provide additional housing units to the housing supply. Chapter 12 of the adopted 2023 Master Plan, lists goals for housing and neighborhoods. Goal 1 states *“Dwellings in Grand Haven will include a broad range of housing types, including detached and attached, appropriate for all segments of the population. The city should support a variety of housing types and densities and mixed-use developments for all segments of the population that places users near daily services.”* Staff believes by granting the parking reductions, the proposed development would satisfy the goal of the Master Plan.

If the Planning Commission agrees the site plan and parking reductions, a special land use and site plan review may be able to move forward with a public hearing at the March 11, 2025 meeting. If not, the applicant may seek other options.

Applicant present.

Peter Oleszczuk with West Wind Construction, 1435 Fulton St, would like to invest in the property, neighborhood, and overall improvement. Looking for feedback from Commissioners.

Borchers was in support of the idea. He was able to verify that units would be rentable, not for purchase. Oleszczuk confirmed they would be for market rate apartments, and would be managed by Beechtree Property. Borchers mentioned his concern regarding parking.

Kozenecki was in support of something on the east side; however, it was leery of the parking situation. Would like to see parking be more creative.

Skelly mentioned he was a fan of the project. Wondered what the ideal customer would be. Oleszczuk responded that it would be all things to all people, from someone fresh out of college, a single parent, or a

young couple. The hope would be to endeavor to use Brownsfield Housing Tiff and cater to those who work in our community.

Skelly also asked if there would be any restrictions on the number of residents. Oleszczuk responded that he would comply with the regulations set forth by Fair Housing and would not exceed those parameters.

Skelly also raised concerns about the parking. Oleszczuk mentioned that they felt the onsite parking would be more than sufficient and guests could use on street parking.

Smelker wanted to thank the developer for being creative with efficiency units in the East End. She also felt the parking would be justified and encouraged commissioners to take a look at the reduction in the ordinance.

Vice-Chair Galligan stated he agreed with Smelker's comments and wondered about doing some type of shared parking. Oleszczuk responded that conversation could be had.

Chair Dora also joined with the potential of using 4 or 5 spaces with a shared parking lot. He mentioned he felt the location and plan would be great.

Oleszczuk felt he had gained an understanding of the parameters and did not see a reason why accommodations within the guidelines couldn't happen.

Urquhart recapped the discussion to reiterate that the Commissioners were ok with keeping the 37 units, and 74 spaces (required parking) – 15 spaces (20% reduction near transit stop) – 9 spaces (38 bicycle parking spaces) = 50 spaces and seeking out a way to find 4 or 5 additional parking spaces. If these accommodations were met, a Special Land Use Permit could be prepared.

Old Business: None

Zoning Board of Appeals Liaison Report

No Meeting, but we will have one the following week.

City Planner Report

Presented FY 23/24 Community Development Annual Report.

Call to the Audience: Second Opportunity

None

Motion made to Adjourn.

Roll call vote. All ayes. **Motion passed.**

Adjournment: Chair Dora adjourned the meeting at 8:03 pm.

Melissa Bos, Executive Assistant to City Manager

DRAFT

DATE: March 7 2025
TO: City of Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 25-10:** Special Land Use Permit – 207 Washington Ave. – Yoga Studio

Current Zoning: CB, Central Business District

Existing Use: Retail/vacant

Proposed Use: Yoga Studio

1.0 Request

Applicant Delanie Paris submitted an application for a Special Land Use Permit for yoga studio located at 207 Washington Ave. (parcel #70-03-20-432-009). The Central Business District allows studios for the performing and graphic arts, including a yoga studio, by special land use.

2.0 Special Land Use Regulations & Conditions

On January 24th, the Forum building at 201 N. 3rd St. caught fire as was rendered a total loss. All the businesses in the building were in dire need of a space to relocate. Delanie Paris approached the city for a temporary space for Wildflower yoga in the downtown. Ms. Paris was searching for a space, which she found at 201 Washington. A temporary use permit was given under the condition a special land use permit was submitted for a permanent location. The applicant was able to locate an available space at 207 Washington nearby, and submitted the necessary special land use.

Sec. 40-413.02.C allows for studios for the performing and graphic arts in the Central Business District, subject to the standards in the 40-562. Sec. 40-201.19 defines a *Studio for performing or graphic arts* as “a facility designed, constructed, or used for instructional, practice or production purposes in graphic and performing arts, including sculpture, painting, music, photography, drama, dance, yoga, and other similar pursuits”. The fact the definition of studio for performing or graphic arts specifically lists yoga, determines it must be considered a special land use.

The applicant has provided a detailed floor plan and a project narrative. The Building Official and Fire Marshal also performed a walk through and will sign off on a change of use permit should the applicant receive approval. Staff believes the use of a yoga studio meets the standards listed in Sec. 40-562 and is compatible with other uses in the vicinity.

The review of the Special Land Use Permit application is also subject to the standard regulations and conditions of all Special Land Uses outlined in Section 40-116.03. The applicant has provided a narrative responding to the review standards and a scaled drawing of the floor plan.

3.0 Correspondence

As of the date of this staff report, the City has received nine letters of support for the yoga studio.

4.0 Sample Motion

Motion to APPROVE Case 25-10, a request for a Special Use Permit for a yoga studio located at 207 Washington Ave. (parcel #70-03-20-432-009) based on the information submitted for review with the following condition:

1. *A change of use permit shall be submitted.*

Attachments:

- A. Special Land Use application
- B. Floor Plan
- C. Special Land Use narrative
- D. Correspondence

SPECIAL LAND USE PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org

1. Project Information

Address/location of property: 207 Washington Ave, Grand Haven, MI, 49417

Parcel #: 70-03-20-432-009

Current Use: Retail

Area in Acres or Sq. Ft.: 1750 sqft

Zoning District: _____

Proposed Use: Yoga Studio

Zoning of adjacent properties: Retail

2. Applicant

Name: Delanie Paris

Company: Wildflower Yoga Studio

Address: 18031 Trudy Dr. Spring Lake, MI, 49456

Phone: 401-744-4519

Email: delaniepar@gmail.com

3. Property Owner

Name: Marc Hoeksema

Address: 4280 Lin Van Lane

Muskegon MI, 49441

Phone: 616 402 1064

Email: hoeksema-photo@yahoo.com

4. Required Application Materials

- Application (PDF + 5 copies)
- Site Plan (PDF + 5 copies)
- Letter or signed narrative describing the proposed special land use and detailing why the location selected is appropriate. Narrative must include responses to the special land use review standards of Section 40-116.03 and the specific review standards of Article V of the Zoning Ordinance.
- Statement of expected effect of the special land use on emergency service requirements, schools, storm water systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes
- Additional information which may be necessary (i.e. soil erosion, dune protection, view protection, shoreline protection, excessive noise or adverse impact on surrounding properties).
- Supporting statements, evidence, data, information and exhibits that address the standards and requirements for assessing a Special Use permit application as provided in Section 40-116.03.
- Required fee

1. Fees and Escrow Deposit

Application Fee: \$350.00 (*any Site Plan Review is in addition to this review*)

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.



2. Details of the Nature of Work Proposed

Our goal is to occupy 207 Washington Ave. as the new site of Wildflower Yoga Studio following the destructive fire that took place at our previous location (Forum Building) on 1/24/25. Our modification to the current space will be extremely limited and will require no changes to the current space for us to move in and be operational. I have included a few potential future initiatives in the site plan that we may explore based on our needs as we grow into the space. These initiatives, however, would be minor and brought before the city before implantation.

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: Delanie Paris Date: 2/9/2025

Print Name: Delanie Paris

Signature of Owner: Marc Hoeksma Date: 2/9/2025

Print Name: Marc Hoeksma

Office Use Only

Case #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Approved by: _____



February 10, 2025

To Whom It May Concern,

As many of you know, Wildflower Yoga operated in the Forum Building for years until it was tragically lost in a fire on January 24, 2025. In the wake of this loss, our priority has been to remain in Grand Haven, as close to the heart of downtown as possible. The community we have built—both with our members and fellow small business owners—is deeply rooted in this city, and we are committed to keeping Wildflower Yoga downtown.

During our search for a new permanent location, our friend Marc Hoeksma reached out to offer 207 Washington Ave. as a temporary space. However, after considering the location, size, and minimal renovations required, we quickly realized it was an ideal long-term home for our studio. Coincidentally, Marc had already been exploring the consolidation of his gallery into 205 Washington, making the timing perfect for both of us.

We firmly believe Wildflower Yoga would be a valuable addition to Washington Ave. and downtown Grand Haven as a whole. Our business has seen steady growth over the past few years, and we are ready to occupy a more public location. Between our dedicated members and drop-in students, we bring approximately 250 visitors downtown each week—many of whom shop, dine, and support local businesses before and after class. If granted permission to move to 207 Washington, we anticipate these numbers will continue to grow.

In addition, over the past two years, we have expanded our retail efforts, collaborating with local graphic designers to create clothing that features Grand Haven landmarks and celebrates our community. Through our wholesale partnerships with yoga and activewear brands, we see significant potential to further develop our retail offerings, enhancing foot traffic and complementing neighboring businesses.

We appreciate your time and consideration of our application and look forward to the opportunity to continue serving the Grand Haven community from our new home.

Sincerely,

Delanie Paris

Delanie Paris
Owner, Wildflower Yoga

Statement of expected effect of special land use

We don't see any effect on emergency services, sewer facilities, automobile and truck circulation patterns or local traffic volumes. Our class schedule works well with local traffic volumes as we offer morning classes and evening classes. Our goal for the 207 Washington space would be to hold to our typical class schedules and focus our efforts on growing our retail during the peak business hours. The location on the 3rd block of Washington offers many public lots within walking distance of the studio for our clients.

I do not see anything in the standards of section 40-116.03 or Article V of the zoning ordinance that would make me believe we have any risk of infringing any of these standards or regulations by moving our operation into the 207 building.

Delanie Paris

Delanie Paris

Owner, Wildflower Yoga Studio



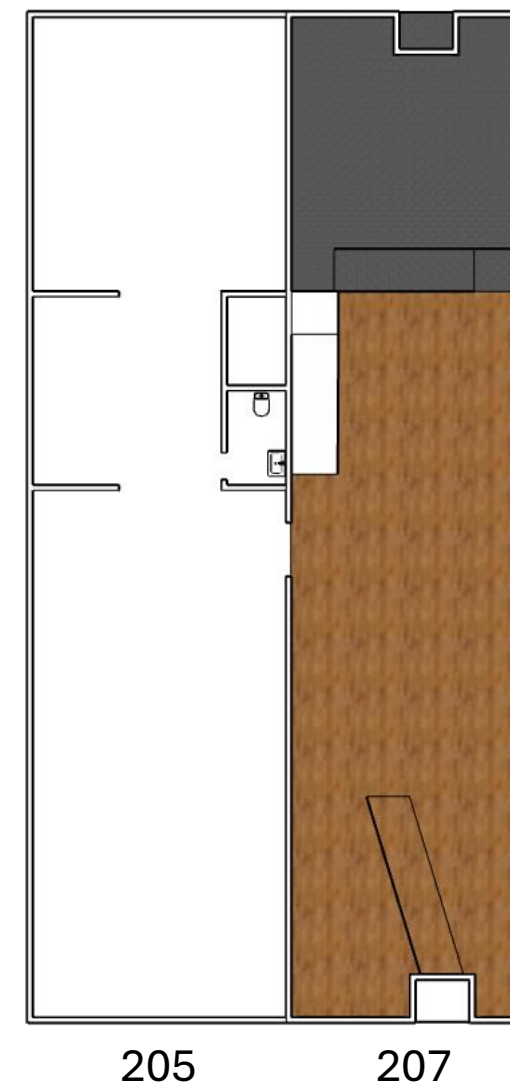
Wildflower Yoga Studio

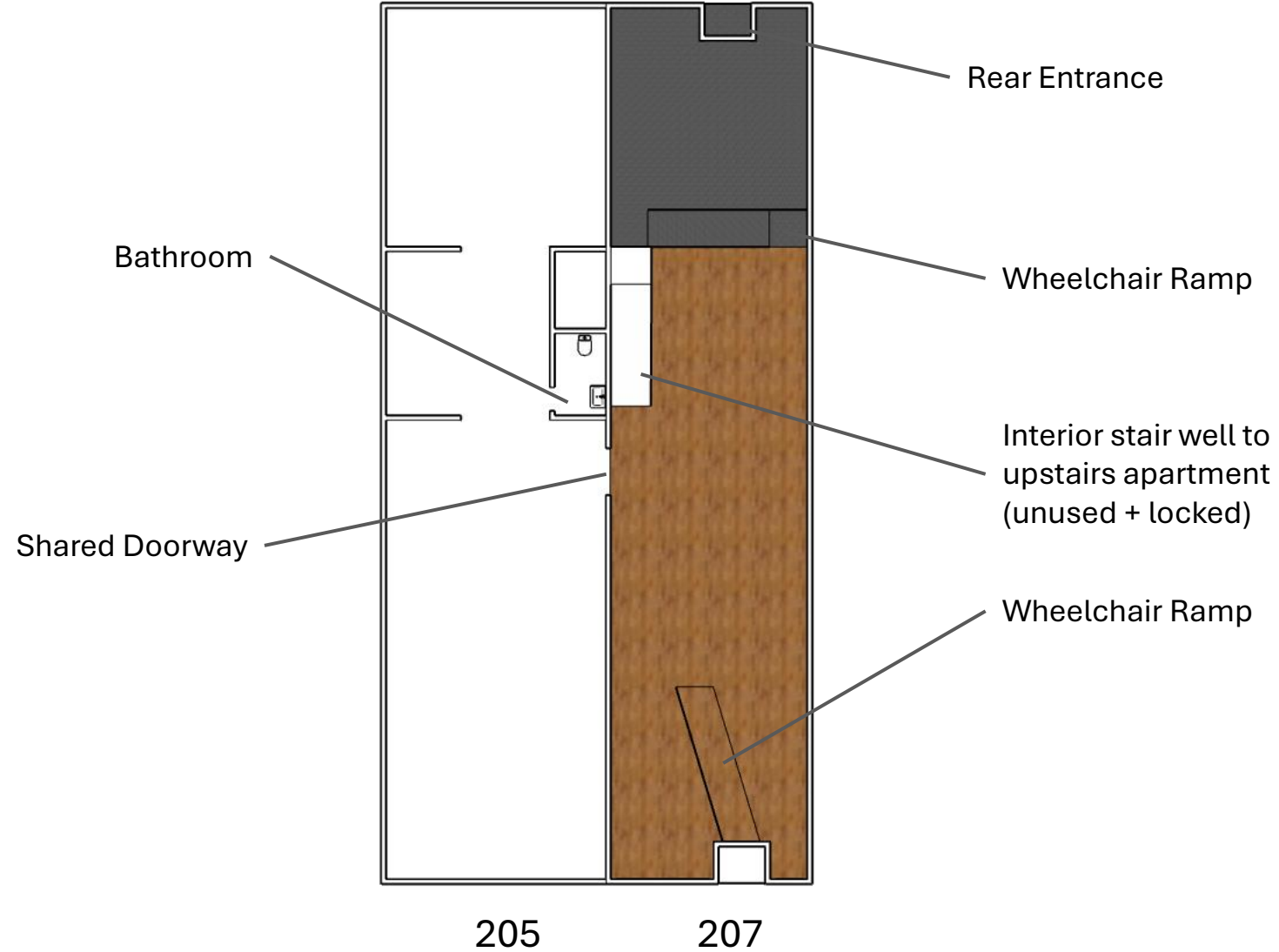
Site Plan – 207 Washington Ave.

Current Site Overview

207 Washington currently houses an art gallery showcasing photography by Marc Hoeksma, the building's owner. It functions as an extension of 205 Washington Ave. (Carlyn and Company) through a shared, lockable doorway, also owned by Marc Hoeksma.

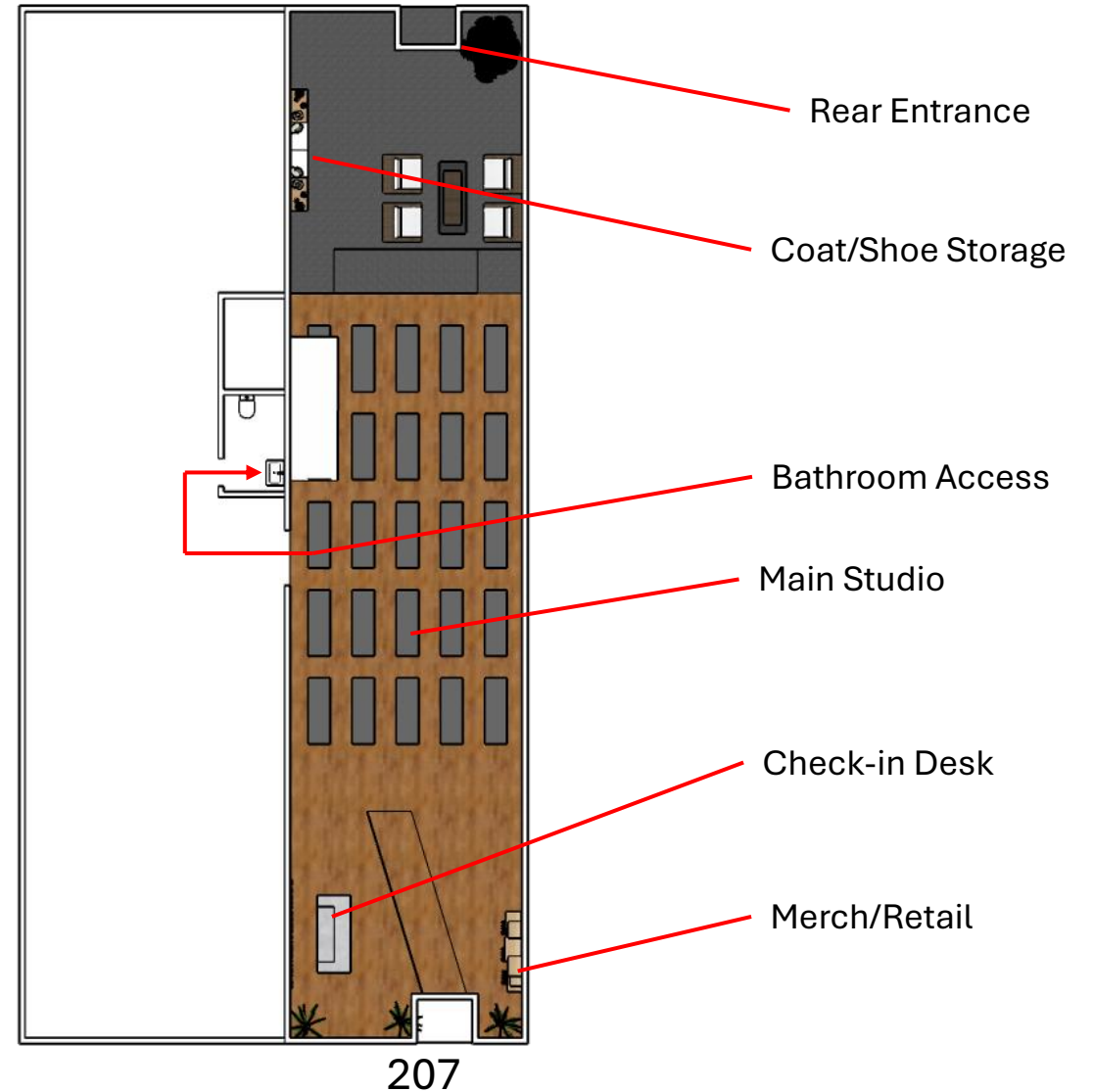
The space is wheelchair accessible via a ramp at 207 Washington and shares a bathroom with 205 Washington. Through discussions with Marc, we have agreed to use the bathroom at 205. Additionally, 207 Washington has a basement bathroom.





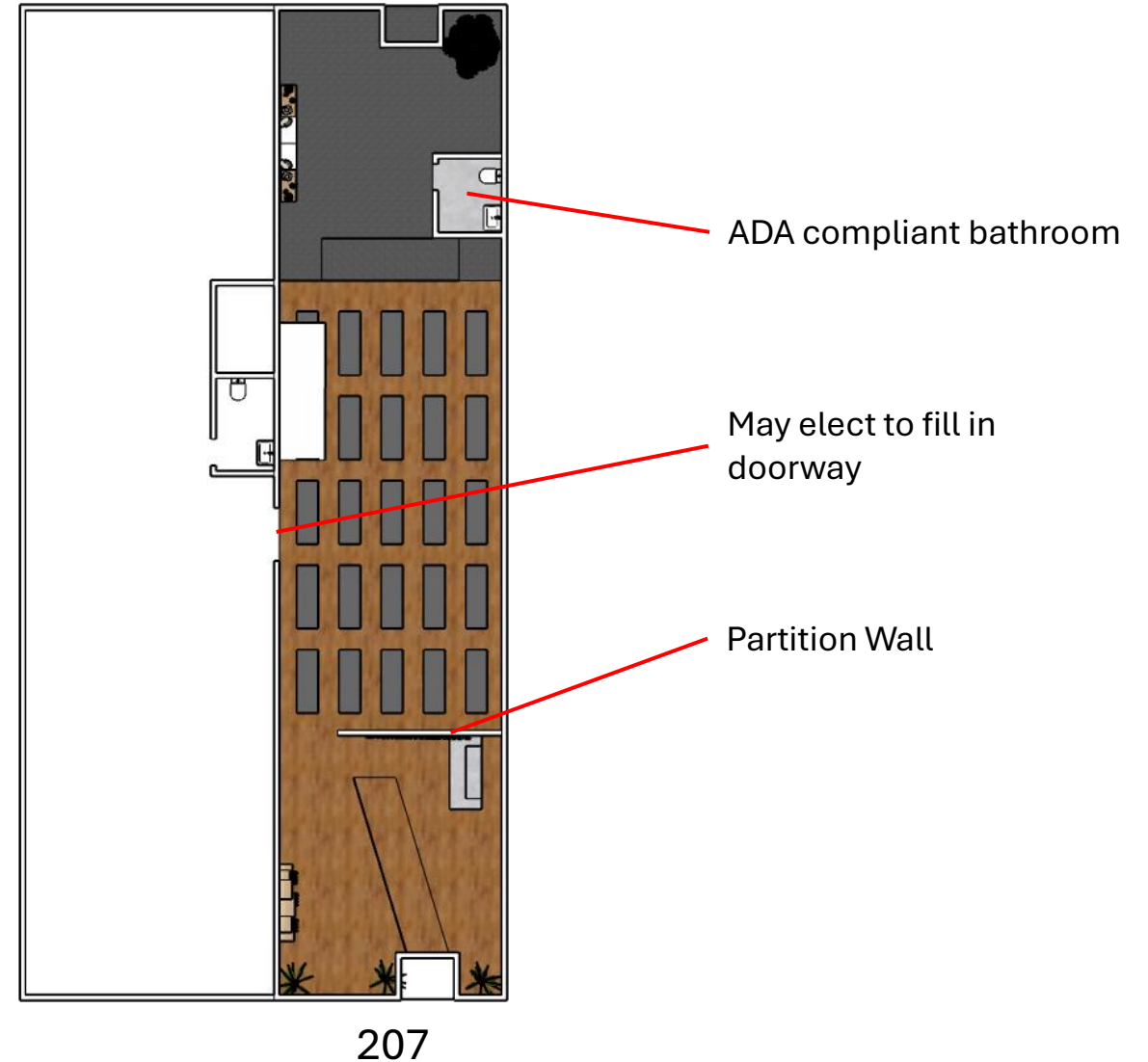
Current State Overview

There is no immediate need to modify the space, as it currently meets our initial requirements. As we grow into the space, we may choose to undertake minor projects to better suit our needs and enhance the yoga experience for our members. These potential projects are outlined on the next slide.



Potential Future Site Overview

The floor plan on the right is a conceptual design, assuming we choose to add an ADA compliant bathroom to the 207 Washington space in the future. As part of our due diligence, we want to ensure the layout remains functional for our evolving needs over time. Some additional minor details are the potential for adding a partition wall and possibly filling in the doorway connecting the two building if we no longer need access to the shared bathroom.



DATE: March 7, 2025
TO: Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: Case 25-11: Site Improvements to 5-Mile Hill

Current Zoning: DR, Dune Residential
Existing Use: Deck – 5 Mile Hill
Proposed Use: Retaining wall with patio

1.0 Background

The observation deck at top of 5-Mile Hill is in need of improvements. The City has contracted with Abonmarche for a plan to remove the existing wooden observation deck with a redi-rock retaining wall.



Proposed Site Improvements

The improvements include the installation of a radial concrete patio overlooking Mulligan's Hollow. A curvilinear concrete pathway will lead to the patio from the parking area at the top of 5-Mile Hill. The City will remove all existing vegetation and replace with native dune grass, ornamental, and perennial plantings. The City has obtained the necessary EGLE permits for this work. Other improvements include a new trash receptacle, seat wall and ledgestone. There are no plans to improve lighting or parking surfaces at this time.

2.0 Request

Per Sec. 40-115.02 D of the Zoning Ordinance, the Dept. of Public Works requests the Grand Haven Planning Commission acknowledge this facility improvement and expansion project and defer the site plan review to the City Planner for the following reasons:

- 1.) The project will result in a planned improvement and expansion of an existing use.
- 2.) The project will not significantly change the nature of the public use.

Attachments:

- A. Site Plan application
- B. Site Plan (8 sheets)

SITE PLAN REVIEW PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org

1. Project Information

Address/location of property: 600 Mulligans Hollow Drive

Parcel #: 70-03-29-160-004

Current Use: Observation Deck

Area in Acres: 0.05

Zoning District: Low Density Residential (LDR)

Proposed Use: Observation Deck

Zoning of adjacent properties: Dune Residential (DR)

2. Applicant

Name: Leah Bectel

Company: Abonmarche Consultants

Address #: 11 N 6th St, Grand Haven, MI 49417

Phone #: (231) 299-2220

Email: lbectel@abonmarche.com

3. Property Owner

Name: City of Grand Haven

Address: 519 Washington Ave, Grand Haven, MI 49417

Phone #: (616) 847-3493

Email: dlemke@grandhaven.org

4. Required Attachments

- PDF + 5 copies of the application
- PDF + 5 copies of site plan
- PDF + 5 copies of the building elevations
- PDF + 5 copies of the landscape plan
- Project phasing plan (if applicable)
- Signage plan and details
- Proposed topographic map
- Existing topographic map

5. Fees and Escrow Deposit

Up to \$100,000: \$200.00

\$100,001 to \$500,000: \$300.00

\$500,001 to \$1,000,000: \$400.00

\$1,000,001 & Up: \$500.00

Estimate Project Cost: \$ 70,975

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.

6. Details of the Nature of Work Proposed *(please identify materials and colors to be used)*

Removal of existing observation deck and installation of a new Redi-Rock retaining wall at Five Mile Hill.



7. Buildings and Structures

Number of buildings on site: N/A Use of buildings: _____
Height of buildings & # of stories: _____ Height of rooftop mechanical equipment: _____

8. Floor Use and Area (in square feet)

Commercial Structures

Total floor area: N/A
Open space (area & %): _____
Office space (area): _____
Retail space (area): _____
Industrial space (area): _____
Assembly space (area): _____
Seating capacity: _____
Maximum occupancy load: _____

Residential Structures

Total floor area: N/A
Total # of units: _____
of 1 bedroom units: _____
of 2 bedroom units: _____
of 3 bedroom units: _____
Open space (area and %): _____
Rental or condominium?: _____
Maximum occupancy load: _____

9. Setbacks *(see Article Four: District Regulations, Table 40-402.02, for setback requirements)*

Required front yard: _____ Proposed front yard: _____
Required rear yard: _____ Proposed rear yard: _____
Required total side yard: _____ Proposed total side yard: _____

10. Parking *(see Article Six: Parking, for zoning requirements)*

Required # of spaces: N/A Proposed # of spaces: N/A
Typical angle of spaces: _____ Size of spaces: _____
Location of parking on site: _____ Number of handicap spaces: _____
Shared parking agreement?: _____ Location and # of off-street spaces: _____
Number of employees: _____
Explanation of screening (including location and materials): _____

11. Loading *(see Section 40.605.04 for loading space requirements)*

Required # of spaces: N/A Proposed # of spaces: _____
Typical angle of space(s): _____ Size of space(s): _____
Location of loading space(s) on site: _____
Explanation of screening (including location and materials): _____

12. Site Lighting *(see Section 40-317 for lighting requirements)*

Building Lighting

of fixtures proposed: N/A
Type of lighting proposed: _____
Height of fixtures: _____
Location of fixtures: _____

Parking Area Lighting

of fixtures proposed: N/A
Type of lighting proposed: _____
Height of fixtures: _____
Location of fixtures: _____
Foot-candles at property line: _____

13. Landscaping *(see Article Eight: Landscaping, for zoning requirements)*

Location of landscape areas: Around proposed Proposed landscape material: Dune Grass, Perennials,
retaining wall and ornamental grasses



14. Exterior Trash Receptacles (see Section 40-301.03 for Dumpster Enclosure requirements)

Location of receptacle: N/A Size of receptacle: _____
Enclosure material: _____ Height of Enclosure: _____

15. Mechanical Equipment (see Sections 40-306.08(C) & 40-322 for zoning requirements)

Ground Mounted Mechanical Equipment

of units: N/A
Size of units (LxWxH): _____
Location of units: _____
Screening: _____

Rooftop Mechanical Equipment

of units: N/A
Type of rooftop units: _____
Size of units (LxWxH): _____
Location of units: _____
Screening: _____

16. Accessory Buildings (see Section 40-301 for standards for accessory buildings)

of accessory building(s): N/A Size of accessory building(s) (LxWxH): _____
Location of accessory building(s): _____

17. Emergency Access Features (contact City of Grand Haven Fire Marshal with questions)

Emergency Access Roads: N/A
Location of hydrants and fire department connection (FDC): _____

18. Historic District information (contact [City of Grand Haven Historic Conservation District Commission](#))

Is this location within a Historic Conservation District? Yes No Unsure
Name of District, if applicable: _____

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: Leah Bectel Date: 2/5/25

Print Name: Leah Bectel, PE

Signature of Owner: Derek Lemke Date: 2-5-25

Print Name: Derek Lemke

Office Use Only

Case #: _____ Date Received: _____ Fee: _____

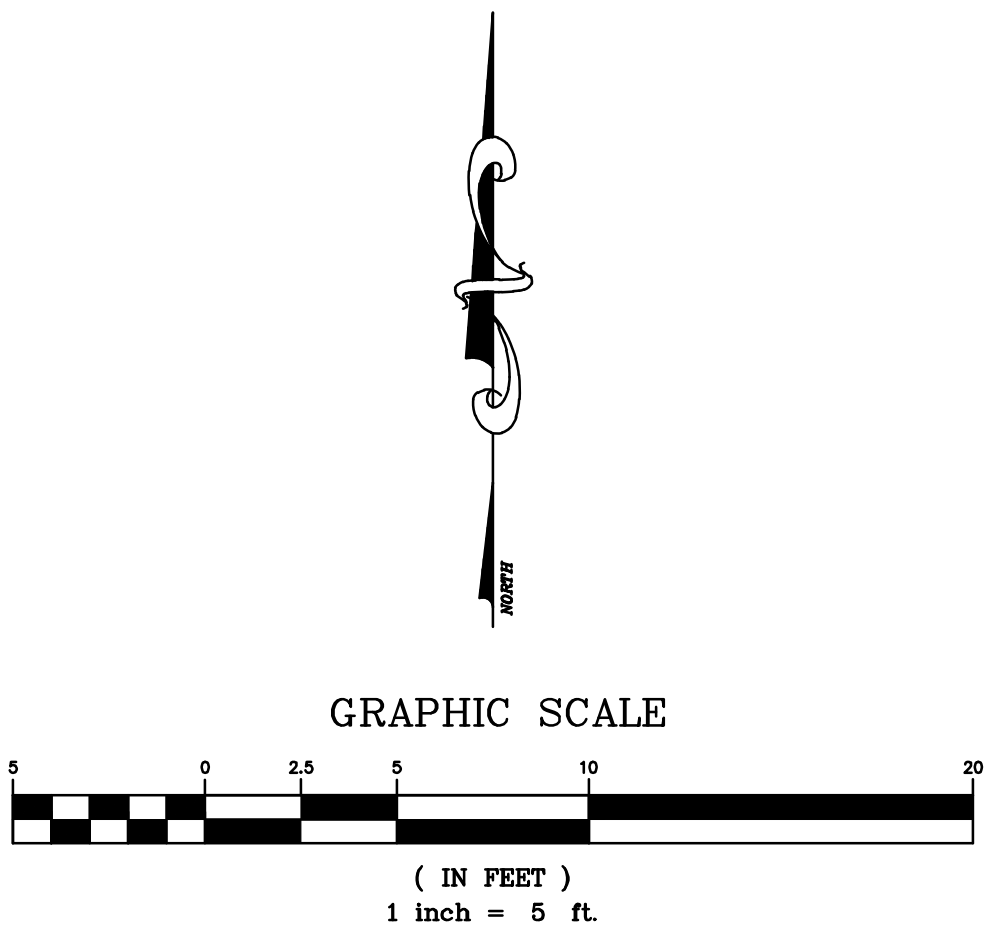
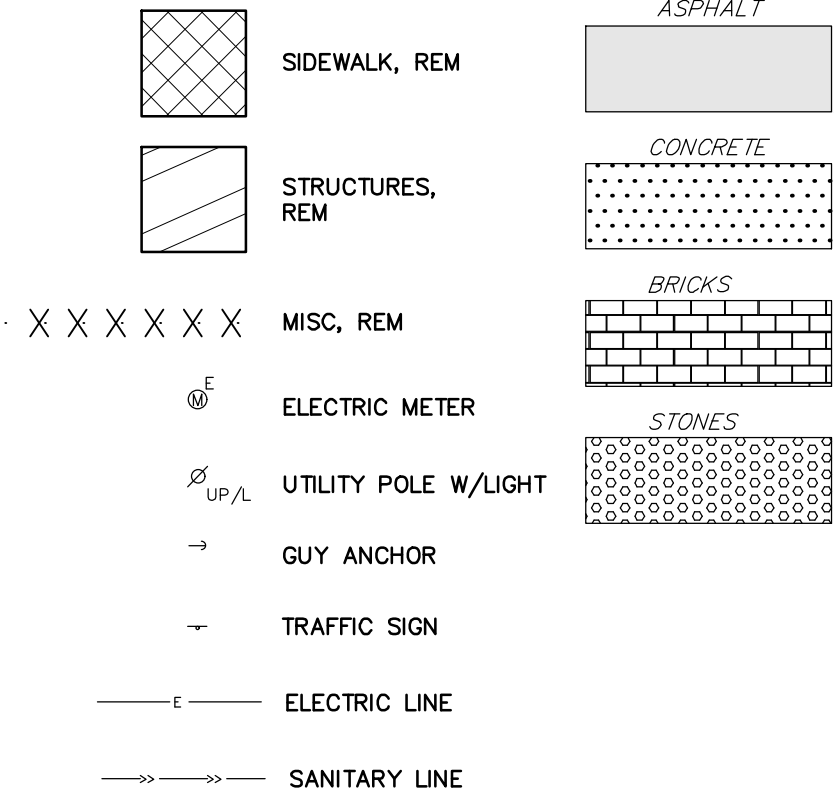
Date of Approval: _____ Date of Denial: _____ Approved by: _____





Item Description	Unit	Sht 2 Quantity
Mobilization, Max \$15,000	LSUM	1
Sidewalk, Rem	Syd	15
Structures, Rem	LSUM	1
Temporary Traffic Control	LSUM	1

LEGEND



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Fl. Wayne

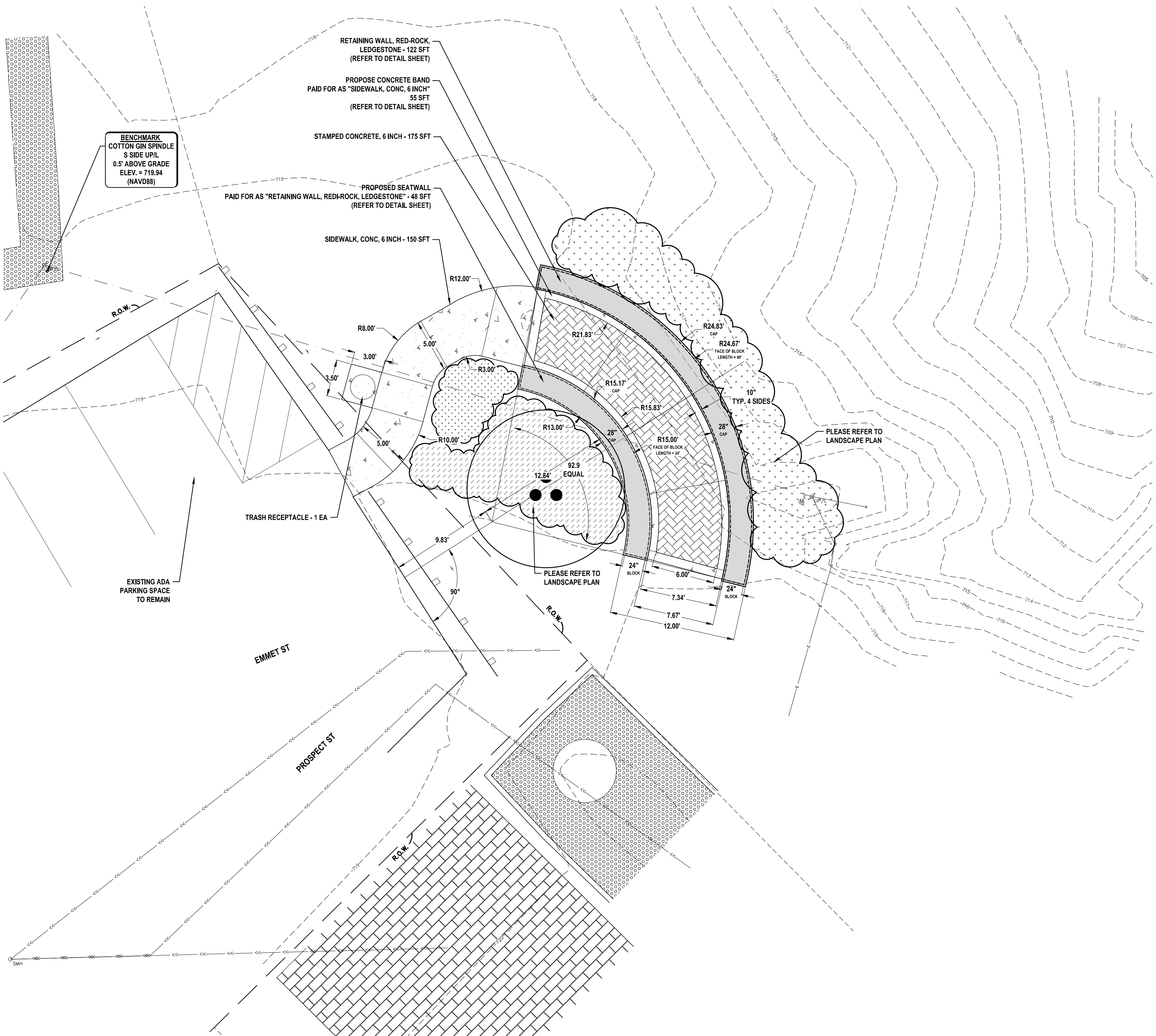
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EXISTING CONDITIONS AND
REMOVALS PLAN

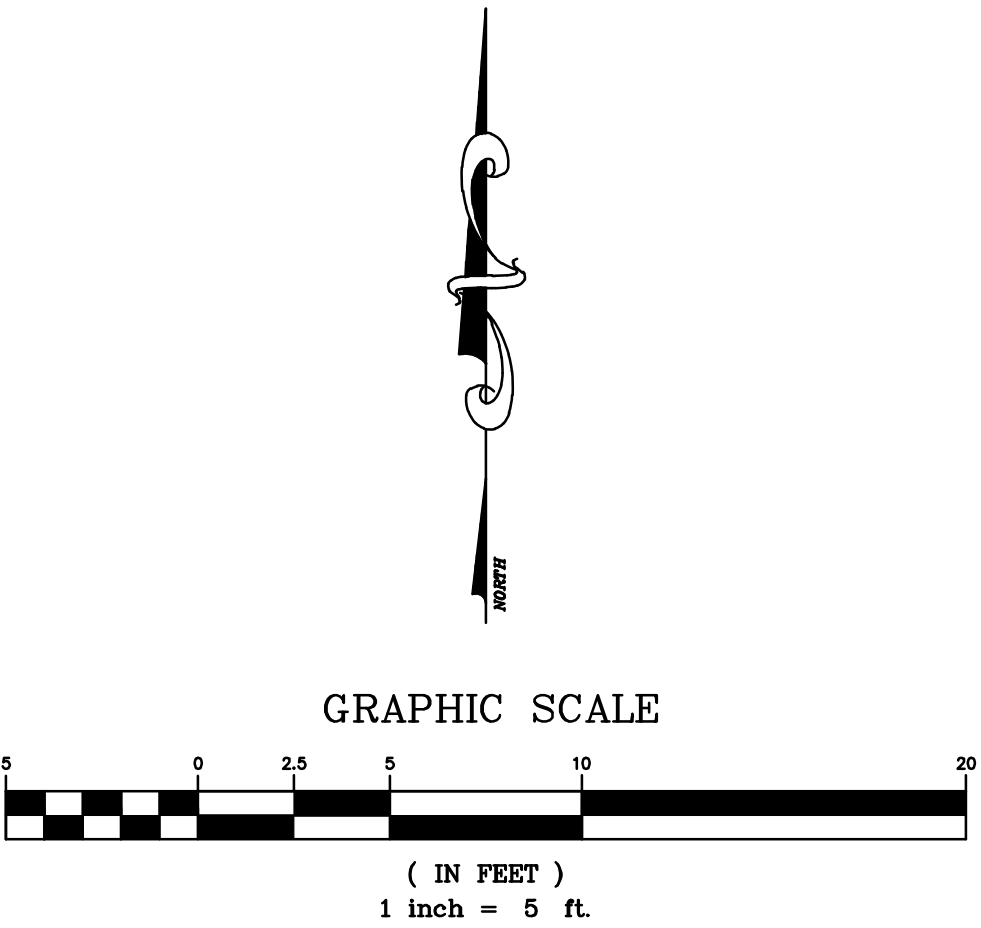
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DRAWN BY:	TMV, KB
DESIGNED BY:	KB, SFL, APH
PM REVIEW:	SFL, LNB
QA/QC REVIEW:	SFL, LNB, TRD
DATE:	JANUARY 2025
SEAL:	

SIGNATURE:	
DATE:	
SCALE:	
HORIZ: 1"=5'	
VERT: N/A	
ACI JOB #	24-1769
SHEET NO.	2 of 8



Item Description	Unit	Sht 3 Quantity
Excavation, Earth	Cyd	100
Site Grading	LSUM	1
Retaining Wall, Redi-Rock, LedgeStone	Sft	170
Sidewalk, Conc, 6 inch	Sft	205
Stamped Concrete, 6 inch	Sft	175
Trash Receptacle	Ea	1

LEGEND	
	TOP OF RETAINING/SEATWALL CAP
	SIDEWALK, CONC, 6 INCH CONC BAND, 6 INCH
	STAMPED CONC, 6 INCH PATTERN AND COLOR TO BE SELECTED BY OWNER



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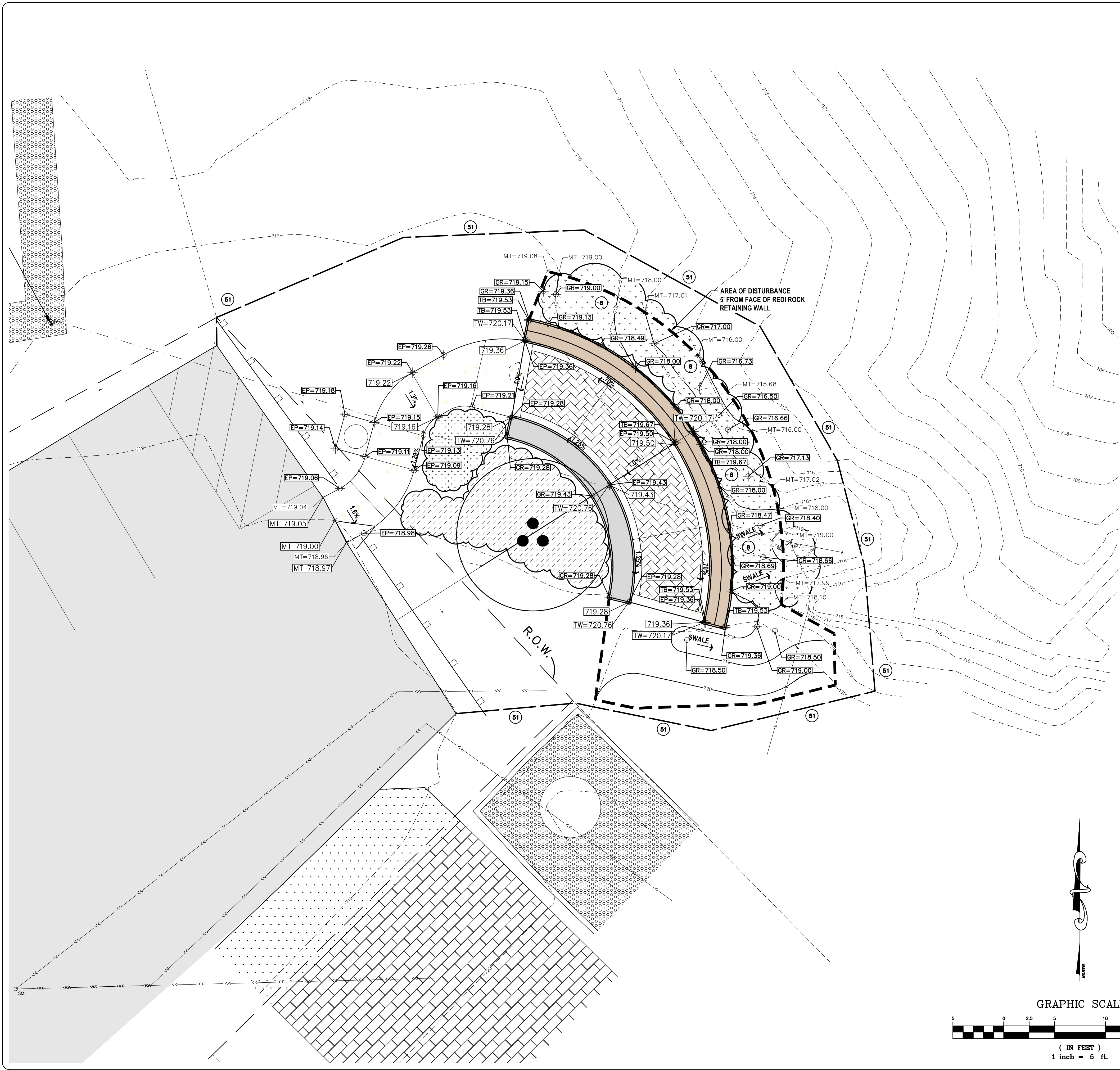
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SITE PLAN

SHEET TITLE:
DRAWN BY: TMV, KB
DESIGNED BY: KB, SFL, APH
PM REVIEW: SFL, LNB
QA/QC REVIEW: SFL, LNB, TRD
DATE: JANUARY 2025
SEAL:

SIGNATURE:
DATE:
SCALE: HORZ: 1"=5' VERT: N/A
ACI JOB # 24-1769
SHEET NO. 3 of 8



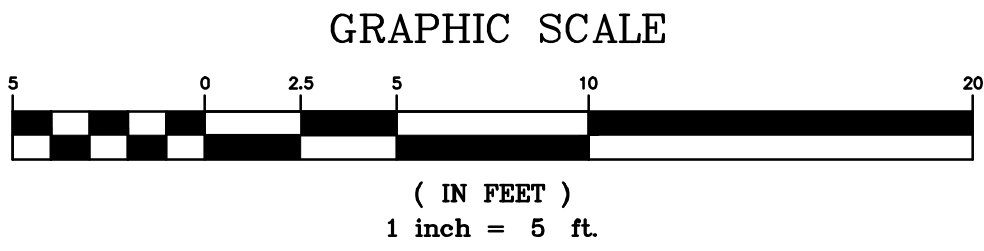
Item Description	Unit	Sht 4 Quantity
Erosion Control, Silt Fence	Ft	100

PROPOSED SCHEDULE		2025				
CONSTRUCTION SEQUENCE		MAR	APR	MAY	JUN	JUL
MOBILIZATION						
INSTALL SESC SILT FENCE						
REMOVALS & SITE GRADING FOR RETAINING WALL & SIDEWALK						
INSPECT & MAINTAIN SESC MEASURES						
INSTALLATION RETAINING WALL						
INSTALLATION SIDEWALK, LANDSCAPING						
FINAL RESTORATION						
MONITOR AND MAINTAIN RESTORATION AND PERMANENT B.M.P.S						

- NOTES:
1. INSTALL ALL SESC MEASURES PRIOR TO OR UPON COMMENCEMENT OF THE EARTH CHANGE.
 2. CONDUCT INSPECTIONS OF ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS WEEKLY AND FOLLOWING RAIN EVENTS TO EVALUATE EFFECTIVENESS OF SESC MEASURES.
 3. MAINTAIN TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IN PROPER WORKING CONDITION FOR THE LIFE OF THE PROJECT UNTIL THE SITE HAS BEEN RESTORED.
 4. INSTALL TOPSOIL, SEEDING, FERTILIZER, AND MULCHING/MULCH BLANKETS WITHIN 5 DAYS OF THE COMPLETION OF CONSTRUCTION.
 5. NOTIFY OTTAWA COUNTY WHEN PROJECT COMMENCES AND WHEN SITE IS STABILIZED AND READY FOR FINAL INSPECTION.
 6. DURING THE ENTIRE CONSTRUCTION PHASE OF THE PROPOSED PROJECT, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE CLEAN-UP OPERATIONS ALONG AND ON THE ROADWAY WHERE DIRT AND/OR DEBRIS HAS BEEN DEPOSITED DUE TO THE CONSTRUCTION ACTIVITIES AND/OR RELATED WORK. AS A MINIMUM, CLEAN-UP WILL BE DONE ON A DAILY BASIS; ADDITIONAL CLEAN-UP WILL BE PERFORMED AS DEEMED NECESSARY BY THE CITY.

APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES	
KEY	DESCRIPTION
51	GEOTEXTILE SILT FENCE
8	DUNEGRASS PLANTING

- LEGEND
- DUNEGRASS PLANTING REFER TO LANDSCAPE PLAN
 - EROSION CONTROL, SILT FENCE
 - PROPOSED GRADE 100.00
 - EXISTING GRADE 100.00
 - TW = TOP OF WALL
 - TB = TOP OF BLOCK
 - GR = GRADE AT GROUND
 - EP = EDGE OF PAVEMENT
 - MT = MEET EXISTING



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GRADING AND SOIL EROSION
AND SEDIMENTATION
CONTROL PLAN

SHEET TITLE:

DRAWN BY:
TMV, KB

DESIGNED BY:
KB, SFL, APH

PM REVIEW:
SFL, LNB

QA/QC REVIEW:
SFL, LNB, TRD

DATE:
JANUARY 2025

SEAL:

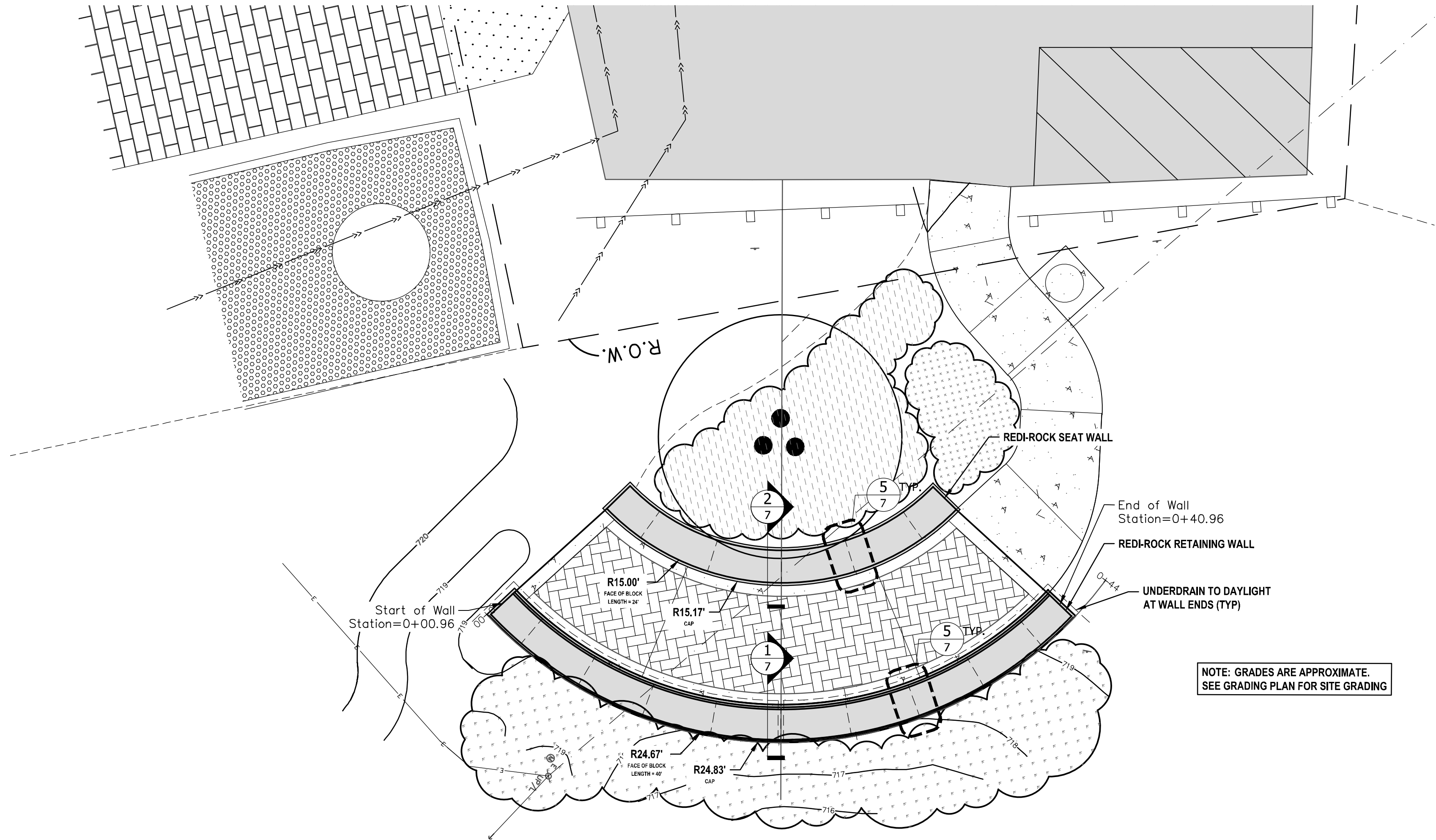
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DATE:

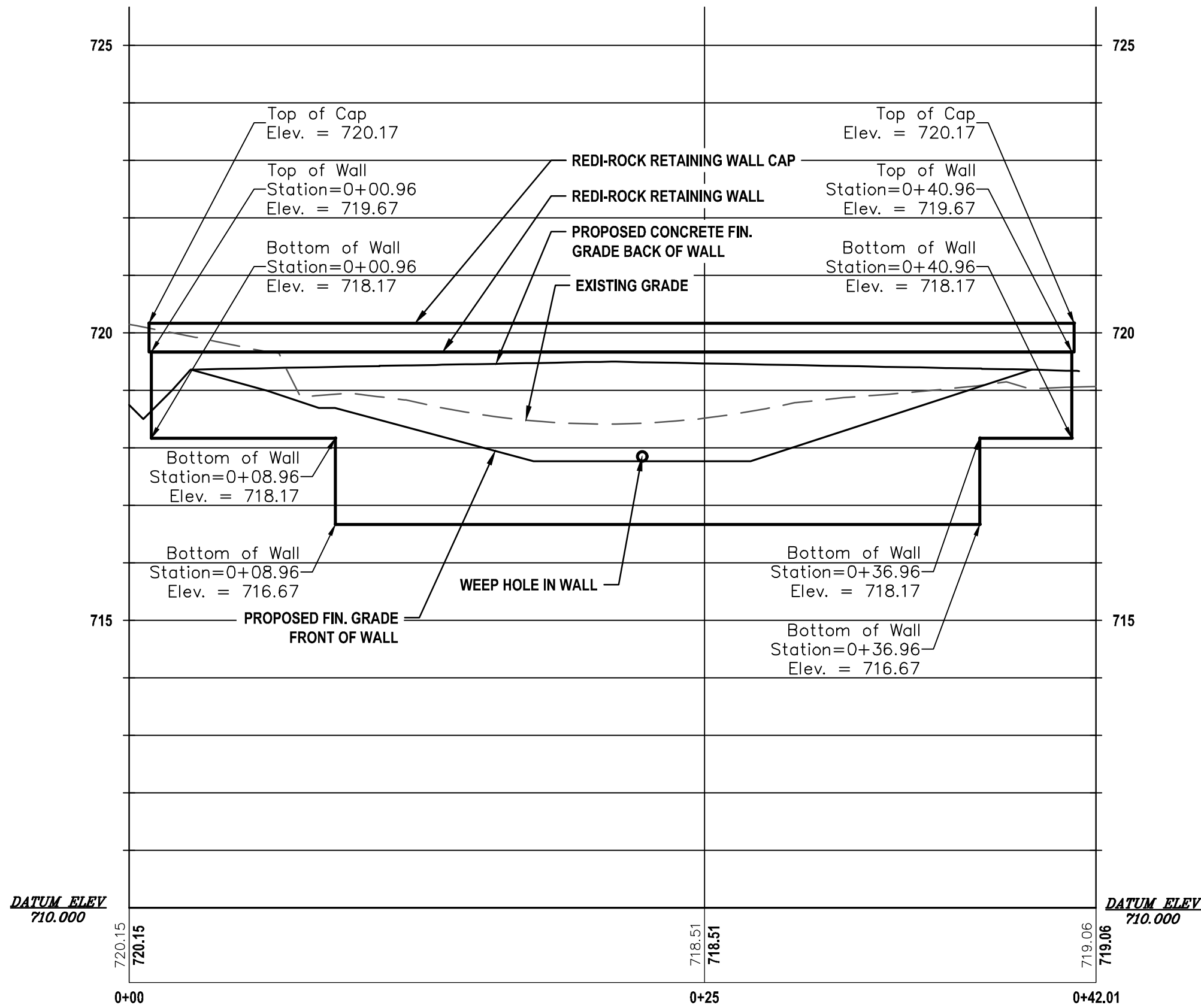
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HORZ: 1"=5'
VERT: N/A

ACI JOB #
24-1769

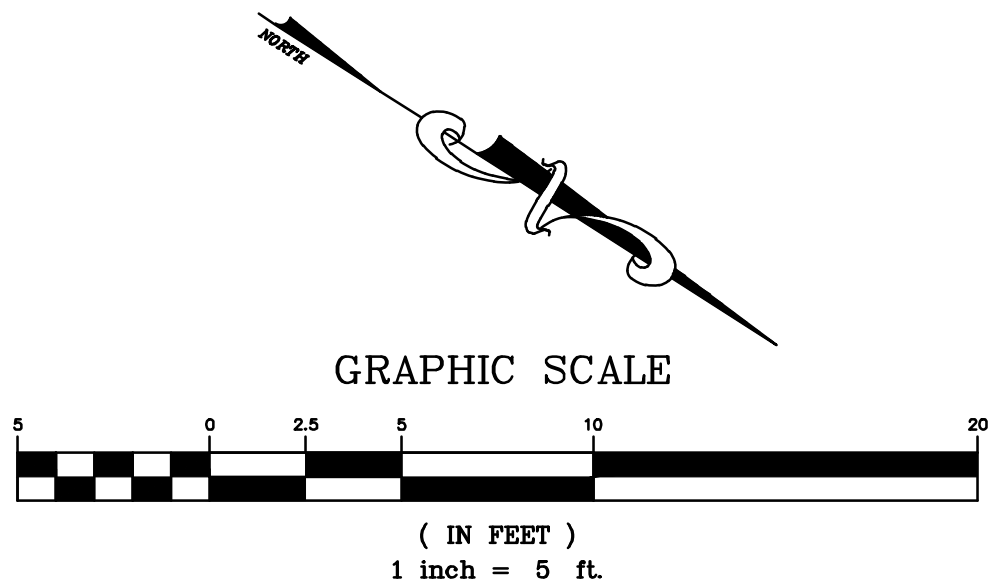
SHEET NO.
4 of 8



Wall Plan View



Retaining Wall Profile



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NO.	REVISION DESCRIPTION:	BY:	DATE:

**CITY OF GRAND HAVEN
FIVE MILE HILL
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OTTAWA COUNTY, MICHIGAN**

**MODULAR BLOCK
RETAINING WALL
PLAN AND PROFILE**

SHEET TITLE:
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TMV, KB
DESIGNED BY:
KB, SFL, APH
PM REVIEW:
SFL, LNB
QA/QC REVIEW:
SFL, LNB, TRD
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JANUARY 2025
SEAL:

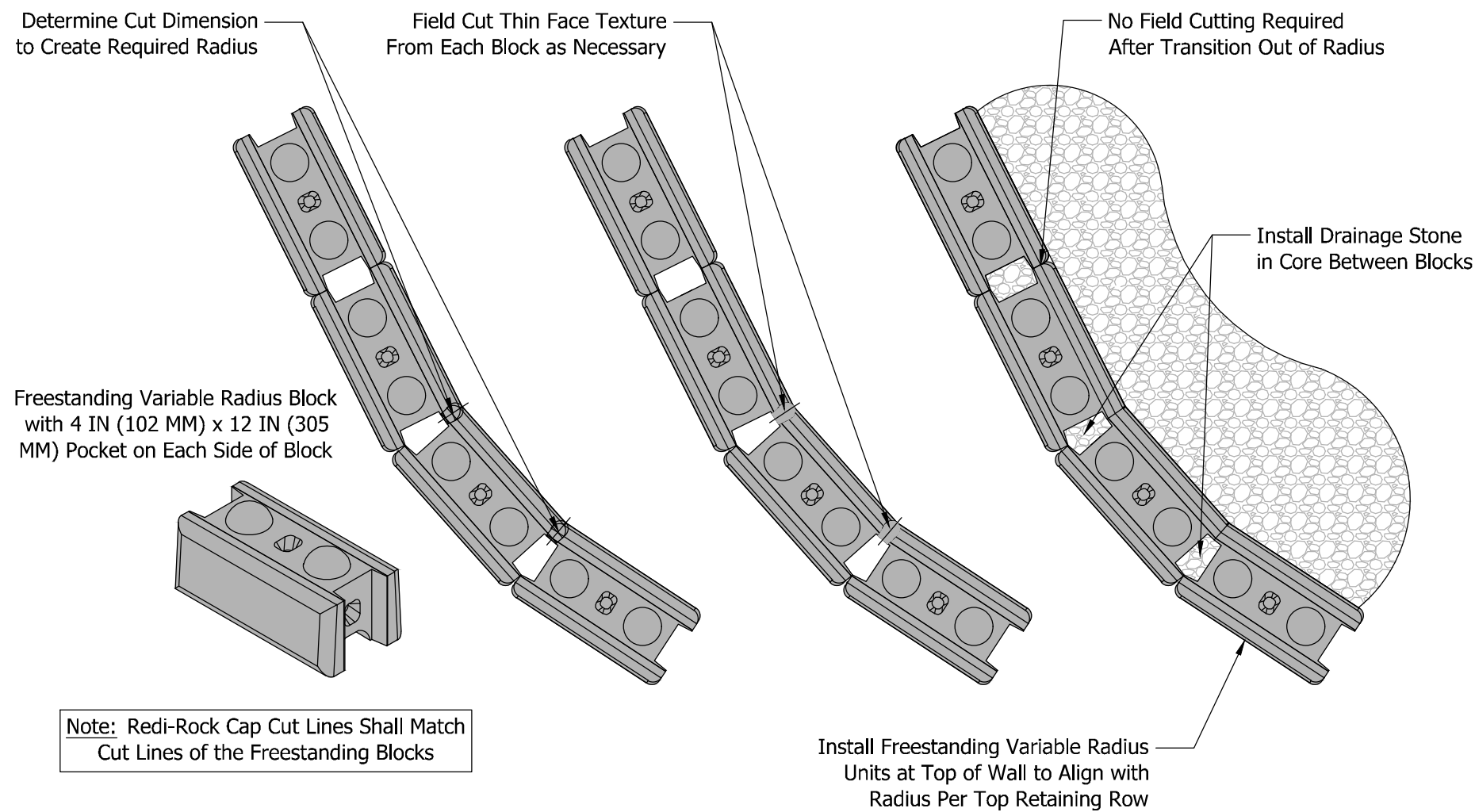
SIGNATURE:
DATE:
SCALE:
HORIZ: 1"=5'
VERT: 1"=2.5'
ACI JOB #
24-1769
SHEET NO.

I. Design Basis

- A. Building Code Used in the Design of this Structure: Michigan Building Code 2015.
- B. The Editions Referenced in the Building Code Listed Above Shall Apply for the Following Design Standards:
- Concrete: ACI 318
 - Structural Steel: AISC Steel Construction Manual, LRFD/ASD
 - Wood: NDS for Wood Construction
- C. Soil Capacity (Assumed at Bottom of Footing)
- Minimum Soil Bearing Pressure = 2,000 PSF
 - Contractor Must Verify that the Soils can Support this Pressure.
 - Design Active Pressure = 45 PSF/FT (Contractor to Verify)
- D. Gravity Dead Loads
- All Other = Actual Weights
- E. Gravity Live Loads
- Pedestrian Live Load = 100 PSF

II. Overview

- A. General
- Any Changes to the Structural Design must have Written Approval from the Engineer or the Certification May be Invalidated.
 - The Contractor Shall be Solely Responsible for Following Safety Precautions and Regulations.
 - The Contractor Shall be Solely Responsible for Methods, Techniques, Sequencing and Supervision of the Work.
 - These Drawings Indicate General Details of Construction. Where Conditions are not Specifically Detailed, Construction Similar to the Drawing Details Shall be Used, Unless Noted Otherwise.
 - The Contractor Shall use These Drawings Together with the Drawings and Specifications of all Other Disciplines on the Project and Shall Verify the Requirements of other Trades That Interface with the Structural Work.
 - These Drawings Represent the Finished Structure. It is the Sole Responsibility of the Contractor to Design, Install and Inspect Adequate and Safe Temporary Bracing, Shoring, etc. Required During Construction Until all Structural Work is Completed.
 - The Contractor Shall Comply with the Supplier's Manufacturing, Delivery, Handling, Storage and Erection Specifications for all Structural System Components.
 - The Current Editions of ASTM Standards and all References Shall Apply Unless Noted Otherwise.
 - Demolished Items Shall Become the Property of the Contractor and Shall be Removed from the Site, Unless Noted Otherwise.
- B. Shop Drawings
- The General Contractor Shall Review, Check and Coordinate the Shop Drawings and Submit a Review Stamped Set to the Engineer for Review Prior to Fabrication. Shop Drawings without a Contractor Review Stamp will be Rejected by the Engineer.
 - The Engineer will Review Shop Drawings only for Conformance with the Design Concept and General Compliance with the Drawings. The Contractor is Solely Responsible for Errors and Omissions Associated with the Preparation of Shop Drawings.
 - The Engineer Shall Review the Shop Drawings in Accordance with a Schedule Pre-Approved by the Engineer; or, in the Absence of a Schedule, in a Manner Deemed Timely by the Engineer.
 - As a Minimum, Submit the Following Applicable Shop Drawings for Review: (1) Concrete Mix Design Specifications; (2) Concrete Reinforcing Steel; (3) Load Bearing Masonry Reinforcing Steel; (4) Structural Steel; (5) Precast Concrete; (6) Redi Rock Wall Layout.



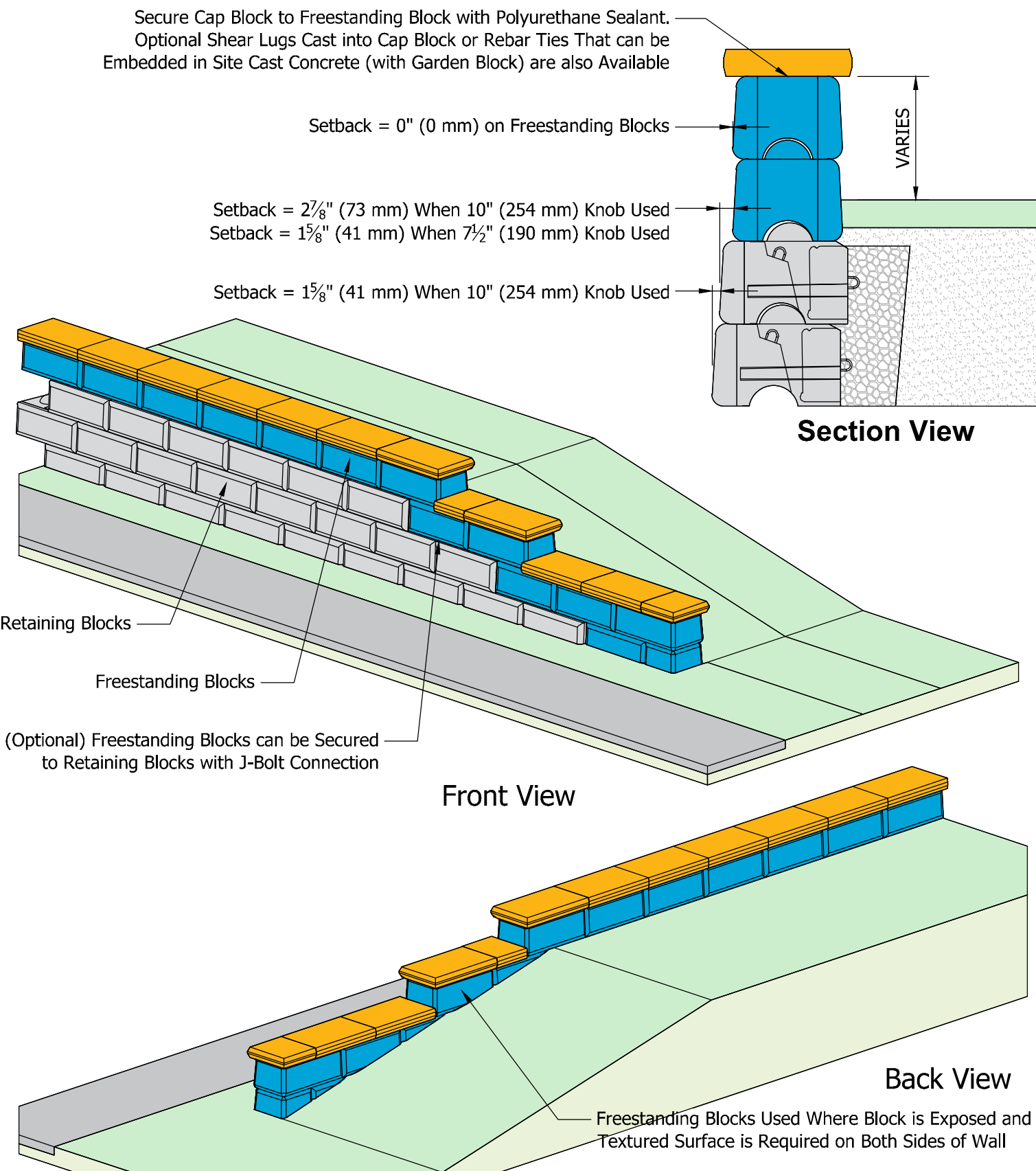
5 Freestanding Variable Radius Curve Detail
Scale: 1/2" = 1'-0"

IV. CONCRETE

- A. Cast-In-Place Concrete
- Applicable Specifications
 - Structural Concrete: ACI 301
 - Hot Weather Concreting: ACI 305
 - Cold Weather Concreting: ACI 306
 - Concrete Mix: ACI 301
 - Reinforcement Lap & Embedment Length: ACI 318
 - Reinforcement Detailing: ACI 315
 - Welding Reinforcing Steel: AWS D1.4
 - Portland Cement Concrete: ASTM C150
 - Aggregate: ASTM C33
 - Reinforcing Steel: ASTM A615
 - Welded Wire Fabric, Min. 70 ksi Strength: ASTM A185
 - Epoxy Coated Reinforcing Steel: ASTM A775
 - Admixtures: ASTM C494
 - Air-Entraining Admixtures: ASTM C260
 - Ready-Mixed Concrete: ASTM C94
 - All Concrete Exposed Shall have a Minimum Strength of 4,000 PSI at 28 Days, Limestone Aggregate and 5%-8% Entrained Air.
 - Minimum Concrete Cover for Reinforcing Steel:
 - Cast Against & Permanently Exposed to Earth: 3"
 - All Others Unless Shown on Plans: 2"
 - Steel Reinforcing Shall be Grade 60. Ties and Stirrups Shall be Grade 60.
 - Lap Continuous Reinforcing Steel with Class B Splices per LRFD Bridge Design Specifications, Unless Noted Otherwise.
 - Provide Plastic or Epoxy Coated Steel Supports for Reinforcing Steel to Insure Minimum Concrete Cover.
 - Set Reinforcing Steel and Secure Prior to Placing Concrete. Vertical Dowels for Masonry Wall Reinforcing May be Floated in Place.
 - Reinforcing Steel Shall be Continuous at Corners. Extend Wall Vertical Reinforcing into Footings and Provide Dowels as Required.
 - Do not Field Bend Reinforcing Bars Embedded in Hardened Concrete.

III. Foundations

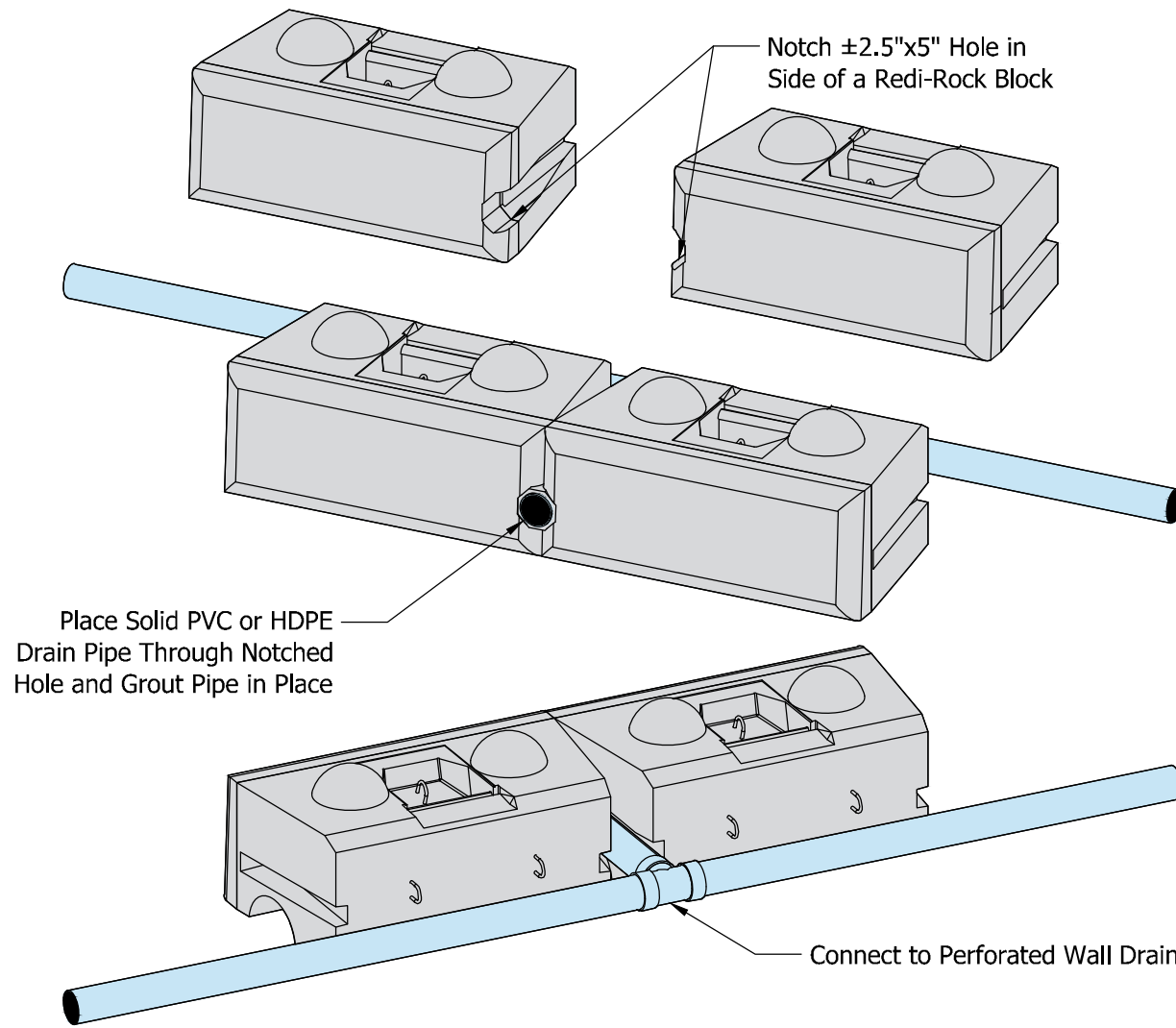
- A. General
- Footings Shall Bear on Undisturbed, Firm, Natural Soil or Compacted Fill Capable of Supporting the Minimum Soil Bearing Pressure Specified in the "Design Basis" Section of these Structural Notes. A Geotechnical Engineer/Testing Agency Shall Evaluate Foundation Excavations Prior to Placing Foundation Concrete.
 - Contractor Shall Remove Unsuitable Soils from Below the Structure and Place Suitable Fill Material Under the Foundation Compacted to 100% Standard Proctor in 8" Maximum Lifts. A Geotechnical Engineer Licensed in the State Where the Project is Located Shall Test Compacted Fill Placed Under Foundations.
 - Concrete Work Shall Conform to the Specifications in the "Cast-in-Place Concrete" Section of these Structural Notes.
 - If Footings are not Placed Immediately After Excavation, Install a 2" Thick Seal of Lean Concrete to Protect the Soil from Moisture Damage.



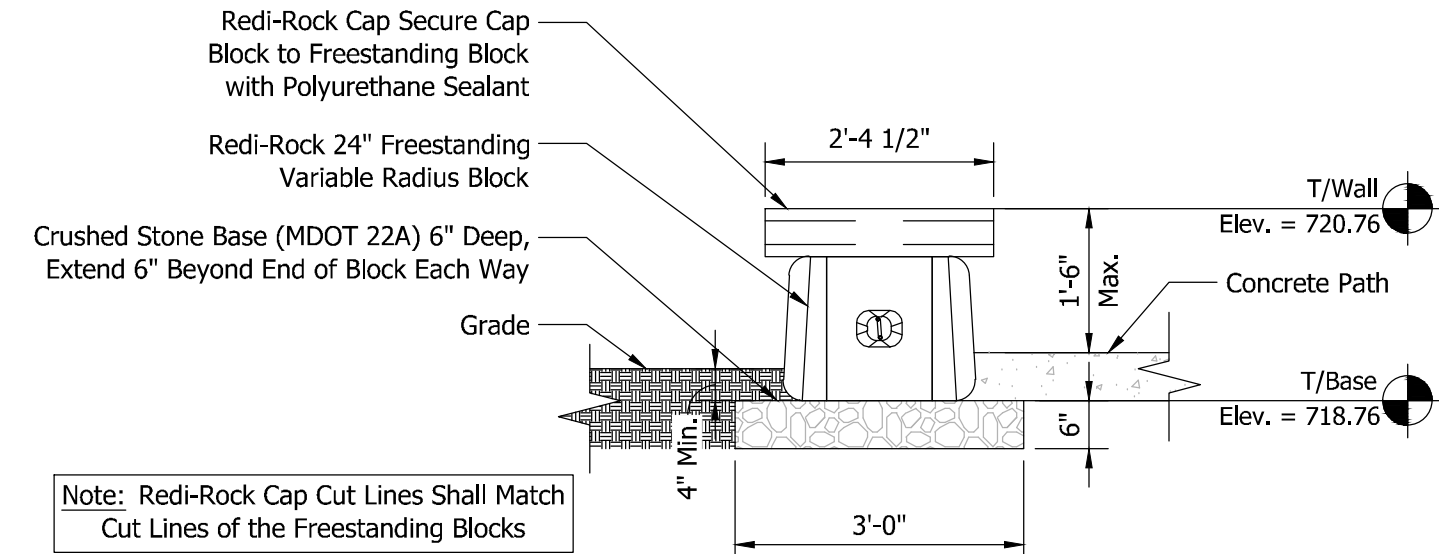
4 Freestanding Wall Detail
Scale: 1/2" = 1'-0"

VIII. Modular Block Precast Retaining Wall

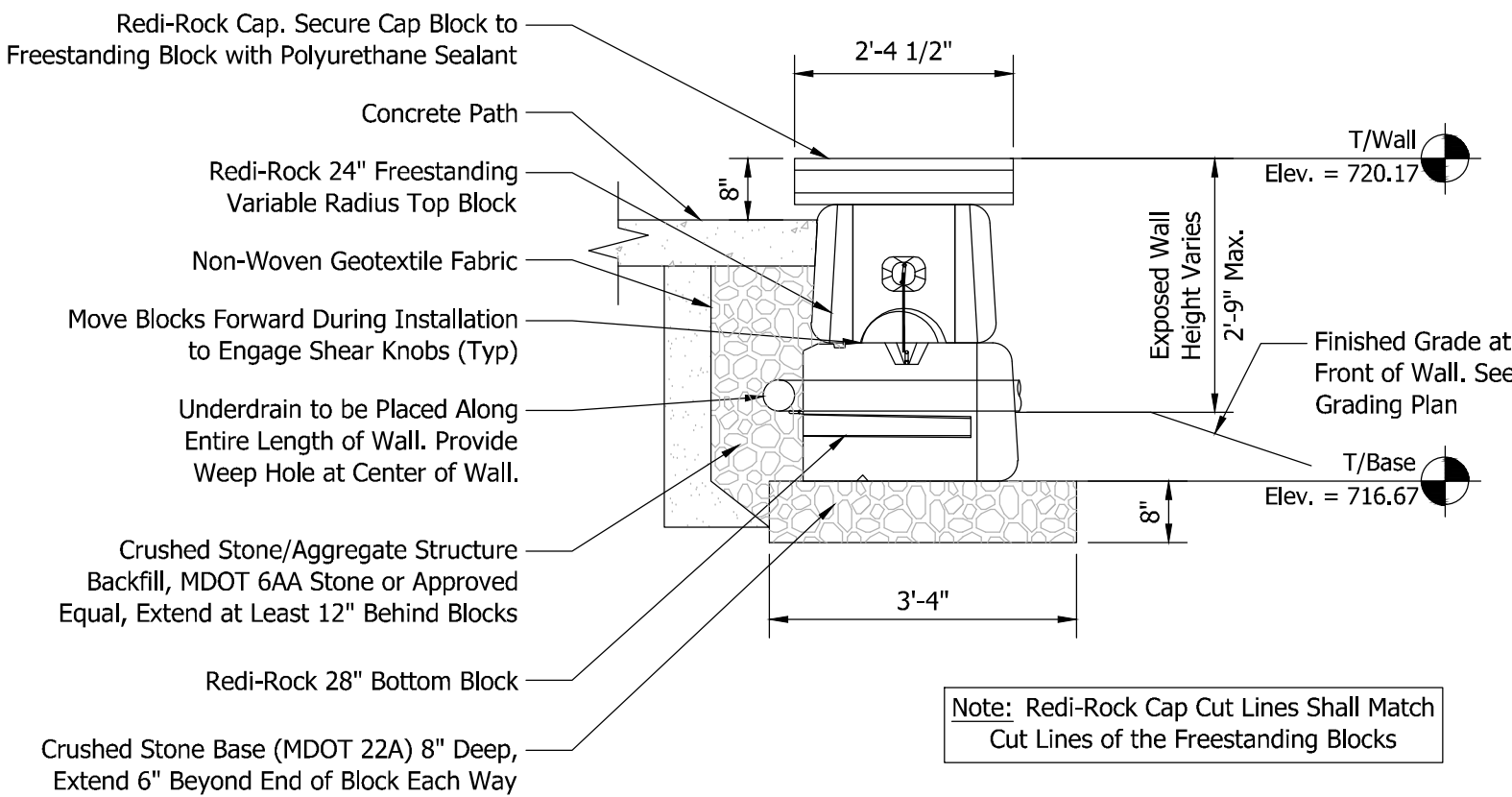
- A. Modular Block Precast Retaining Wall
- Modular block retaining wall to be constructed with precast concrete block units manufactured by a licensed Redi-Rock manufacturer per specifications.
 - The leveling pad shall be constructed to provide a level, hard surface on which to place the first course of precast modular block units.
 - Leveling pad shall be a MDOT 22A crushed stone base sized per details on plans. Pad shall be a minimum 6" deep and extend a minimum 6" beyond end of block each way unless noted otherwise on plan details.
 - The leveling pad shall bear on undisturbed, firm, natural soil or compacted fill capable of supporting the minimum soil bearing pressure specified in the "Design Basis" section of these structural notes. A geotechnical engineer/testing agency shall evaluate foundation excavations prior to placing foundation concrete.
 - Drainage collection pipe shall be a 4" diameter, 3-hole perforated, HDPE pipe with a minimum pipe stiffness of 22 psi per ASTM D2412. Underdrain shall be placed along entire length of wall. Outlet drainage collection pipe around ends of wall and every 20' on center. Outlet drainage pipe shall be according to wall drain detail.
 - The contractor is responsible for the location and protection of all existing underground utilities.
 - A minimum of 12" of compacted, low-permeability fill shall be placed over the granular infill zone of the zone of the precast modular block retaining wall structure.
 - All Redi-Rock blocks are to be moved forward during installation to engage shear knobs.
 - Drainage aggregate shall be placed in the V-shaped joints between adjacent blocks, and extend a minimum distance of 12" behind the block unit.
 - Soils for backfill shall be in accordance with MDOT Granular Material Class II.
 - Natural soils meeting MDOT Granular Material Class II specifications may be used for backfill.



3 Wall Drain Weep Detail
Scale: 1/2" = 1'-0"

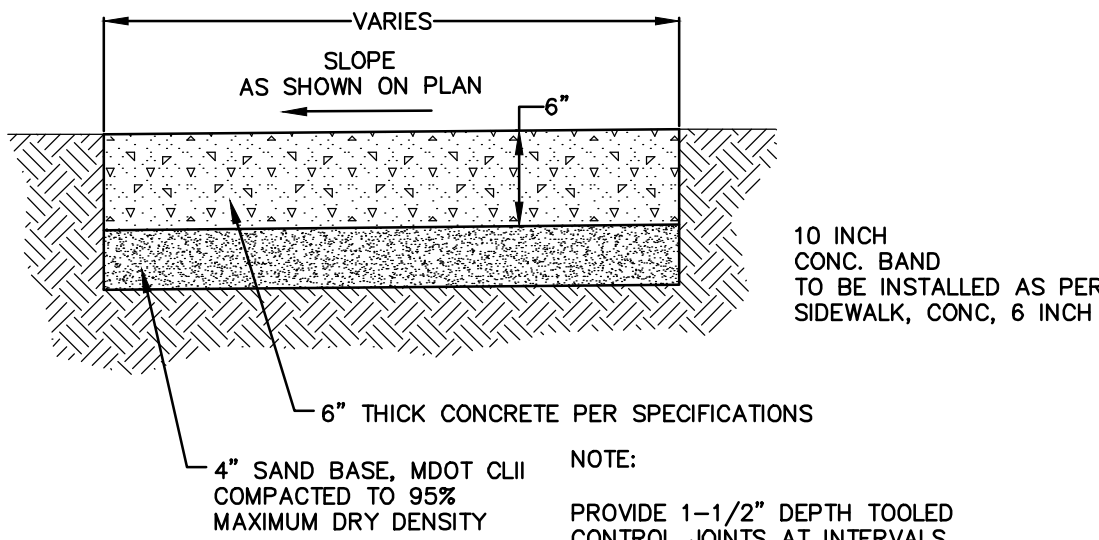


2 Modular Block Retaining Wall Section
Scale: 1/2" = 1'-0"

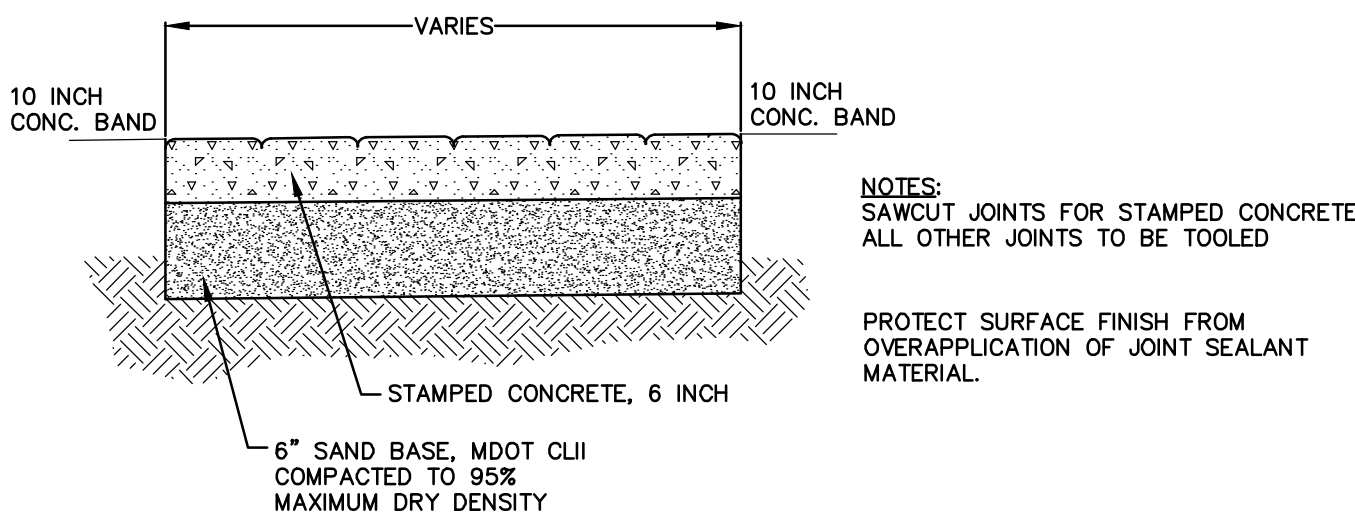


1 Modular Block Retaining Wall Section
Scale: 1/2" = 1'-0"

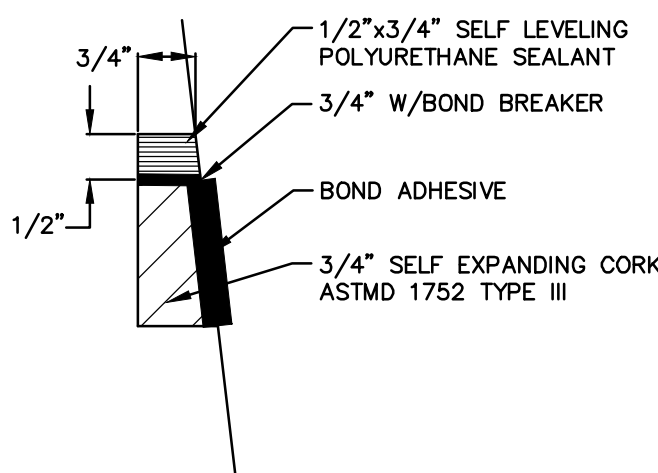
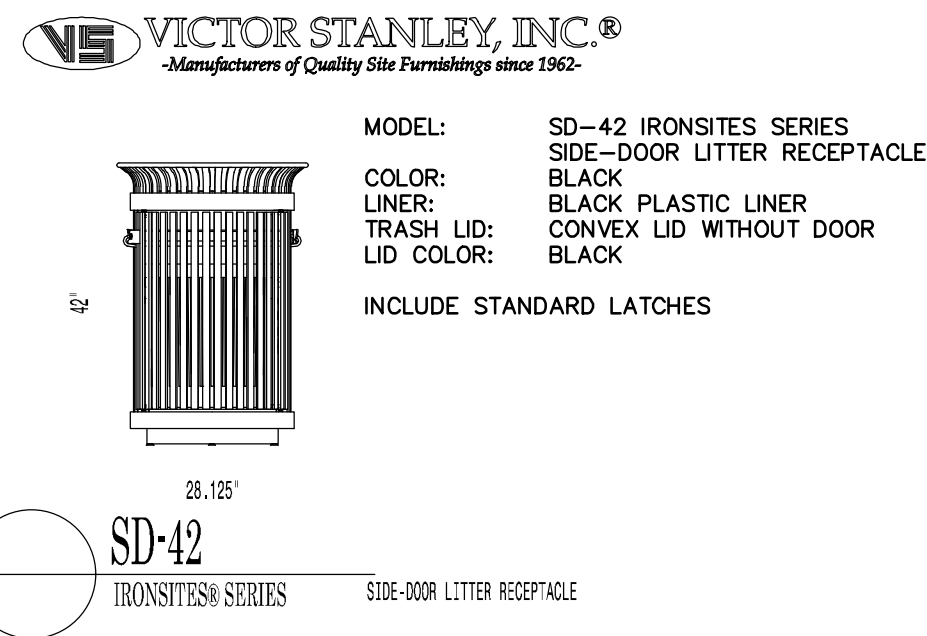
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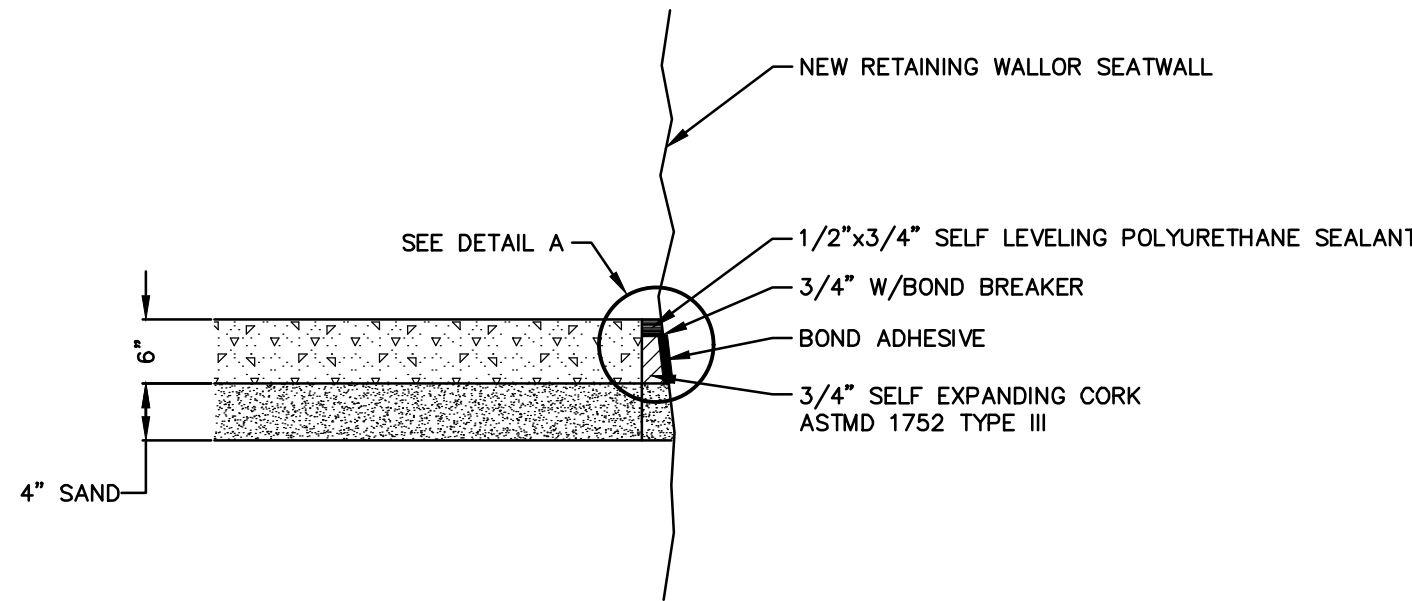
SIDEWALK, CONC. 6 INCH
NOT TO SCALE



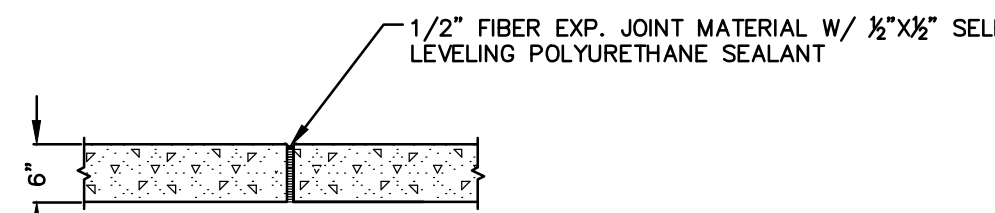
STAMPED CONCRETE, 6 INCH
NOT TO SCALE



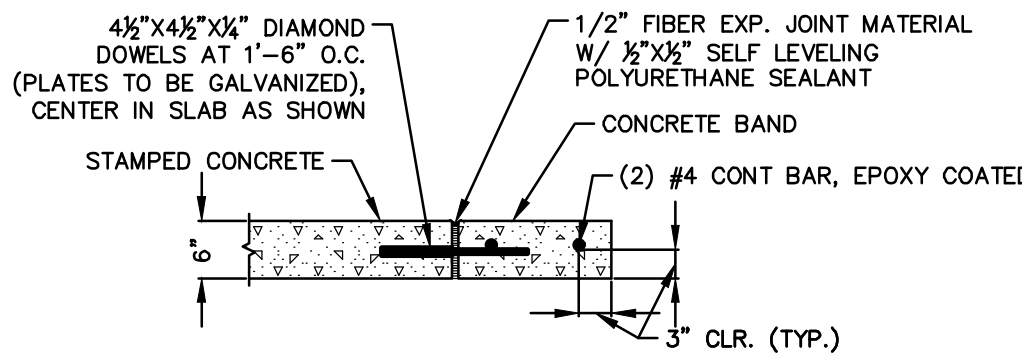
DETAIL A
NOT TO SCALE



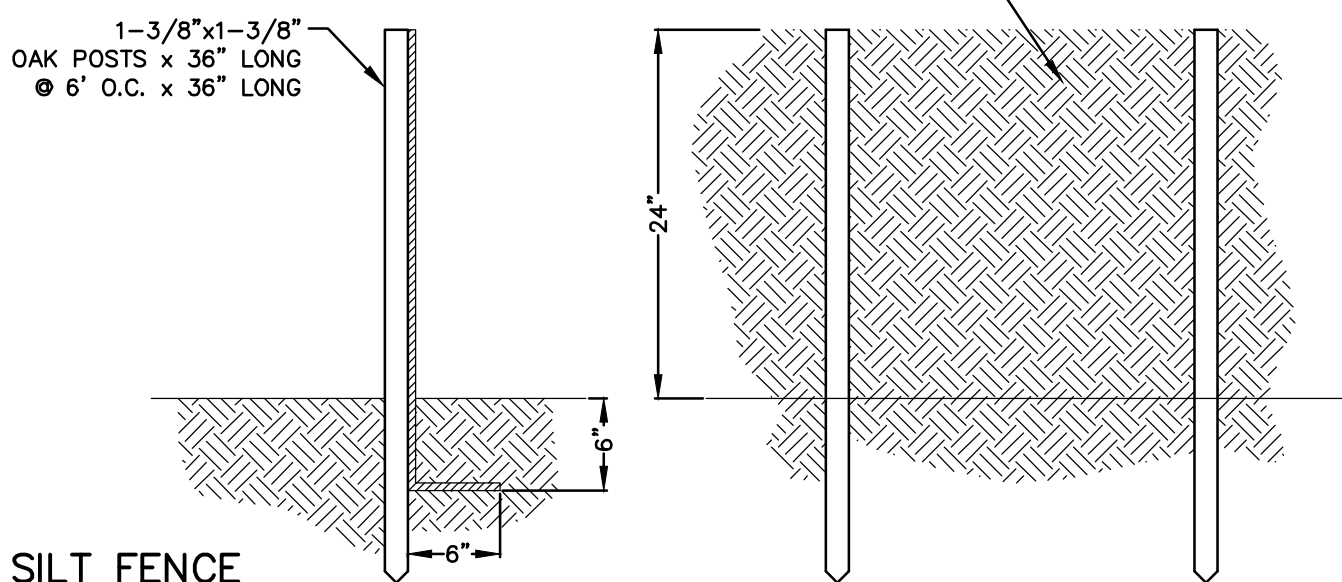
SIDEWALK/RETAINING WALL DETAIL
NOT TO SCALE



SIDEWALK EXPANSION JOINT DETAIL
NOT TO SCALE



CONCRETE BAND EXPANSION JOINT DETAIL
NOT TO SCALE

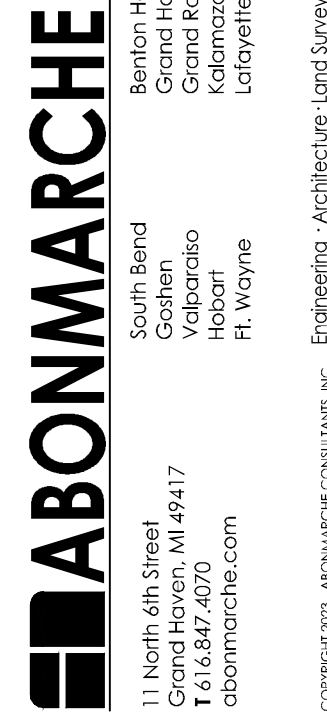


SILT FENCE
NOT TO SCALE

PAID FOR AS GEOTEXTILE SILT FENCE, FT

- STANDARD LEGEND**
- CB = CURB CATCH BASIN
 - FH = FIRE HYDRANT
 - FI = FOUND CAPPED IRON
 - GL = GAS LOCATION
 - GM = GAS MARKER
 - SMH = SANITARY MANHOLE
 - SIR = SET IRON ROD
 - STMH = STORM MANHOLE
 - UP = UTILITY POLE
 - W = WATER VALVE
 - W = EXISTING WATER MAIN
 - WS = EXISTING SANITARY SEWER
 - SS = EXISTING STORM SEWER
 - OT = OVERHEAD UTILITIES
 - G = GAS MAIN/LINE
 - T = BURIED TELEPHONE
 - FOC = BURIED FIBER OPTIC
 - E = ELECTRICAL
 - BE = BURIED ELECTRICAL
 - CF = CHAINLINK FENCE
 - PW = PROP WATER MAIN
 - WS = PROP WATER SERVICE
 - SS = PROP SANITARY SERVICE
 - STS = PROP STORM SERVICE
 - R/W - R/W = RIGHT OF WAY
 - UR = UTILITY REMOVAL

- GENERAL NOTES:**
- MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION SHALL PREVAIL, UNLESS INDICATED OTHERWISE.
 - THREE WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST THE LOCATIONS OF ALL UTILITIES BY CALLING MISS DIG. REGARDLESS OF DURATION, NO EXCAVATION WORK SHALL COMMENCE UNTIL SUCH TIME THAT THE MISS DIG REQUEST HAS CLEARED.
 - ANY EXCESS/UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND THEY SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF THIS MATERIAL.
 - DEWATERING, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA PAYMENT SHALL BE MADE THEREFORE.
 - TREES NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED BY THE CONTRACTOR. DAMAGED TREES SHALL BE EVALUATED AND RESTORED AT THE CONTRACTORS EXPENSE. ALL TREES DAMAGED BEYOND SAVING AS DETERMINED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH A NURSERY GROWN TREE AS SPECIFIED BY THE ENGINEER.
 - REMOVAL OF ABANDONED CONFLICTING UTILITIES SHALL BE CONSIDERED INCLUDED WITH THE ITEM BEING CONSTRUCTED, INCLUDING BULKHEADING ALL PIPES 12" DIA. OR LESS (PIPES IN EXCESS OF 12" DIA. SHALL BE PAID FOR AS A SEWER BULKHEAD).
 - WHERE CONCRETE SIDEWALK IS ADJACENT TO THE BACK OF CURB, A 1/2" EXPANSION JOINT SHALL BE PLACED BETWEEN THE CURB AND SIDEWALK. PAYMENT IS INCLUDED IN CONCRETE SIDEWALK.



CITY OF GRAND HAVEN
FIVE MILE HILL
DECK IMPROVEMENTS
OTTAWA COUNTY, MICHIGAN

STANDARD DETAILS, NOTES
AND CROSS SECTIONS

SHEET TITLE:
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DESIGNED BY:
PM REVIEW:
QA/QC REVIEW:
DATE:
SEAL:

SIGNATURE:
DATE:
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HORIZ: AS NOTED
VERT: AS NOTED
ACI JOB #
24-1769
SHEET NO:

1	Advised for Bidding	LNB	1-29-2025
NO.	REVISION DESCRIPTION:	BY:	DATE:

DATE: March 7, 2025
TO: Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 25-13:** Zoning Change Application Pre- Public Hearing – STR in Centertown Overlay

Current Zoning: NMU, Neighborhood Mixed-Use and Centertown Overlay

Proposed Text Amendment: Include short term rentals by right in the Centertown Overlay

1.0 Request

John Groothuis submitted an application for zoning change to amend Sec. 40-411.02.A of the Zoning Ordinance, a text amendment to allow short term rentals by right in the Centertown Overlay in the Neighborhood Mixed-Use district. Short term rentals are permitted in the following districts:

District	Permitted
CB, Central Business	By right
WF-2, Waterfront 2	By right
PD, Planned Development (some)	By right
DR, Dune Residential	By special land use
S, Southside	By special land use on a Key Street
OT, Old Town	By special land use on a Key Street

2.0 Considerations

Section 40-121.B lists the standards for reviewing a zoning text amendment. The applicant has provided responses to those standards. The primary purpose of this meeting is to provide feedback to the applicant, not render a decision.

The proposed amendment would apply to the Centertown Overlay only, which is about 24 parcels. Although permitted by right, for a short term rental certificate to be issued, the underlying use must be in compliance with the Neighborhood Mixed-Use District, and shall satisfy the minimum parking requirements for on-site parking.

Under the current zoning map, the following parcels, not including surface parking lots, would be included as eligible for short term rentals:

Address	Current Use	Conforming Use
700 Washington Ave.	Multi-tenant commercial	Yes
728 Washington Ave.	Mixed-Use	Yes
732 Washington Ave.	Retail	Yes
7 N. 7 th St.	Retail/Restaurant	Yes
17 N. 17 th St.	Retail	Yes
630 Columbus Ave.	Single-family residential	Yes
626 Columbus Ave.	Single-family residential	Yes
18 N. 7 th St.	Auto Repair	No
12 N. 7 th St.	Retail	Yes
8 N. 7 th St.	Retail	Yes
6 N. 7 th St.	Restaurant	Yes



705 Washington Ave.	Retail	Yes
707 Washington Ave.	Event space	Yes
711 Washington Ave.	Restaurant	Yes
715 Washington Ave.	Mixed-Use	Yes
727 Washington Ave.	Personal Service Establishment	Yes
729 Washington Ave.	Retail	Yes
735 Washington Ave.	Retail	Yes

The Planning Commission should consider the parking implications of allowing short term rentals. The applicant is not requesting any changes to the parking ordinance. Parking standards remain the same, in which a short term rental must have a least two parking spaces on site. Use of public parking lots for short term rentals should not be permitted.

Staff does have a concern if the zoning text amendment is approved, the City will receive an abundance of rezoning requests to include parcels in the Centertown Overlay district, opening up additional areas to short term rental eligibility. The standards for incorporating parcels in the Centertown overlay should align with the intent of the district listed on Sec.40-111.04 and what is described in the Centertown Vision Plan. Centertown is currently a small area of the NMU District, and not intended to expand beyond a well-defined area.

In addition, if the text amendment to Sec. 40-411.02.A proceeds, then Sec. 40-111.04 will require an amendment to specifically list short term rentals as a permitted use within the Centertown Overlay.

3.0 Public Hearing

The applicant will take into consideration the comments from the Planning Commission at this meeting. A public hearing will be scheduled for the April 15, 2025 meeting.

Attachment:

- A. Draft Zoning Change Application with supplemental material
- B. NMU Centertown Overlay parcel map

REQUEST FOR ZONING CHANGE APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org

1. General Information *(if the proposed amendment is a map amendment, aka rezoning)*

Address/location of property: Centertown Overlay district

Parcel #: n/a

Master Plan designation: Traditional neighborhood mixed Use

Current Use: Commercial / residential

Proposed Use: See attached

Existing Zoning: NMU / Centertown Overlay

Area in Acres: _____

Proposed Zoning: NMU / Centertown Overlay

Area in Acres: _____

2. Owner

Name: _____

Address: _____

Phone #: _____

Email: _____

3. Applicant

Name: Steinbach Family Real Estate LLC

Address: 10 N. 7th St

Phone #: 231-759-7727

Email: Mrjohn56@wowmail.com

4. Required Attachments

- PDF + 5 copies of application
- Property deed (rezoning)
- Plat or sketch (rezoning)

- Justification for request (see sec. 40-121 on page 2)
- Power of attorney (if applicable)
- Existing and proposed section language from Zoning Ordinance (if the proposed amendment is a text amendment)

5. Fees and Escrow Deposit

Application Fee: \$400

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.

Petition will not be accepted without signature of legal owner or official agent (attach power of attorney).

Signature of Proposed Owner: John Steinbach

Date: _____

Print Name: John Steinbach

Signature of Applicant: John Steinbach

Date: _____

Print Name: _____

Office Use Only

Case #: _____

Date Received: _____

Fee: _____

Date of City Council Approval: _____



ZONING CHANGE APPLICATION NARRATIVE Centertown Overlay District ("STR")

Steinbach Family Real Estate LLC ("Steinbach") owns a majority of/multiple properties in the Centertown Overlay (CTO) district, and is requesting a change to Section 40-11.02A, uses permitted by right in the Neighborhood Mixed-Use district. Specifically, the change entails that Short-Term Rentals ("STR") be allowed in this tightly identified CTO district as a use-by-right.

Steinbach requests that STR be allowed in the district to facilitate a multi-phase development beginning with **Steinbach Crossings** planned for the SW corner of 7th and Columbus. A re-purposing of the corner will eliminate two aging, dilapidated and obsolete homes, and the construction of a new building that will include covered parking and both residential and retail spaces. **Steinbach Crossings** will not only bring new neighbors and business to this vital intersection, but will also spur growth and economic development of other parcels throughout the greater Centertown neighborhood, which has long been a goal of the City and the DDA.

The requested re-zoning satisfies each of the factors the Planning Commission must consider under **Zoning Ordinance §40-121(B)**:

- B.1. If the intent of the ordinance is to prohibit STR activity in or near residential neighborhoods, the application of the ordinance in the CTO district is over reaching. The district and the contiguous parcels are comprised of almost 100% retail and commercial users with few, if any, residential dwellings, so the concern for a residential neighborhood is mute.
- B.2. N/A
- B.3. The ability to utilize a residential unit above a commercial/retail user as a STR will not alter or adversely affect the character of the neighborhood, and is actually in lock-stop with master planning for the Central Business/Centertown districts.
- B.4. Revitalization of existing real estate and downtown settings across the state have largely included a residential component free of rental restrictions.
- B.5. Allowance of STR's within the CTO district will not adversely affect the City's ability to provide adequate public facilities and services or the ability to protect the public health, safety and welfare of the community.

If well-received by the consumer, **Steinbach Crossings** will be the first phase in a multi-phase *Centertown* rehabilitation. Smart growth is a key tool in shaping our Grand Haven community. In furtherance of that goal, Steinbach respectfully requests this text amendment to facilitate the commencement of the revitalization of *Centertown*, beginning with **Steinbach Crossings** at the intersection of 7th and Columbus and future phases to follow.

ZONING CHANGE APPLICATION PROCESS

Application for rezoning is filed: An application is deemed complete upon submission and acceptance of the completed application form and all required documentation. Once an application is deemed complete, a petitioner will be scheduled for a public hearing on the next available slot on the Planning Commission's agenda, which will be at least 34 days after submission of the application, but within forty-five (45) days of the submission of a complete application prepared in accordance with this Zoning Ordinance.

Notice of Public Hearing: The City shall, not less than 15 days before the date of the public hearing, serve written notice, either in person or by regular mail, to the owners and occupants of the property within 300 feet in each direction of the lot line of the subject property, pursuant to section 40-122 of the Zoning Ordinance.

Attendance: It is requested that the petitioner or a representative be present at the hearing to answer any questions the commissioners may have on the request or on the property involved.

Recommendation: Following the public hearing and review of the proposed zoning change and supporting data, the Planning Commission shall recommend approval, modification, or disapproval and the reasons therefore, to the City Council.

Approval: The Council, after receipt of the recommendation, shall approve, disapprove or modify the request. In case of approval, the Council shall pass an amendatory ordinance granting the zoning change. This ordinance must be read by the City Council two times prior to its approval and final adoption.

FACTORS FOR THE PLANNING COMMISSION TO CONSIDER

Excerpt from section 40-121 of the Zoning Ordinance:

Prior to making a recommendation on the proposed amendment to the city council, the planning commission shall consider the factors specified as follows:

- A. If the proposed amendment is a map amendment (rezoning), the planning commission shall consider the following:
 1. If the proposed zoning amendment is consistent with the city's adopted master plan.
 2. If the proposed zoning amendment is consistent with recent development trends in the area.
 3. If the zoning amendment is compatible with existing or future land uses in the vicinity of the subject site or throughout the zoning district(s) affected by the proposed amendment.
 4. If existing or planned public infrastructure, including streets, sanitary sewers, storm water, water, sidewalks, and street lighting are capable of accommodating potential changes in land use resulting from the proposed amendment.
 5. If the proposed amendment is consistent with the intent and purpose of this ordinance and whether the proposed amendment would protect the health, safety, and welfare of the city.
- (B.) If the proposed amendment is a text amendment, the planning commission shall consider the following factors:
 1. If the proposed text amendment would clarify the intent of the ordinance or correct an error.
 2. If the proposed text amendment would address changes to state legislation, recent case law, or opinions from the Attorney General, or promote compliance with changes in other county, state or federal regulations.



3. In the event the amendment will add a use to a district, if the proposed use is fully consistent with the character of the range of uses provided for within the district, and that the amendment will not create incompatible land uses within a zoning district, or between adjacent districts.
4. If the proposed amendment is supported by the findings of reports, studies, or other documentation on functional requirements, contemporary building practices, environmental requirements, and similar technical items.
5. If the proposed amendment is consistent with the city's ability to provide adequate public facilities and services, and is consistent with the city's desire to protect the public health, safety, and welfare of the community.





Property Mapping Printout



Legend



Notes

1:1,652



WGS_1984_Web_Mercator_Auxiliary_Sphere
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