

CITY OF GRAND HAVEN  
GRAND HAVEN, MICHIGAN  
PLANNING COMMISSION  
MEETING AGENDA  
January 14, 2025

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Notice and agenda of the regular Planning Commission Meeting at 7:00 p.m. to be held at the Grand Haven City Council Chambers, 519 Washington Avenue. Planning Commissioners unable to attend the meeting are requested to contact the Planning Department at 616-935-3276 prior to the meeting.

**1. MEETING CALLED TO ORDER**

**2. ROLL CALL:** Amy Kozanecki, Dan Borchers, Joe Pierce, Vice-Chair Ryan Galligan, Tamera Owens, David Skelly, Magda Smolenska, Jennifer Smelker, Chair Mike Dora

**3. APPROVAL OF MINUTES** – December 10, 2024

**4. APPROVAL OF AGENDA**

**5. CALL TO AUDIENCE – ONE OF TWO OPPORTUNITIES**

**6. PUBLIC HEARING**

**A. Case 25-03:** A special land use permit for short term rental at 108 Prospect St. (parcel #70-03-29-154-064).

**7. NEW BUSINESS**

**A. Case 25-04:** A site plan review for minor automobile repair at 421 N. Griffin St. (parcel #70-03-21-415-006).

**B. Case 25-05:** Consideration of a site plan view for improvements to Sluka Field 1521 Waverly Rd. (parcel #70-03-27-105-005)

**8. OLD BUSINESS**

**9. ZONING BOARD OF APPEALS LIAISON REPORT**

**10. CITY PLANNER REPORT**

**11. CALL TO AUDIENCE – SECOND OPPORTUNITY**

**12. ADJOURNMENT**

**CITY OF GRAND HAVEN  
GRAND HAVEN, MICHIGAN  
PLANNING COMMISSION MINUTES  
December 10, 2024**

A regularly meeting of the Grand Haven Planning Commission was called to order by Chair Dora at 7:00 pm. Upon roll call, the following members were present:

**Present:** Magda Smolenska, Dan Borchers, David Skelly, Tamera Owens, Joe Pierce, Jennifer Smelker, Vice-Chair Ryan Galligan, Chair Mike Dora

**Absent:** Amy Kozeneki

**Also Present:** City Planner Brian Urquhart, Councilman Kevin McLaughlin, and members of the public.

**Approval of Minutes**

Motion by **Skelly**, seconded by **Vice Chair Galligan**, to approve the minutes of the November 12th meeting as printed. All ayes. **Motion passes.**

**Approval of Agenda**

Chair Dora moved that item D, Case 24-41: An application to amend the zoning map to remove the Sensitive Area Overlay designation on parcel #70-03-21-328-031, be moved to item A on this agenda. Add PC case 24-28 to revisit special land use conditions for 22 Franklin to Old Business.

Motion by **Skelly**, seconded by **Smelker**, to approve the agenda as printed. All ayes. **Motion passes.**

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**Call to the Audience: First Opportunity**

None

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**Case 24-41: An application to amend the zoning map to remove the Sensitive Area Overlay designation on parcel #70-03-21-328-031**

Urquhart introduced the case. In June 2024, the development team from the Salvation Army presented the preliminary plan for a housing development at the undeveloped 2.08-acre parcel south of their main facility at 310 Despeldar. The development team stated the site is presently overgrown brush and not a wetland. In addition, they assert the sensitive area overlay district precludes development of the site for housing. The underlying zoning district is NMU - Neighborhood Mixed-Use, which multiple-family dwellings are permitted by right in this district. At the November PC meeting, the Planning Commission determined there was enough information in the Wetland Delineation Report to schedule a public hearing, and reconsider the locally regulated wetland within the sensitive area.

The applicant is requesting the Planning Commission make a recommendation to remove the sensitive area overlay zoning designation on parcel #70-03-21-328-031. This process is outlined in Sec. 40-422.06 of the zoning ordinance. According to Sec. 40-422.02.B. a wetland is determined to be sensitive because it provides flood and storm control, wildlife habitat, pollution treatment, water recharge and storage area, benefits to water quality, and erosion control. Historical records and institutional knowledge have described the site as a former celery field.

According to the wetland report, an onsite assessment was conducted in August 2024. TriTerra identified a combination of forested wetland and emergent wetland on the property, identified as Wetland A in Figure A. TriTerra staff assessed vegetation by approximating the percent coverage of dominant plant species. Soil cores were collected, and the colors were determined using the Munsell Soil Color Chart. TriTerra determined whether each plant community satisfied the requirements to be a wetland, in which, under normal circumstances, the vegetative communities must be dominated by hydrophilic vegetation and hydric soil.

During the November meeting, members of the Planning Commission brought up a concern about whether the sensitive area overlay would be removed, but the project did not happen, and what would then be permitted on the property. Due to this concern, staff recommends the applicant provide context of the proposed housing project, should City Council approve the zoning change. Please note the application includes a conceptual design of a multiple-family housing development with a public road, but we are not conducting any site plan review.

The city received one correspondence opposed to this case.

Applicant Jacob Horner, head of real estate for Dwelling Place, was present.

Chair Dora opened the public hearing at 7:11 pm.

Mike O'Hara, 1015 Fulton, spoke in favor of preserving the wetland and feels it needs to be protected.

David Tenkate, 18. N.5<sup>th</sup> Street, said he favored removing local regulations to allow the development of affordable homes in the area.

Roger Skorupski, 11769 Lakeshore Dr, spoke on behalf of his daughter Meredith, 1040 Fulton, who also opposed removing the Sensitive Overlay Area.

Gerald Andre, 902 Elliot, also said he highly opposed the development.

Tom Reinsma, 1428 Woodlawn Commons, has served on the Salvation Army Boards for 50 years. He stated the property was purchased in 2000.

A motion was made by **Vice Chair Galligan** and seconded by **Smolenksa** to close the public hearing. All ayes. **Motion passes.**

Chair Dora closed public hearing at 7:26 p.m.

Borchers, Smelker, Pierce, Skelly, Owens, Smolenska, and Vice-Chair Galligan concurred that, based on today's standards, this property would not meet the requirements to be qualified as a sensitive overlay Area. They were all in agreement with this being removed from the property.

Char Dora was also in favor of moving the sensitive overlay area.

Motion made by **Vice-Chair Galligan**, seconded by **Owens**, to approve Case 24-41, a request to rezone parcel #70-03-21-328-031 by removing the Sensitive Area Overlay to City Council for the following reason(s):

- 1) Based on the Environmental Report, the area would no longer qualify as a Sensitive Overlay Area.

Roll call vote.

**Yeas:** Vice Chair Galligan, Skelly, Owens, Chair Dora, Smelker, Pierce, Smolenska, Borchers.

**Motion passes.**

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**Case 24-38: A public hearing for Zoning Change Request – 700 Washington Ave (parcel #70-03-19-426-002).**

Urquhart presented the case. John Groothuis of Washington Place, LLC submitted a Zoning Change Application to rezone 700 Washington Ave. (parcel #70-03-21-358-019) into the Centertown Overlay District. 700 Washington is a two-story brick condominium retail and commercial structure, currently home to Health Hutt, Grand Haven Tribune, and other businesses. The current zoning permits a building height up to 35 ft. By including the parcel into the Centertown Overlay District, the building may be increased to 40 ft. in height or three stories, whichever is less. The applicant stated in their narrative, "The rezoning change would allow for significant private investment in the district." No formal plans have been submitted, but the intent is to construct an additional story for residential use.

Sec. 40-121 of the Zoning Ordinance provides the following for the Planning Commission to consider:

1. If the proposed zoning amendment is consistent with the city's adopted master plan. Comment: The City just adopted the Master Plan in May 2023, and the future land use classification for this parcel is Traditional Neighborhood Mixed-Use. NMU is identified as a potential compatible zoning district in the Zoning Plan on page 125 of the Master Plan.
2. If the proposed zoning amendment is consistent with recent development trends in the area. Comment: The rezoning would allow for a compact, dense, mixed-use development that aligns with the intent of the NMU and Centertown Overlay District. The Centertown Overlay district was established to increase density within this commercial node due to its proximity to the downtown core and its importance within the MSDDA district. Furthermore, the Centertown Overlay has access to publicly available (owned) parking and the proximity to public parks and other public amenities. Adjacent to 700 Washington is a city-owned public parking lot in the Centertown overlay district. All parcels south of Washington Ave. from 7th St. to 8th St. would hold the same development opportunities concerning building form, height, and size.
3. If the zoning amendment is compatible with existing or future land uses near the subject site or throughout the zoning district(s) affected by the proposed amendment. Comment: The future

land use for 700 Washington Ave. is Traditional Neighborhood Mixed-Use, primarily located within the OT, NMU, C, and E zoning districts. The FLU classification promotes the densely developed portion of the city's urban core and is within walking distance of key nodes. If new construction is proposed, it should follow the building placement and form standards of existing structures and renew and extend the traditional patterns of the area.

4. If existing or planned public infrastructure, including streets, sanitary sewers, stormwater, water, sidewalks, and street lighting, can accommodate potential changes in land use resulting from the proposed amendment. Comment: 700 Washington Ave. is currently served by existing public infrastructure, and land use changes will not negatively impact infrastructure. There are sidewalks and street lighting on Washington Ave.

5. Is the proposed amendment consistent with the intent and purpose of this ordinance, and would the proposed amendment protect the health, safety, and welfare of the city? Comment: As mentioned in item 2, the intent of the NMU and Centertown Overlay is met with this proposal. NMU and Centertown Overlay allows for nonresidential buildings to have a zero setback and 100% lot coverage, complementing the compact urban form of Centertown Overlay.

**3.0 Comparison of Site Placement Building Form Standards for Mixed-Use Development NMU NMU (CT Overlay)**

	NMU	NMU (CT Overlay)
FY Setback	70% within build to zone	0 feet
RY Setback	15 feet	0 feet
SY Setback	0 feet	0 feet
Max. Lot Coverage	70%	100%
Building Height	35 feet	Lesser than 40 feet or three stories
Mixed-Use	Permitted by Right	Permitted by Right

As of today, the city has not received any correspondence.

The applicant, David Tenkate, was present.

Chair Dora opened public hearing at 7:46 p.m.

Joyce Workman, 7 N. Seventh St, spoke, stating she appreciated Capstone’s transparency and that it has been a great example of working together to make progress.

Motion made by Owens, seconded by Skelly to close the public hearing. All ayes. **Motion passes.**

The public hearing was closed at 7:48 p.m.

No concerns or questions from the Commissioners.

Motion by **Pierce**, seconded by **Smolenska**, to approve Case 24-38 to rezone 700 Washington Ave (parcel #70-03-21-358-019) into the Centertown Overlay District to City Council for the following reason(s):

- 1) Property fits adjacent development plans, the master plan and the intent of the centertown overlay and meets all section 40-121 A standards.

Roll call vote. All ayes. **Motion passed.**

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**Case 24-39: A public hearing for a special land use permit for a retaining wall over 48 inches in height at 1116 S. Harbor Dr. (parcel #70-03-29-154-036)**

Urquhart presented the case. On behalf of property owner Megan Hines, Zach Vandenberg of Peterson and Vandenberg Environmental submitted a special land use request for a retaining wall located in the property's front yard at 1116 S. Harbor Dr. (parcel #70-03-29-154-036). The retaining wall is greater than 48 inches in height, which requires review and approval by the Planning Commission per Sec. 40-327.A.2.b.

Peterson Environmental has been contracted to assist in permitting the replacement of the wooden retaining wall located in the front yard at 1116 S. Harbor. The retaining wall is failing and is causing significant erosion and safety issues in the front yard. The applicant will replace the wooden fence with a steel sheet pile retaining wall, approximately 13 ft. in height (5 ft. above grade, eight ft. below grade). The plan also depicts a 15 ft. x 25 ft. deck in the front yard, extending six ft. out over the retaining wall. Megan Hines has received approval from EGLE (see attachment C) for this work.

Section 40-327 of the Zoning Ordinance provides requirements for retaining walls and outlines provisions for administrative approvals and Planning Commission approvals. The applicant has provided a narrative describing the scope of work.

As of the date of this memo, the city has received one email in favor of this request.

Zach Vandenberg of Peterson and Vandenberg Environmental was present and stated that a new retaining wall was needed because the material was decomposing and causing it to fail.

Chair Dora opened public hearing at 7:56 p.m.

Megan Hines, 1116 S Harbor Dr., spoke concerning the effects of the erosion.

Motion made by **Pierce**, seconded by **Smelker** to close the public hearing. All ayes. **Motion passes.**

Chair Dora opened public hearing at 7:58 p.m.

Borchers, Smelker, Pierce, Skelly, Owens, Smolenska, Vice-Chair Galligan, and Chair Dora were all in support and did not have any questions.

Motion by **Smolenska**, seconded by **Owens**, to approve Case 24-39, a special land use permit and sensitive area overlay for a retaining wall that exceeds 48 inches in height at 1116 S. Harbor Dr. (parcel #70-03-29-154-036) subject to the condition(s) below:

1. A building permit shall be submitted

Roll call vote. All ayes. **Motion passed.**

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**Case 24-40: A public hearing for a special land use permit for short term rental at 208 Fulton Ave. (parcel #70-03-20-429-003).**

Urquhart presented the case. Property owner Mark Bultje-Brown submitted applications for a Special Land Use Permit for Short-Term Rental located at 208 Fulton Ave. (parcel #70-03-20-429-003). The Old Town District also allows short-term rentals if the property is on a key street. In this case, the key street is Fulton Ave. between 1st and 2nd Streets.

208 Franklin was recently a single-family dwelling. Mr. Bultje-Brown purchased the property with the intention of renovating it and renting it as a short-term rental. Currently, there is only enough room for one vehicle to park in the driveway. The site plan provides for a driveway extension to maintain two vehicles.

Section 40-513 provides a list of ten (10) regulations and conditions for a Short-Term Rental. The review of the Special Land Use Permit application is also subject to the standard regulations and conditions of all Special Land Uses outlined in Section 40-116.03. The applicant has provided a narrative responding to the review standards and a scaled drawing depicting the floor plan.

**Adjacent  
Uses**

Address	Use	Short Term Rental?
206 Fulton Ave.	Single-family	No
200 Fulton Ave.	Parking lot	No
112 N. 2 <sup>nd</sup> St.	Parking lot	No
106 N. 2 <sup>nd</sup> St.	Single Family	Yes, via SLU
100 N. 2 <sup>nd</sup> St.	Former bank drive-thru	No
211 Columbus Ave.	Parking lot	No
101 N. 3 <sup>rd</sup>	Tribune Lofts PD	No
111 N. 3 <sup>rd</sup>	Two-family condo	No
222 Fulton Ave.	Single-family	No
218 Fulton Ave.	Single-family	Yes
216 Fulton Ave.	Storage Building	No

As of Today, the City received one correspondence regarding the case.

Smolenska asked to be recused from the case.

Applicants Mark and Crystal Bultje, 208 Fulton, were present.

Chair Dora opened public hearing at 8:06 p.m.

No comments.

Motion made by **Skelly**, seconded by **Vice-Chair Galligan** to close the public hearing. All ayes. **Motion passes.**

Borchers, Smelker, Pierce, Owens, Skelly, Vice-Chair Galligan, and Chair Dora, voiced concerns that this property is non-conforming, and for consistency's sake, they would not favor approving the special use land permit.

Motion by **Vice-Chair Galligan**, seconded by **Pierce**, to deny Case 24-40, a request for a Special Use Permit for a short term rental located at 208 Fulton Ave. (parcel #70-03-20-429-003) based on the following condition not being met:

- 1.) Does not meet district lot area minimum or width.

Roll call vote. All ayes. **Motion denied.**

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**New Business: None**

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**Old Business**

**Case 24-28: A Special Land Use Permit for a Two-family dwelling and Short-Term Rental located at 222 Franklin Ave. (parcel #70-03-20-453-004).**

Urquhart presented the case. In August, Property owner Katie Broekhoff submitted applications for a Special Land Use Permit for a Two-family dwelling and Short-Term Rental located at 222 Franklin Ave. (parcel #70-03-20-453-004). Two-family dwellings are permitted by special land use in the Old Town District per Sec. 40-410.02.B. The Old Town Zoning District also allows short-term rentals if the property fronts and has a driveway off Franklin Ave. between 5th and Harbor Dr. This was previously approved by the Planning Commission with conditions. Most notable was the property boundary survey, which was provided. In the survey, if it was found that the dumpster was on the owner's property, the dumpster needed to be removed or screened.

According to title research, while the dumpster is on the owner's property, another property owner has a perpetual easement to keep it in that particular location.

Due to the dumpster not being removed or screened, staff cannot approve the condition; therefore, the special land use cannot be approved and is being brought back before the Planning Commission for reconsideration.

Applicant Katie Broekhoff was present. She explained that she was not giving the easement document before closing on the property. The applicant tried to reach out to the dumpster owner to abide by the conditions, but she was met with opposition. The applicant is asking Commissioners to remove the condition from the Special Land Use Permit.

Borchers said he would wait to hear what fellow commissioners said before commenting.

Smelker stated she would like to determine when the ordinance was composed for the screening to see if it is grandfathered. If so, it would then become a code enforcement issue.



Pierce also agreed that the grandfathered issue needs to be addressed, and code enforcement should help solve the issue.

Broekhoff also mentioned that the dumpster, which is as large as the easement, currently could not accommodate a screen.

Skelly suggested that the City Attorney get involved to investigate the matter.

Commissioners continued to discuss ways to navigate the situation, and it would be up to the easement owner to adhere to the ordinance. Ultimately, the commissioners concluded that a motion could be made to remove the condition from the property and turn the easement agreement over to Code Enforcement. This would allow the property to function as a short-term rental.

Owens made a motion, seconded by Vice-Chair Galligan, regarding case 24-28, for a Special Land Use Permit for a Two-family dwelling and Short-Term Rental located at 222 Franklin Ave. (parcel #70-03-20-453-004). The condition of approval would be amended to state that the third condition regarding the dumpster enclosure would be eliminated, as the findings showed there was a perpetual easement agreement placed upon previous owners.

Roll call vote. All ayes. **Motion passed.**

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#### **Zoning Board of Appeals Liaison Report**

Last month, ZBA approved a sign variance at Earth's Edge.  
There will not be a meeting in January.  
All vacancies are filled on the board, which also includes an alternate.

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#### **City Planner Report**

Completing Annual Report.  
A law was passed that required housing requirements to be included in the Master Plan.  
Encouraged Commissioner to participate in the Community Engagement Survey.

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#### **Call to the Audience: Second Opportunity**

**None.**

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Motion made to Adjourn.

Roll call vote. All ayes. **Motion passed.**

**Adjournment:** Chair Dora adjourned the meeting at 8:57 pm.

  
Melissa Bos, Executive Assistant to City Manager

DRAFT

**DATE:** January 10, 2025  
**TO:** City of Grand Haven Planning Commission  
**FROM:** Brian Urquhart, City Planner  
**RE:** **Case 25-03:** Special Land Use Permit – 108 Prospect Ave. Short-Term Rental

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**Current Zoning:** DR, Dune Residential

**Existing Use:** Residential

**Proposed Use:** Short-Term Rental

**1.0 Request**

Applicant Jacqueline Lyons submitted an application for a Special Land Use Permit for Short-Term Rental located 108 Prospect Ave. (parcel #70-03-29-154-064). The Dune Residential District also allows short-term rentals as a special land use.

**2.0 Special Land Use Regulations & Conditions**

108 Prospect is a single family dwelling located in the 5-mile hill area of the Dune Residential District. The home contains three bedrooms and a sunroom with a daybed, allowing for a sleeping occupancy up to 11 people. Currently, there is a two car garage, and a concrete driveway located in front of the home that fits up to 6 vehicles. A total of 8 parking spaces can be permitted.

The neighborhood characteristic is primarily single-family homes. There are a few short term rentals nearby, all of which received prior approval.

Section 40-513 provides a list of ten (10) regulations and conditions for a Short-Term Rental. The review of the Special Land Use Permit application is also subject to the standard regulations and conditions of all Special Land Uses outlined in Section 40-116.03. The applicant has provided a narrative responding to the review standards and a scaled drawing depicting the floor plan and a site plan.

**Adjacent uses**

Address	Use	Short Term Rental?
106 Prospect St.	Single-family	Yes, via SLU
102 Prospect St.	Single-family	No
101 Prospect St.	Single-family	Yes
16 Memory Ln.	Single family	No
6 Windrift	Parking area	No
10 Memory Ln.	Single family	No
112 Prospect St.	Single family	No
116 Prospect St.	Single family	No



STR nearby

### 3.0 Correspondence

As of the date of this staff report, the City has not received any correspondence regarding the case.

### 4.0 Sample Motion

Motion to APPROVE Case 25-03, a request for a Special Use Permit for a short term rental located at 108 Prospect Ave. (parcel #70-03-29-154-064) based on the information submitted for review with the following condition:

1. *Sleeping occupancy shall be determined by the building official.*

#### Attachments:

- A. Special Land Use application
- B. Special Land Use narrative
- C. Site Plan and Floor Plan

# SPECIAL LAND USE PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: [www.grandhaven.org](http://www.grandhaven.org)

## 1. Project Information

Address/location of property: 108 Prospect St.

Parcel #: 70-03-29-154-064

Current Use: Residential

Area in Acres or Sq. Ft.: \_\_\_\_\_

Zoning District: \_\_\_\_\_

Proposed Use: Short-term rental

Zoning of adjacent properties: \_\_\_\_\_

## 2. Applicant

Name: Jacqueline Lyons (POA)

Company: \_\_\_\_\_

Address: 1030 Kenilworth Lane

Glenside, IL 60025

Phone: 773-474-3460

Email: jacquicowles@yahoo.com

## 3. Property Owner

Name: Bonnie Cowles

Address: 1030 Kenilworth Lane

Glenside, IL 60025

Phone: 773-474-3460

Email: jacqui.cowles@yahoo.com

## 4. Required Application Materials

- Application (PDF + 5 copies)
- Site Plan (PDF + 5 copies)
- Letter or signed narrative describing the proposed special land use and detailing why the location selected is appropriate. Narrative must include responses to the special land use review standards of Section 40-116.03 and the specific review standards of Article V of the Zoning Ordinance.
- Statement of expected effect of the special land use on emergency service requirements, schools, storm water systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes
- Additional information which may be necessary (i.e. soil erosion, dune protection, view protection, shoreline protection, excessive noise or adverse impact on surrounding properties).
- Supporting statements, evidence, data, information and exhibits that address the standards and requirements for assessing a Special Use permit application as provided in Section 40-116.03.
- Required fee

### 1. Fees and Escrow Deposit

Application Fee: \$350.00 (*any Site Plan Review is in addition to this review*)

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.



2. Details of the Nature of Work Proposed

No work necessary. Property is already in condition to rent.

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant:     *Jacqueline Lyons*     Date:     *12/6/24*    

Print Name:     *Jacqueline Lyons*    

Signature of Owner:     *Bonnie Cowles (POA Jacqueline Lyons)*     Date:     *12/6/24*    

Print Name:     *Bonnie Cowles*    

*Office Use Only*

Case #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Approved by: \_\_\_\_\_



December 6, 2024

Community Development Dept  
City of Grand Haven  
519 Washington Ave  
Grand Haven, MI 49417

Dear Planning Commission,

I would like to propose a Special Land Use for 108 Prospect St, Grand Haven, MI. The property has been owned by my mother, Bonnie Cowles, a resident since 1993. Bonnie now has dementia and lives in assisted living. I, Jacqueline Lyons, a resident of Glenview, IL, am acting in her best interest as her Power of Attorney. To afford her care costs, I would like to rent her property as a short-term rental. Proximity to Lake Michigan and Downtown make this an optimal location for a short-term rental. There are numerous short-term rentals in the neighborhood (across the street at 101 Prospect St, as an example). We will use a property management company well established in the vicinity (Unsalted Vacations or Lake Michigan Cottages) to manage the property. No alterations to the property are needed to prepare for short-term rental use. The home will sleep up to eleven guests with driveway space to accommodate six vehicles. With your approval, we are targeting to market this property as a short-term rental for the 2025 season.

The newly proposed use of this property will comply with the general review standards:

1. Short-term rentals in this neighborhood are consistent with the adopted City of Grand Haven Master Plan
2. No changes to the home are planned, therefore, consistency with the general character of the vicinity will be maintained.
3. This short-term rental shall not be hazardous or disturbing to existing or future uses of the community.
4. The short-term rental shall be served adequately by essential public facilities and services.
5. The short-term rental shall not create excessive additional requirements at public cost and will not be detrimental to the economic welfare of the community.
6. The short-term rental property shall not produce excessive traffic, noise, vibration, smoke, toxic emissions, fumes, glare, or odors.
7. The short-term rental property shall meet the intent and purpose of the zoning ordinance.
8. The short-term rental property complies with the City of Grand Haven Code of Ordinances.

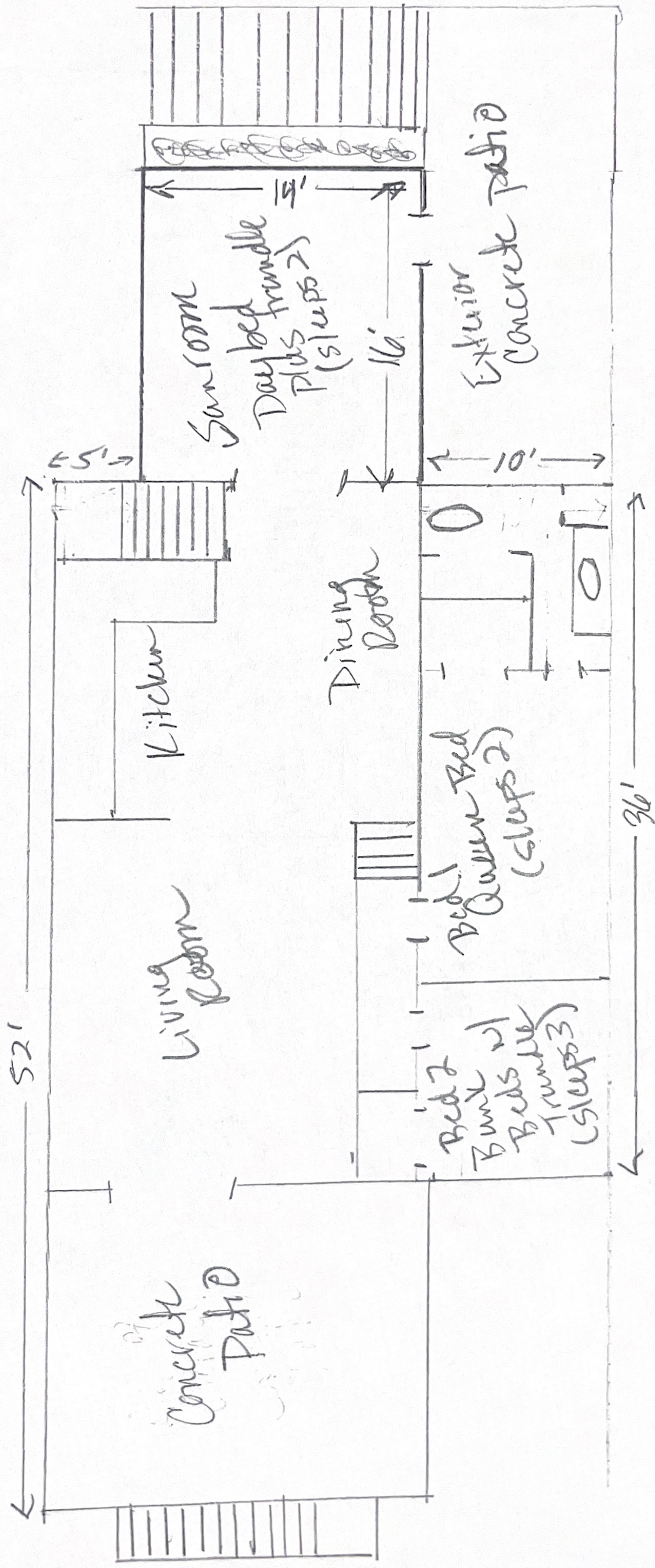
Thank you for your consideration.

Sincerely,

Jacqueline Lyons

108 Prospect St.  
70-03-29-154-064

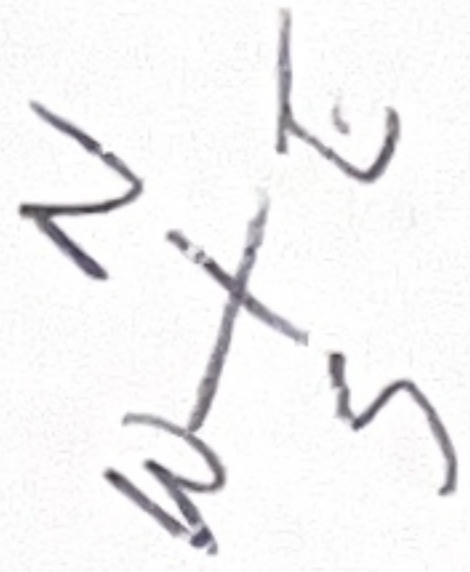
N  
+  
E



Main Floor

1/8" = 1'





Prospect Street

Concrete  
Driveway to vehicles  
PARKS

2 Stall  
Garage

25'

2 Queen's  
beds

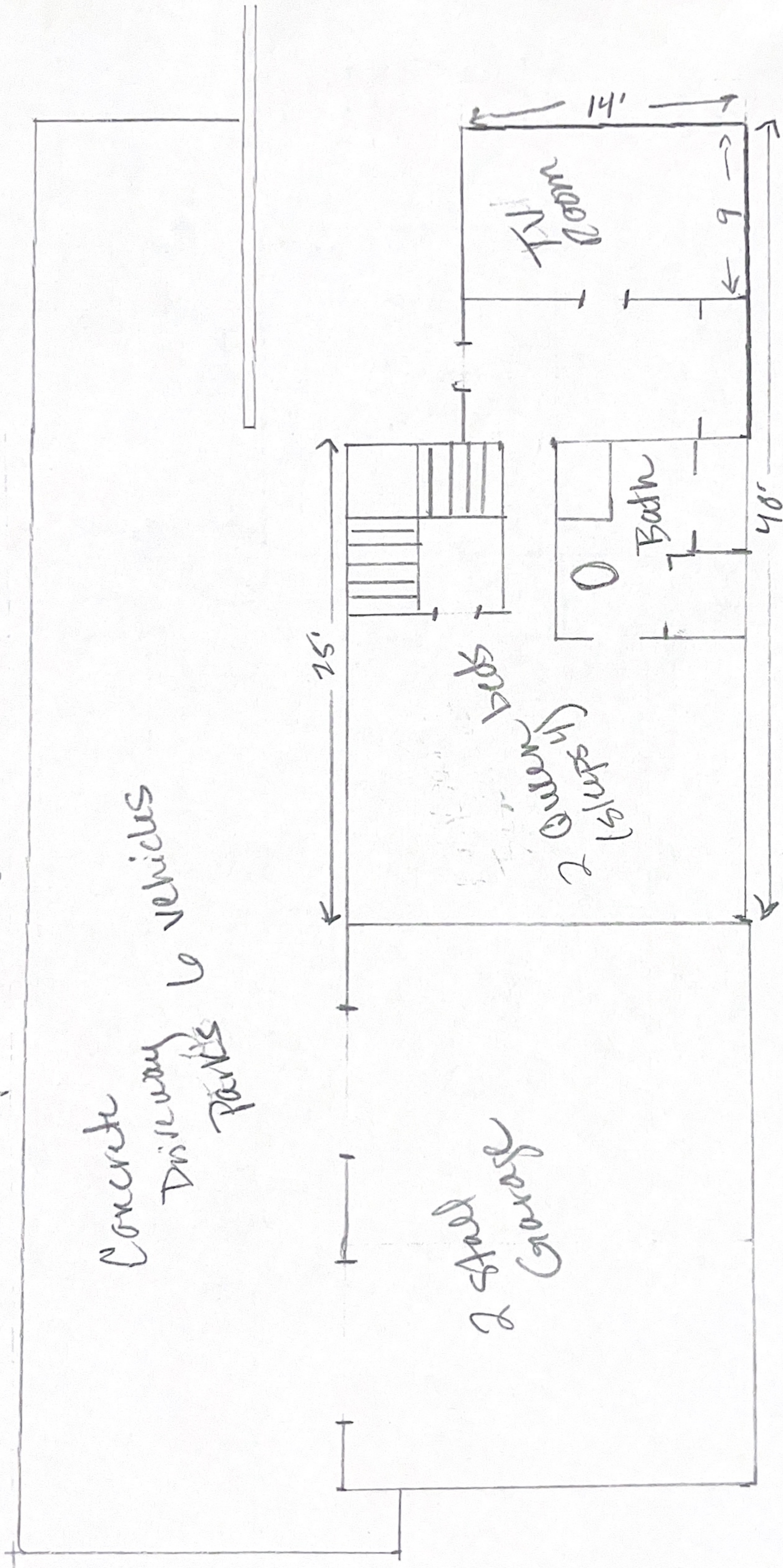
Bath

TV Room

48'

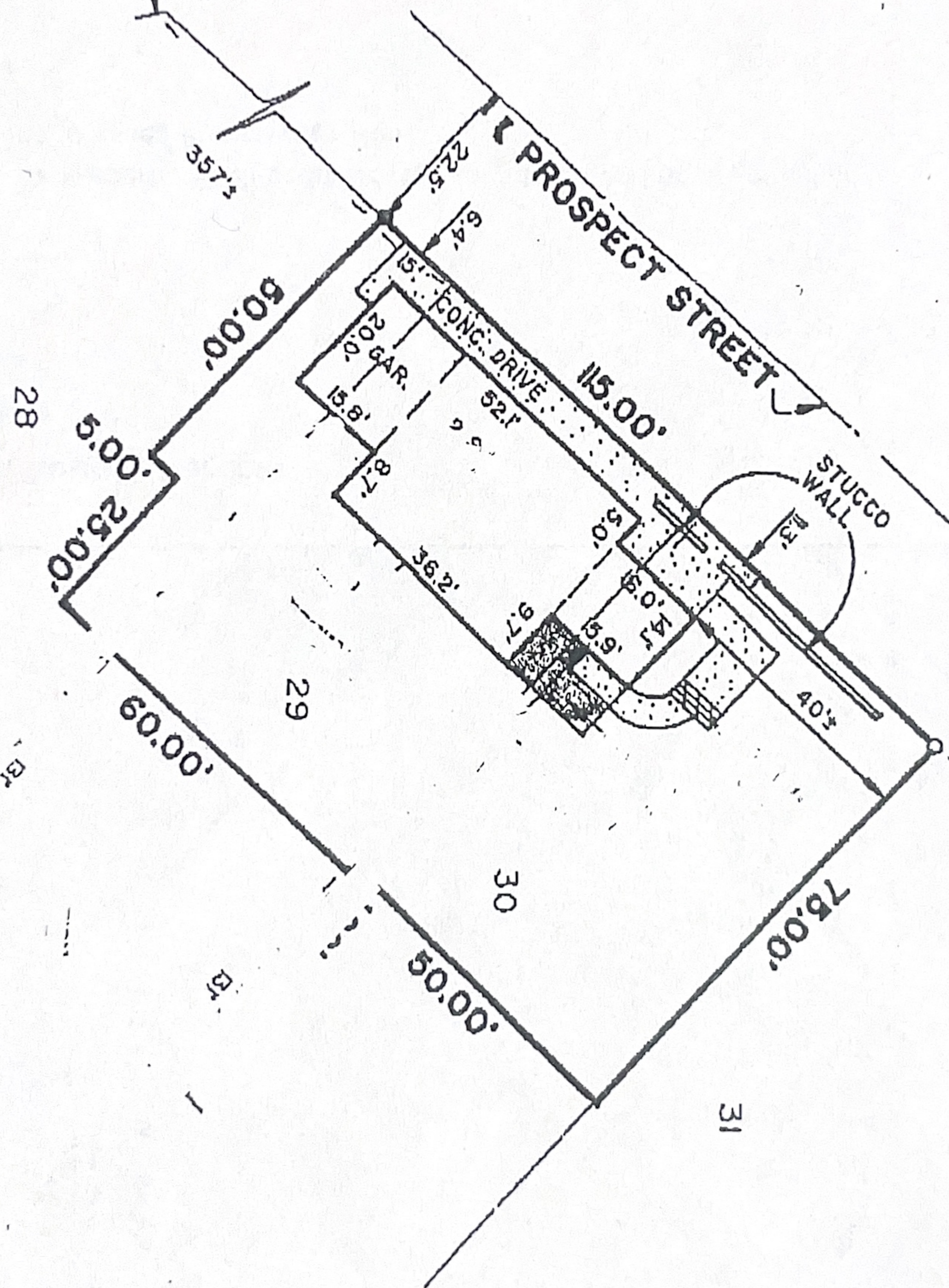
Walkout Basement

1/8" = 1'



E. LINE HARBOR AVE.

K PROSPECT STREET

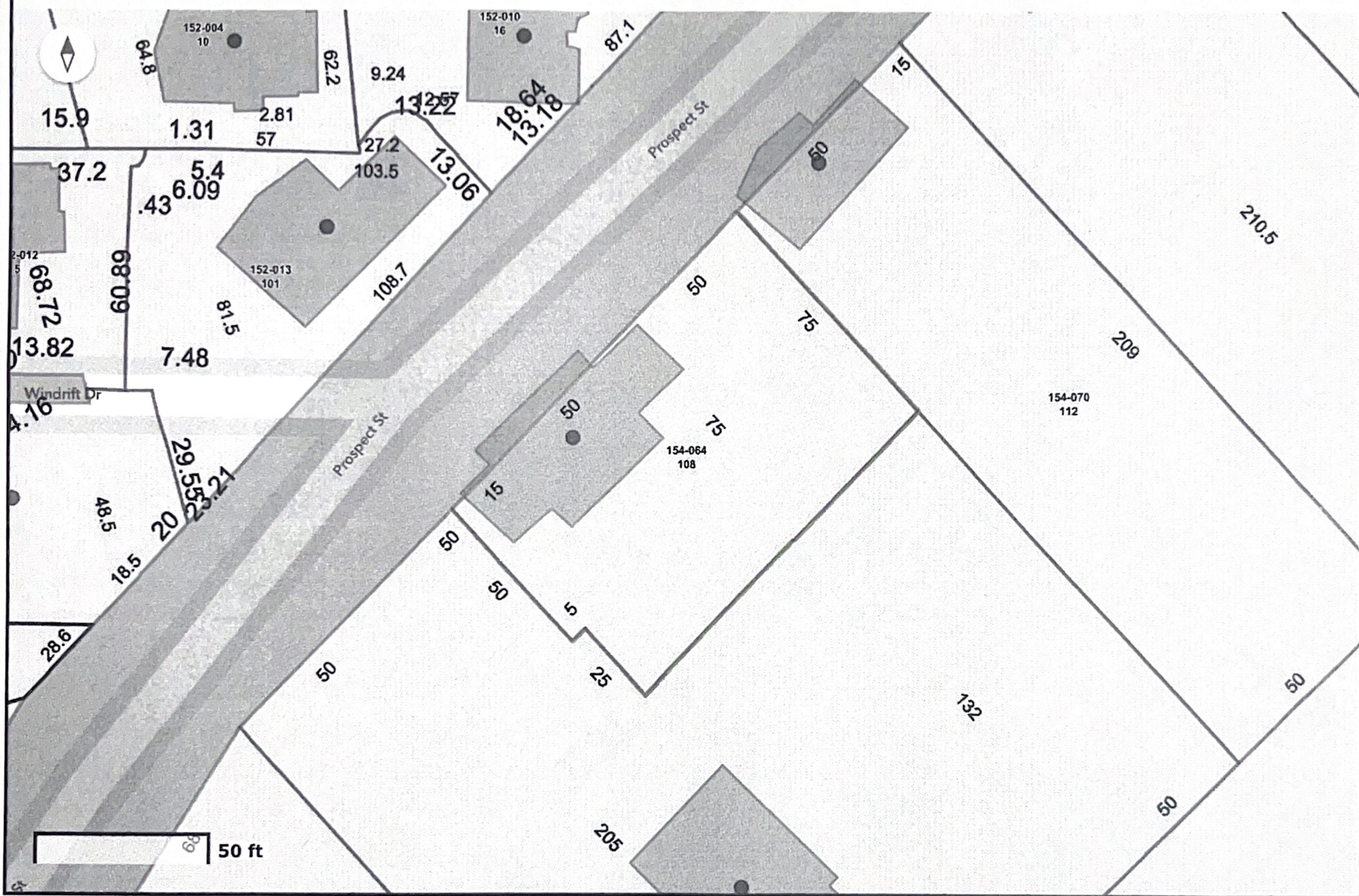


S. LINE LOT 29

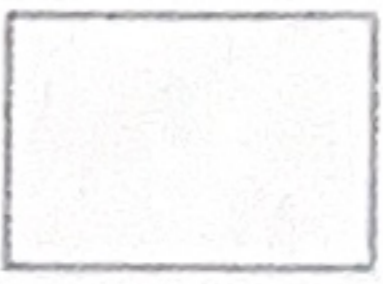





# Property Viewer Lite



## Ottawa County Boundary Ottawa County Parcels


County Boundary 



## Ottawa County Address Points

- Primary Building ○ SubPrimary Building ● Property ○ Subaddress ● Nonaddressed Primary Building
- Nonaddressed SubPrimary Building ○ Nonaddressed Property ● Null

## Right Of Way

Right of Way 

57

**DATE:** January 10, 2025  
**TO:** Grand Haven Planning Commission  
**FROM:** Brian Urquhart, City Planner  
**RE:** **Case 25-04:** Site Plan Review of Haven Automotive – 421 N. Griffin St.

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**Current Zoning:** TI, Transitional Industrial  
**Existing Use:** Vacant light industrial space  
**Proposed Use:** Minor Automobile repair facility

### **1.0 Request**

Josh Thompson of *Haven Automotive*, on behalf of property owner Toviell Asset Management LLC, submitted a site plan application for renovating and rehabilitating the vacant building at 421 N. Griffin St. (parcel #70-03-21-415-006) for a minor automobile repair facility. According to the applicant, the building was formerly a boat repair and storage. A minor automobile repair facility is permitted by right in the TI District per Sec. 40-419.02.A. The majority of the improvements are interior, however changes to a use in the TI District require site plan review by the Planning Commission per Sec. 40-115.02.B.

### **2.0 Site Plan Review**

#### Building and Use

421 N. Griffin is 0.66 acres, surrounded by other aging industrial buildings. The building is 9,100 sq. ft. with 7,700 sq. ft. of repair and shop space, and 1,400 sq. ft. of office space. In the project narrative, the plan calls for 8 vehicle service bays, with an expectation of 8 total employees. The building is nonconforming with respect to the required 25 ft. front yard and 10 ft. south side yard setback, but does comply with the north side and rear yard setbacks. The applicant is not proposing any changes to the front façade.

The City did inform Mr. Thompson the distinction between a major and minor automobile repair facility, in which is major repair requires a special land use. Mr. Thompson restated all repair work, including oil change, muffler repair, brake, and tire service, will remain under the definition of minor auto mobile repair. However, any changes to the operations may require special land use approval.



**Street View**

#### Driveway and Parking

There is a shared concrete driveway south of the building leading to the rear parking area. The site will be able to circulate traffic with maintaining the drive and utilizing the existing overhead door near the office space. This would allow for vehicles to safely enter and exit the property. The applicant is requesting the parking area behind the building remain dirt and gravel. Sec. 40-605.02.A requires all off street parking areas to be comprised of bituminous asphalt, concrete, or approved pavers. By requiring the rear parking area to be paved with an impervious surface, would likely exacerbate the stormwater and drainage issues that currently exist, according to the applicant. The request is to top dress the parking area with gravel to reduce ponding. The Public Works Dept. has reviewed this request and agrees paving the rear area would only amplify the drainage problems on site. Staff anticipates a review letter from the DPW shortly.

#### Other Site improvements

The site plan does not call for any improvements to signage, lighting, landscaping, fencing, and screening of waster receptacles. Mr. Thompson will eventually install a sign on the front wall. Staff requests the applicant confirm the waste hauler will be able access the dumpster in the rear yard. Sec. 40-301.03.H.5 allows the Planning Commission to waive the requirements for dumpster screening should it determine that such waiver would not create any negative impact on the aesthetics of the district. Staff believes due to the location of the dumpster and existing screening in the rear yard, this would be an appropriate waiver.



**Aerial View**

### **3.0 Sample Motions**

Motion to APPROVE Case 25-04, a site plan review application for minor automobile repair at 421 N. Griffin St. (parcel #70-03-21-415-006) with the following condition(s):

- 1. All conditions of the BLP, DPW and Fire Marshal shall be met.*
- 2. Applicant shall provide an updated site plan with location of the dumpster. Note: If no screening is provided, the Planning Commission shall list the reasons in the motion.*
- 3. (Insert any additional conditions as necessary)*

#### Attachments:

- A. Site Plan Review application dated 12-12-2024
- B. Site Plan Narrative
- C. Site Plan (3 sheets)
- D. Fire Marshal review letter

# SITE PLAN REVIEW PERMIT APPLICATION

Community Development Department, City of Grand Haven  
519 Washington Avenue, Grand Haven, MI 49417  
Phone: (616) 935-3276 Website: [www.grandhaven.org](http://www.grandhaven.org)

## 1. Project Information

Address/location of property: 421 N. Griffin St  
Parcel #: 70-03-21-415-006 Zoning District: TI  
Current Use: \_\_\_\_\_ Proposed Use: minor repair facility, auto repair  
Area in Acres: .66 Zoning of adjacent properties: TI

## 2. Applicant

Name: Joshua J. Thompson  
Company: Thompson's Automotive LLC  
Address #: 6492 Harbor Pines Ln  
Norton Shores, MI 49444  
Phone #: 616-201-9454  
Email: Josh@havenautomotive.us

## 3. Property Owner

Name: Toviel Asset Management LLC  
Address: 6492 Harbor Pines Ln  
Norton shores, MI 49444  
Phone #: 616-201-9454  
Email: Josh@havenautomotive.us

## 4. Required Attachments

- PDF + 5 copies of the application
- PDF + 5 copies of site plan
- PDF + 5 copies of the building elevations
- PDF + 5 copies of the landscape plan
- Project phasing plan (if applicable)
- Signage plan and details
- Proposed topographic map
- Existing topographic map

## 5. Fees and Escrow Deposit

Up to \$100,000: \$200.00  
\$100,001 to \$500,000: \$300.00  
\$500,001 to \$1,000,000: \$400.00  
\$1,000,001 & Up: \$500.00  
Estimate Project Cost: \$175,000.00

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.

## 6. Details of the Nature of Work Proposed (please identify materials and colors to be used)

Renovation of office interior and installation of floor drain  
with oil separator. Replace electrical.



**7. Buildings and Structures**

Number of buildings on site: 1  
Height of buildings & # of stories: \_\_\_\_\_

Use of buildings: Auto repair, minor  
Height of rooftop mechanical equipment: \_\_\_\_\_

**8. Floor Use and Area (in square feet)**

**Commercial Structures**

Total floor area: 9100  
Open space (area & %): 7700  
Office space (area): 1400  
Retail space (area): \_\_\_\_\_  
Industrial space (area): \_\_\_\_\_  
Assembly space (area): \_\_\_\_\_  
Seating capacity: \_\_\_\_\_  
Maximum occupancy load: \_\_\_\_\_

**Residential Structures**

Total floor area: N/A  
Total # of units: \_\_\_\_\_  
# of 1 bedroom units: \_\_\_\_\_  
# of 2 bedroom units: \_\_\_\_\_  
# of 3 bedroom units: \_\_\_\_\_  
Open space (area and %): \_\_\_\_\_  
Rental or condominium?: \_\_\_\_\_  
Maximum occupancy load: \_\_\_\_\_

**9. Setbacks** (see Article Four: District Regulations, Table 40-402.02, for setback requirements)

Required front yard: 25'  
Required rear yard: 10'  
Required total side yard: 10'

Proposed front yard: N/A  
Proposed rear yard: N/A  
Proposed total side yard: N/A

**10. Parking** (see Article Six: Parking, for zoning requirements)

Required # of spaces: 16  
Typical angle of spaces: 90°  
Location of parking on site: Rear / Interior  
Shared parking agreement?: No  
Number of employees: 8

Proposed # of spaces: 25 Plus interior  
Size of spaces: 9 x 19  
Number of handicap spaces: Interior  
Location and # of off-street spaces: 27+ interior

Explanation of screening (including location and materials): Existing rear yard fence  
see attached narrative

**11. Loading** (see Section 40.605.04 for loading space requirements)

Required # of spaces: 1  
Typical angle of space(s): 90°  
Location of loading space(s) on site: Interior

Proposed # of spaces: 4 (2 ingress, 2 egress)  
Size of space(s): 9 x 19

Explanation of screening (including location and materials): \_\_\_\_\_

**12. Site Lighting** (see Section 40-317 for lighting requirements)

**Building Lighting**

# of fixtures proposed: \_\_\_\_\_  
Type of lighting proposed: \_\_\_\_\_  
Height of fixtures: \_\_\_\_\_  
Location of fixtures: \_\_\_\_\_

**Parking Area Lighting**

Not proposed  
# of fixtures proposed: \_\_\_\_\_  
Type of lighting proposed: \_\_\_\_\_  
Height of fixtures: \_\_\_\_\_  
Location of fixtures: \_\_\_\_\_  
Foot-candles at property line: \_\_\_\_\_

**13. Landscaping** (see Article Eight: Landscaping, for zoning requirements)

Location of landscape areas: \_\_\_\_\_

See attached narrative  
Proposed landscape material: \_\_\_\_\_





**14. Exterior Trash Receptacles** (see Section 40-301.03 for Dumpster Enclosure requirements)

Location of receptacle: \_\_\_\_\_ Size of receptacle: \_\_\_\_\_  
Enclosure material: \_\_\_\_\_ Height of Enclosure: \_\_\_\_\_

**15. Mechanical Equipment** (see Sections 40-306.08(C) & 40-322 for zoning requirements)

**Ground Mounted Mechanical Equipment**

# of units: See site plan  
Size of units (LxWxH): \_\_\_\_\_  
Location of units: \_\_\_\_\_  
Screening: \_\_\_\_\_

**Rooftop Mechanical Equipment**

# of units: \_\_\_\_\_  
Type of rooftop units: \_\_\_\_\_  
Size of units (LxWxH): \_\_\_\_\_  
Location of units: \_\_\_\_\_  
Screening: \_\_\_\_\_

**16. Accessory Buildings** (see Section 40-301 for standards for accessory buildings)

# of accessory building(s): \_\_\_\_\_ Size of accessory building(s) (LxWxH): N/A  
Location of accessory building(s): \_\_\_\_\_

**17. Emergency Access Features** (contact City of Grand Haven Fire Marshal with questions)

Emergency Access Roads: \_\_\_\_\_ N/A  
Location of hydrants and fire department connection (FDC): \_\_\_\_\_

**18. Historic District information** (contact [City of Grand Haven Historic Conservation District Commission](#))

Is this location within a Historic Conservation District? Yes ~~No~~ ~~Unsure~~  
Name of District, if applicable: \_\_\_\_\_

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: [Signature] Date: 12-12-24

Print Name: \_\_\_\_\_

Signature of Owner: [Signature] Date: 12-12-24

Print Name: Joshua J. Thompson

*Office Use Only*

Case #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Approved by: \_\_\_\_\_





## MEMORANDUM

**DATE:** DECEMBER 12, 2024

**TO:** CITY OF GRAND HAVEN  
ATTN: COMMUNITY DEVELOPMENT DEPARTMENT  
519 WASHINGTON AVENUE  
GRAND HAVEN, MI 49417

**FROM:** BRUCE A. CALLEN, PE

**SUBJECT:** APPLICATION FOR SITE PLAN  
HAVEN AUTOMOTIVE  
421 N. GRIFFIN STREET  
PPN:70-03-21-415-006  
GRAND HAVEN, OTTAWA COUNTY, MI

---

On behalf of Haven Automotive, applicant for the above subject project, we hereby submit this plan narrative related to a proposed change of ownership at the property located at 421 N. Griffin Street, Grand Haven, Ottawa County, Michigan. This narrative is intended to supplement the current site plan, dated December 12, 2024, and the supporting documents provided in the submittal package.

The applicant seeks site plan approval for a change of ownership at the 0.66 acre property located on the west side of Griffin Street. The applicant proposes a minor automotive repair facility – general service and repair – for vehicles less than 12,000 lbs. This is consistent with previous uses.

The property is located within the TI (Transitional Industrial) zoning district and is bordered by TI (Transitional Industrial) zoned properties to the north, south, and east; and west. The property is comprised of an existing industrial building that comprises the majority of the property. Shared driveways comprise both side yards, and a shared gravel yard area comprises the rear of the property.

The project includes renovating the interior of the building to provide eight (8) vehicle service bays. Six (6) current employees, the owner, and one potential employees provides an anticipated occupancy of eight (8) employees.

Given the existing site grades relative to shared driveway connections along both sides of the building, the relatively shallow groundwater depth (see attached soil boring logs), and relatively shallow municipal storm sewer in Griffin Street, stormwater drainage facility improvements are not feasible.

civil engineers

108 East Savidge St.  
Spring Lake MI 49456  
616.414.5260  
callenengineering.com

Paving the rear yard area, without the ability to provide stormwater drainage facilities, will exacerbate drainage issues that may already exist behind the surrounding buildings that share the overall, shared gravel yard area, therefore top-dressing the gravel surface to reduce surface ponding is proposed for the rear yard area.

Site vehicle circulation will consist of maintaining the southerly drive lane along the southerly side of the building for rear yard access, utilizing the existing overhead door adjacent to the offices for customer drop-off (inside the building), and exiting the building via the existing covered pick-up area at the northeast corner of the building.

No site-related improvements are proposed.

Parking locations are illustrated for repair vehicle stacking, employee parking, and for customer drop-off and pick-up.

The development is served by existing watermain and sanitary sewer. No new utility connections are proposed. Interior improvements, if any, shall be under the purview of the building permit review.

All waste receptacles, existing and proposed, shall remain within the confines of the rear yard area.

New development sign, if any, shall consist of replacement wall-mounted signage, subject to City of Grand Haven sign permitting.

No new landscaping and screening are proposed. An existing fence delineates the westerly property limits. Attempts to provide landscape screening along the west property line, given the shallow groundwater table, will likely not survive. Site circulation, to accommodate the neighboring shared access points preclude the ability to screen the side yards.

With regard to the impact on the community:

We anticipate there will be a nominal increase in emergency calls for service as is consistent with any growing commercial enterprise.

We do not anticipate negative effects on the natural environment.

We do not anticipate negative effects on automobile and truck circulation patterns or traffic volumes.

We believe all elements of the site plan are harmonious and efficiently organized in relation to zoning, topography, the size and type of the lot, the character of adjoining properties and the type and size of buildings.

On behalf of Haven Automotive, we respectfully request site plan approval for parcel 70-03-21-415-006, 421 N. Griffin Street, Grand Haven, Ottawa County, Michigan.

# Building Renovations for: THOMPSON BUILDING

421 N. Griffin Street, Grand Haven, Michigan

## Project Data:

### Project Description:

Update the existing steel and concrete block auto service garage and office areas to meet the needs of the new auto repair owner, Josh Thompson.

### Zoning:

Location: 421 N Griffin, Grand Haven, MI

Zoned: TI - Transitional Industrial (all adjacent properties are also NMU)

Permitted Uses: Auto Repairs

Planned Use: Auto Repairs

Min. Lot Dimensions per Table 402B

Existing 100' wide lot with existing building

Parking per Table 701

Warehouse 1 per employee 8 Parking Spaces provided behind building  
Office 2.5 per 1,000 sf 4 Parking Spaces provided behind building

Off Street Loading Space per Section 707

1 Req'd. less than 20,000 sf 1 Loading Space provided

Site Lighting per Section 709

Style - per figure 709 None Provided, all lighting on building  
Max. Height 20'

### Code Compliance:

- Code - Michigan Building Code 2015
- ICC/ANSI A117.1 - 2009
- Michigan Plumbing Code 2021
- Michigan Mechanical Code 2021
- National Electric Code 2023, Michigan Part 8
- Int'l Fire Code 2015

Use Group Classification (Section 311.1) S-1 moderate hazard storage, motor vehicle repair garage

Construction Type (Section 602.1) - 2B Noncombustible Unprotected

Gross Building Area - 9,750 square feet

Allowed by Code (table 506.2) - 17,500 sq. ft./ floor

Building Height - Highest point 16'

Allowed by Code (table 504.3) - 55'

Allowed by Code (table 504.4) - 2 story

Automatic Sprinkler System (section 903.2.9)

Not required as none of the five listed conditions exist

Portable Fire Extinguishers (table 906.3.(1))

Minimum rated extinguisher - 2-A

Maximum floor area per extinguisher - 1,500 sf

Maximum travel distance to extinguisher - 75'

Occupancy Load (table 1004.1.2)

Warehouse - Auto Service @ 500 sq. ft per occupant (9,750 sf / 500 = 20 occupants)

Total Occupants Per Owner Affidavit = 12

Number of exits required: max. 200' travel distance (table 1017.2)

Exit Travel Distance (table 1017.2)

S-1 Storage - 200'

Plumbing Fixtures: S-1 Classification

Water Closets - 1 per 100 female

1 per 100 male

Separate toilets not req'd. if occupancy 15 or fewer

Lavatories - 1 per 100

Drinking Fountains - 1 per 1,000

Service Sink - 1 required

### Flame Spread & Smoke Development:

Walls & Ceiling -

Smoke Dev. 450 Max. per ASTM E-84

Flame Spread 200 Max. per ASTM E-84

Insulation -

Smoke Dev. 450 Max. per ASTM E-84

Flame Spread 25 Max. per ASTM E-84

Roof Covering -

Class B Min. per ASTM E-108 or UL-790

### Fire Extinguishers:

Fire extinguishers are 10# type ABC mounted with handle 42" AFF and provided with sign above designating fire extinguisher location in accordance with the International Fire Code.

### Signage:

Exit signs shall have 6" high letters and be illuminated at all times. Tactile exit signs shall be placed adjacent to each exit discharge. Accessible Parking Signs will be properly placed in front of each accessible parking space. Parking area will be marked on the parking surface with the appropriate color and markings.

### Emergency Lighting:

Emergency lighting shall be properly positioned to provide an average of 1 foot-candle (11 lux) and a minimum of 0.1 foot-candle (1 lux) measured along the path of egress at floor level.

### Rough Carpentry:

All wood joists, posts, studs and plywood in contact with masonry, concrete or soil are ground contact pressure treated, Wolmanize or equal. All fasteners into treated lumber must be hot dipped galvanized or stainless steel per MBC 2304.9.5.

### Concrete Specifications:

Concrete strength for all floors and flat work shall be 4,000 psi at 28 days. All concrete shall have a maximum slump of 4 inches. All exterior concrete shall have limestone aggregate, 6% air entrainment and be broom finished after troweling.

### Finishes:

Toilet and kitchen floors and walls to 4'-0" above the floor shall be finished with smooth, readily cleanable nonabsorbent materials. Floor finish shall have a non-slip surface. All floors without carpeting will have non-slip surfaces per MBC 1003.4

### Hardware:

All door hardware shall be accessible lever style design. Exterior exit doors shall be provided with panic hardware operating with a maximum operating force of 15 pounds. The actuating portion of the releasing device shall extend a minimum of 50% of the door width. MBC 1008.1.9 Front entry doors will full glazed. Back exit door will be a solid door without glazing. All doors in accessible route shall have smooth surface on the bottom 12" (min.). All thresholds will be a max. 1/2" height with beveled sides of max. 1 in 2 slopes.

### Mechanical, Electrical & Plumbing:

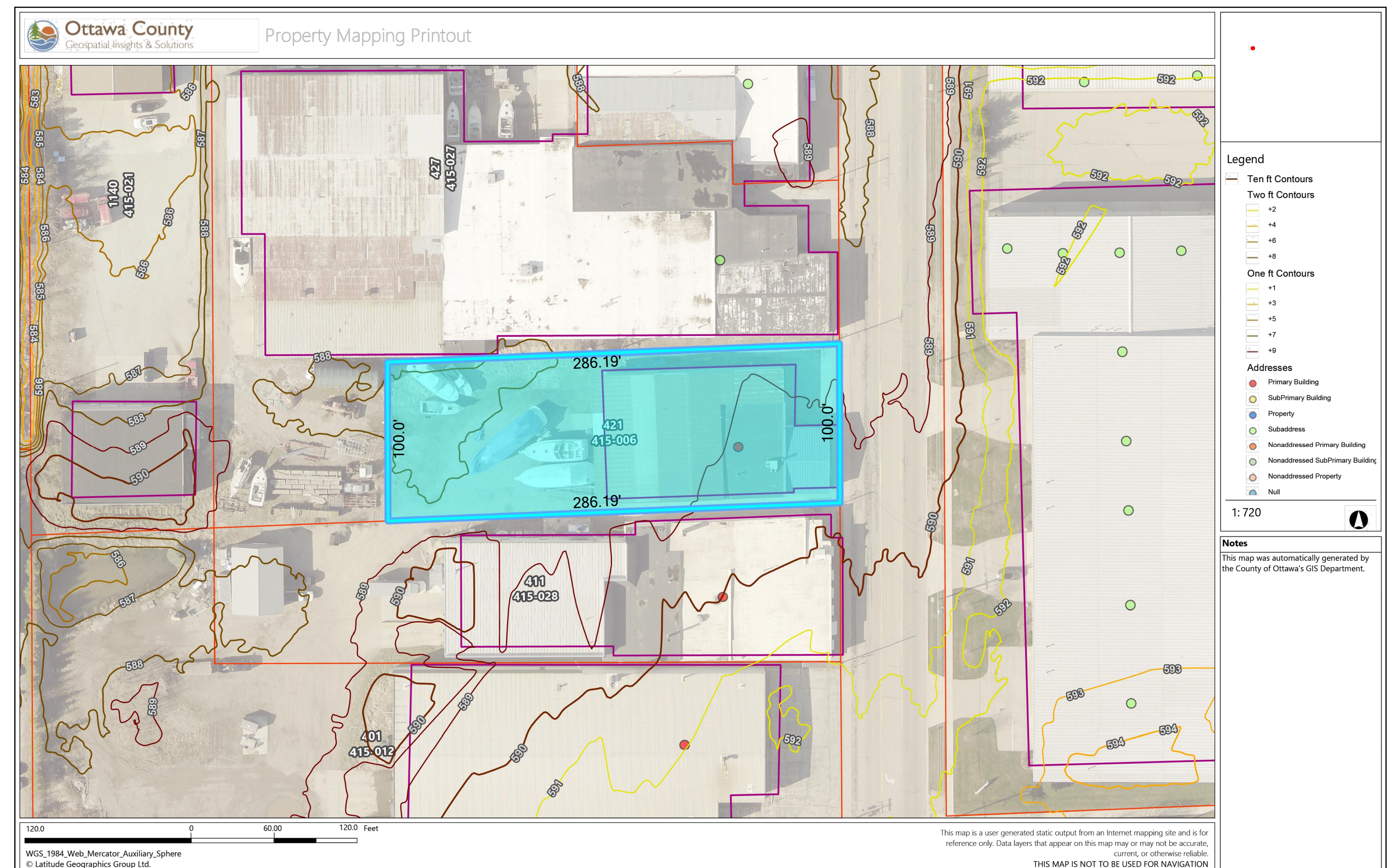
Not covered under this specification or the construction documents. Provide all mechanical, electrical, and plumbing labor and materials as necessary to provide a complete installation of services, equipment, fixtures, etc. Provide all necessary submittals required by the building inspector and by code.

### Plans & Submittals by Others:

Electrical, mechanical, and plumbing plans and required submittals are by others. Michigan Energy Code calculations will be provided by the general contractor. Site plan will be provided by a registered surveyor.

## Sheet Index:

- T1.1 Cover Sheet, Project Data
- A1.1 Renovated Floor Plans and Details

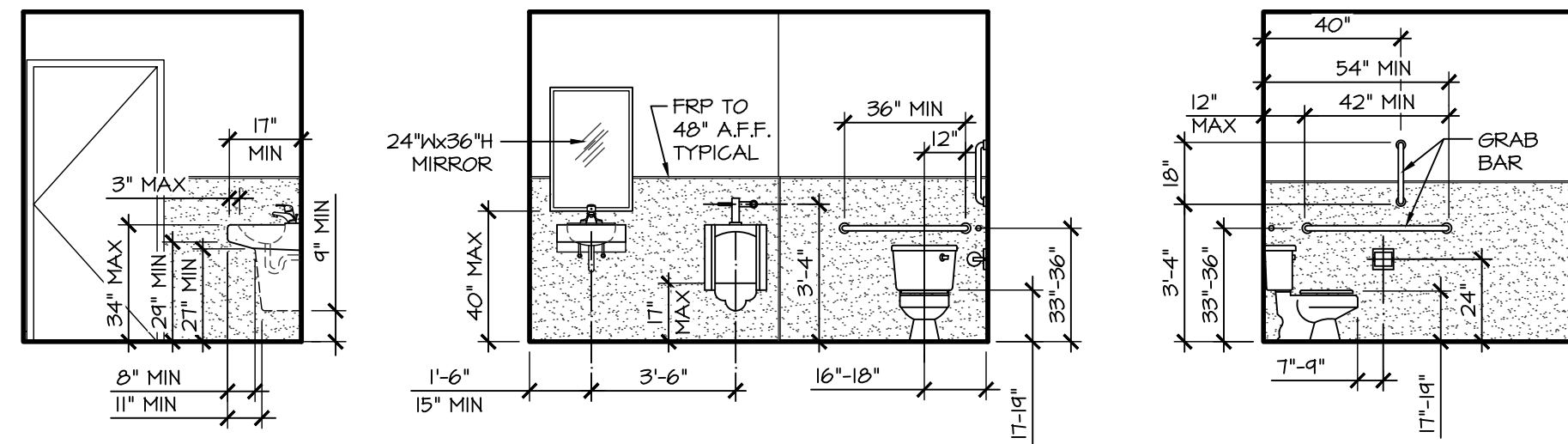


DATE: 10-26-24  
DESIGNED BY: B. HESSE SWEET  
CHECKED BY: B. HESSE SWEET  
CAD OPERATOR: C.D.  
CHECKED BY: B. HESSE SWEET

BROCK HESSE SWEET A.I.A.  
14250 CRICKLEWOOD STREET  
GRAND HAVEN, MICHIGAN 49417  
PHONE 616-335-1906

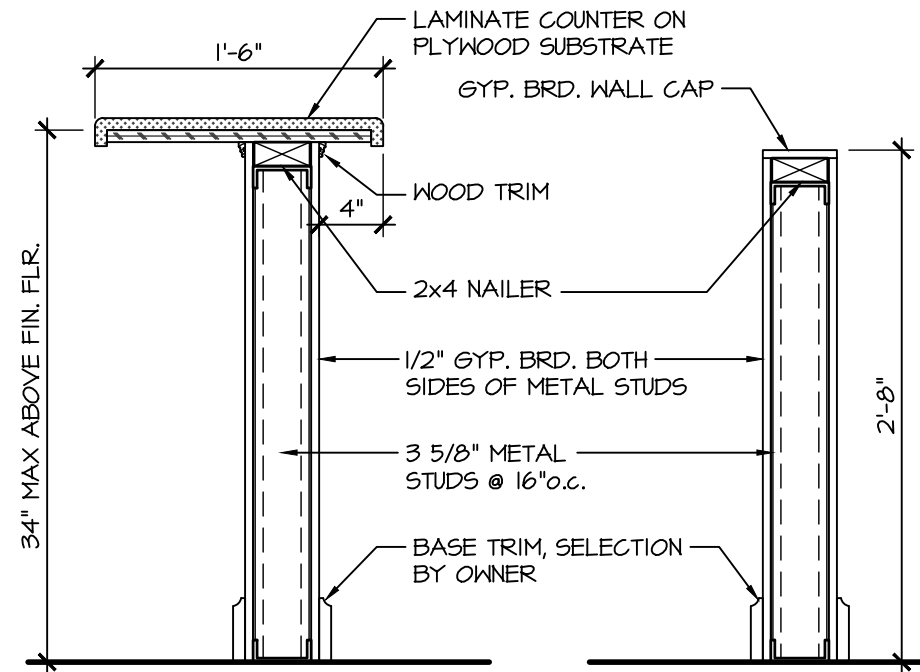
THOMPSON BUILDING  
421 N. Griffin Street, Grand Haven, Michigan

SHEET NO.  
T1.1

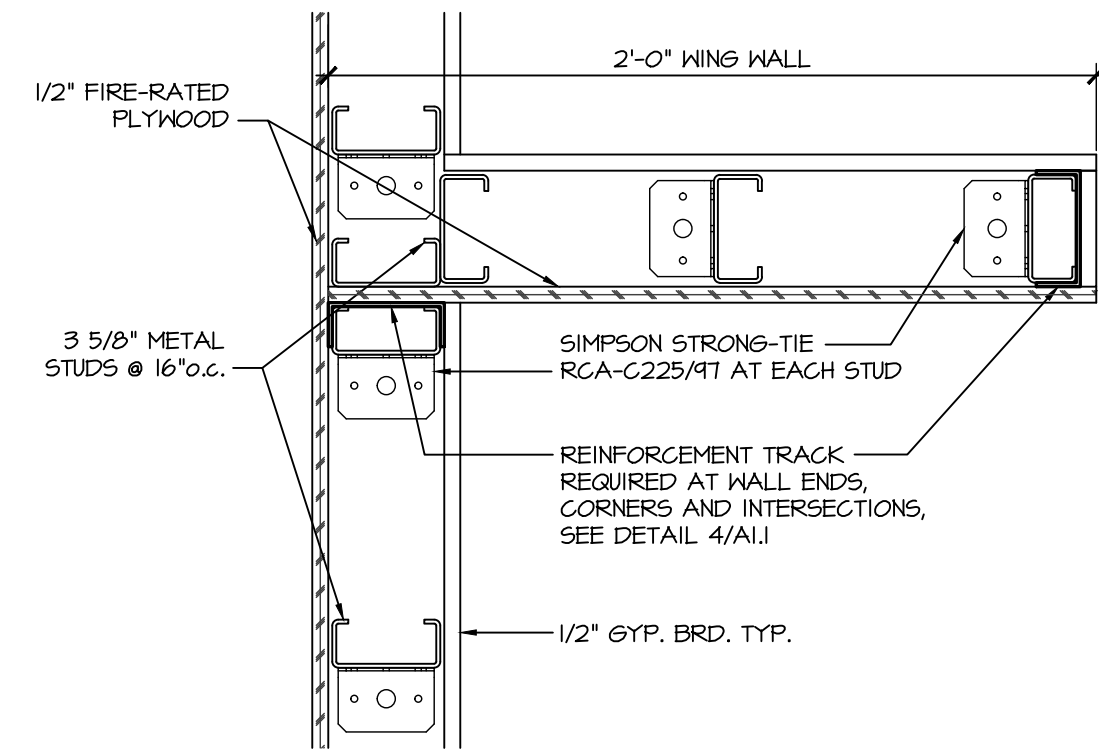


**TYPICAL TOILET ROOM ELEVATIONS**  
SCALE: 1/4" = 1'-0"

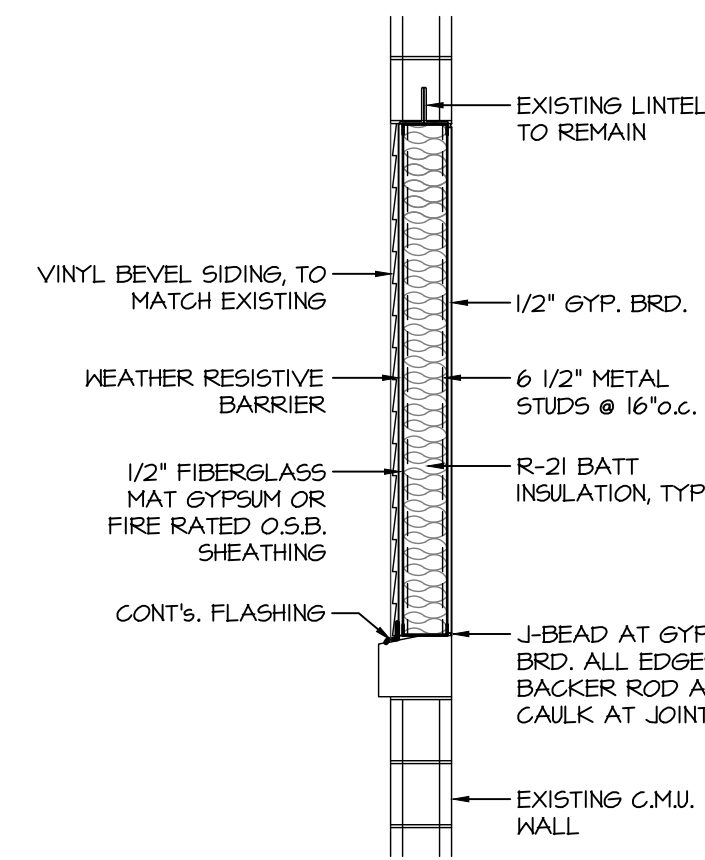
- NOTES:**
- TOILET ROOM ELEVATION DIMENSIONS & CLEARANCES ARE TO FACE OF FINISHED WALL. CONTRACTOR TO VERIFY DIMENSIONS.
  - LAVATORY TO HAVE SINGLE LEVER ADA COMPLIANT ANTI-SCALD FAUCET AND PIPE PROTECTION INSTALLED.
  - HAND DRYERS AND PAPER TOWEL DISPENSERS (IF PROVIDED) TO BE MOUNTED WITH CONTROLS OR DISPENSER AT 48" MAXIMUM ABOVE FINISHED FLOOR.
  - WALLS ADJACENT TO AND BEHIND TOILET WITHIN 24" OF FIXTURE TO A HEIGHT OF 48" ABOVE FINISHED FLOOR AND AT ALL WALLS EXTENDING 6" UPWARD FROM FLOOR TO HAVE CERAMIC TILE, F.R.P. BOARD OR OTHER SIMILAR SCRUBBABLE, NON-ABSORBENT MATERIAL.
  - PROVIDE 1/2" TO 2" DIA. GRAB BARS (LENGTH AS INDICATED ABOVE) THAT COMPLY W/ ICC/ANSI A117.1-2009 SEC. 604 AS MANUFACTURED BY BOBRICK, BRADLEY OR EQUAL.



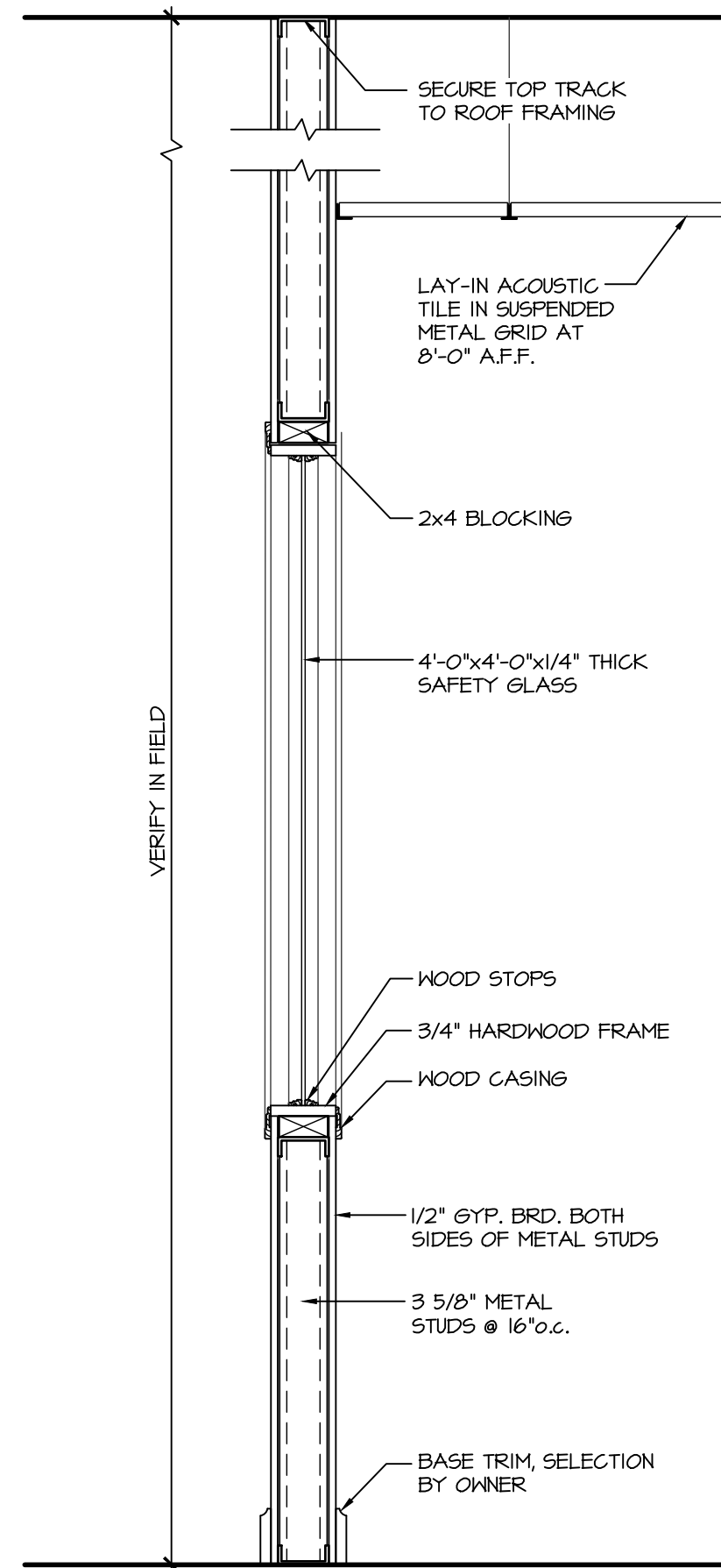
**7 WALL SECTION**  
SCALE: 1" = 1'-0"



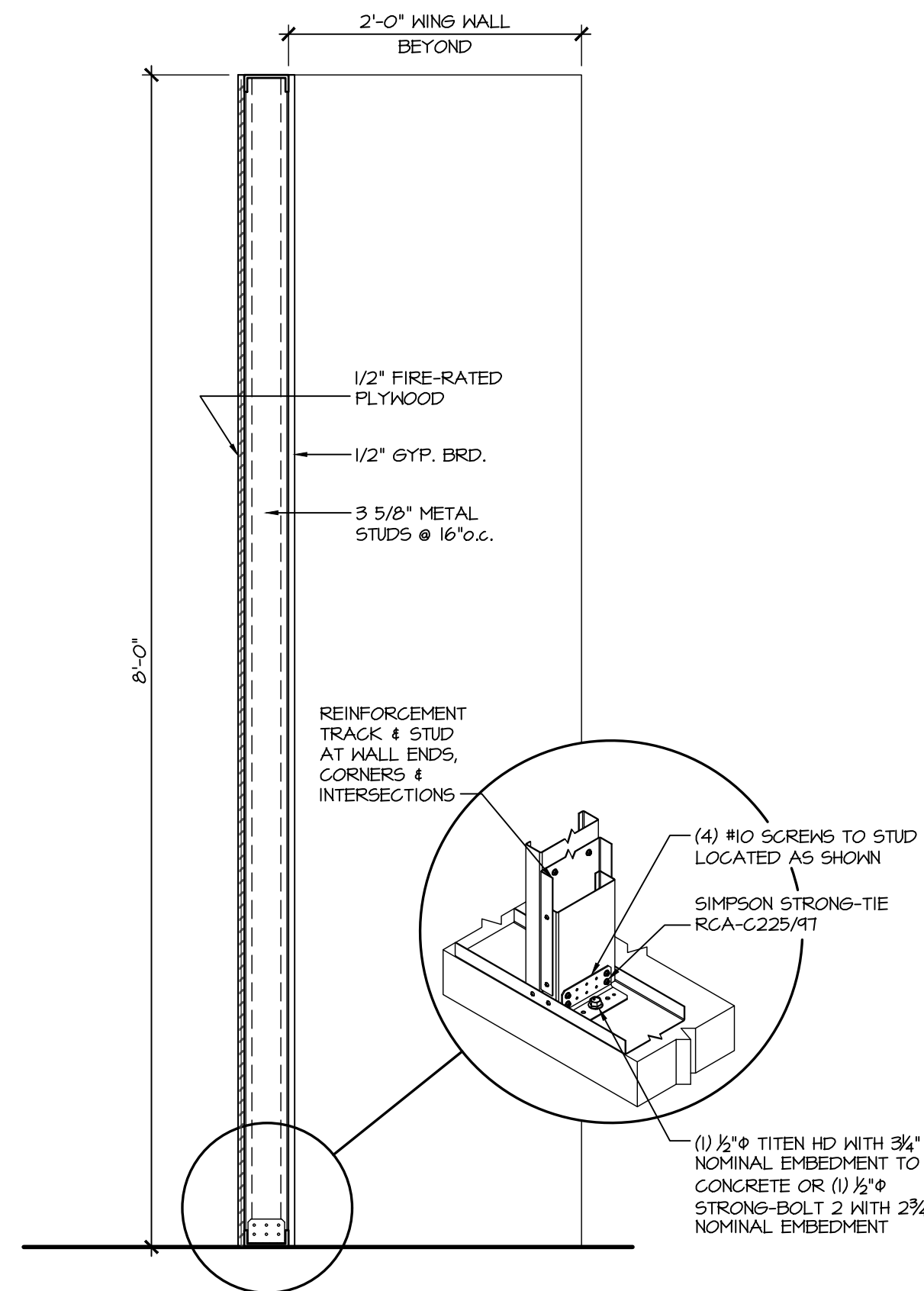
**5 BRACED WALL DETAIL**  
SCALE: 2" = 1'-0"



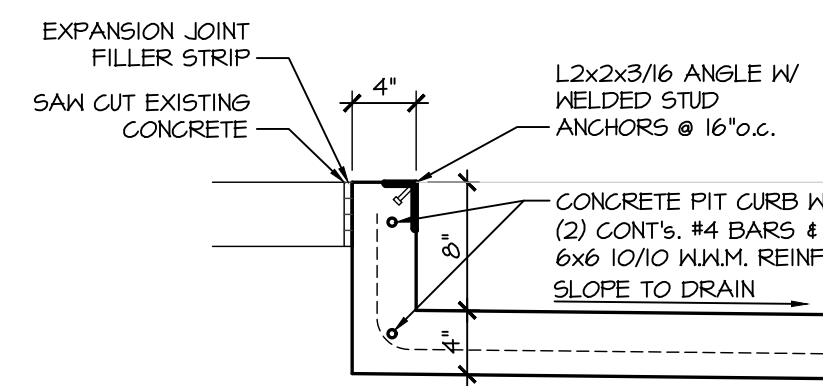
**3 WINDOW INFILL DETAIL**  
SCALE: 1/2" = 1'-0"



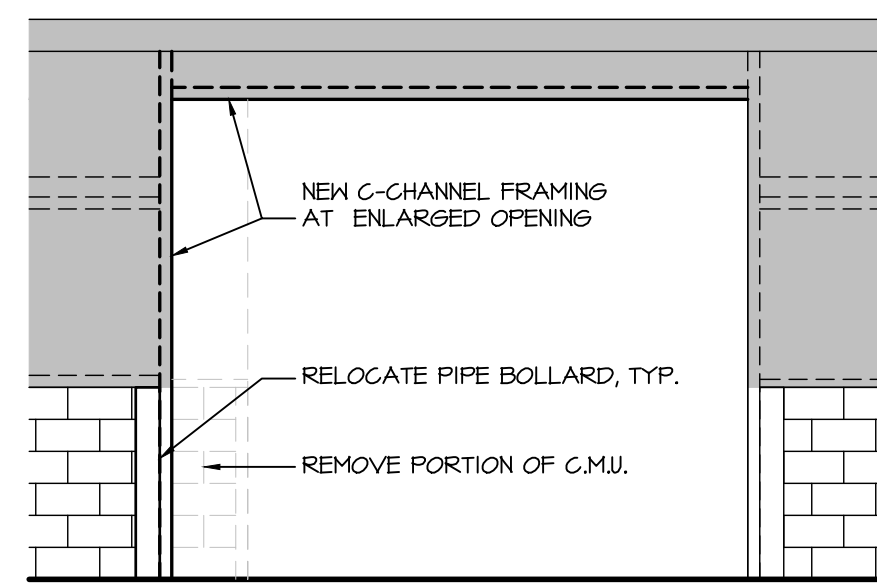
**6 WALL SECTION**  
SCALE: 1" = 1'-0"



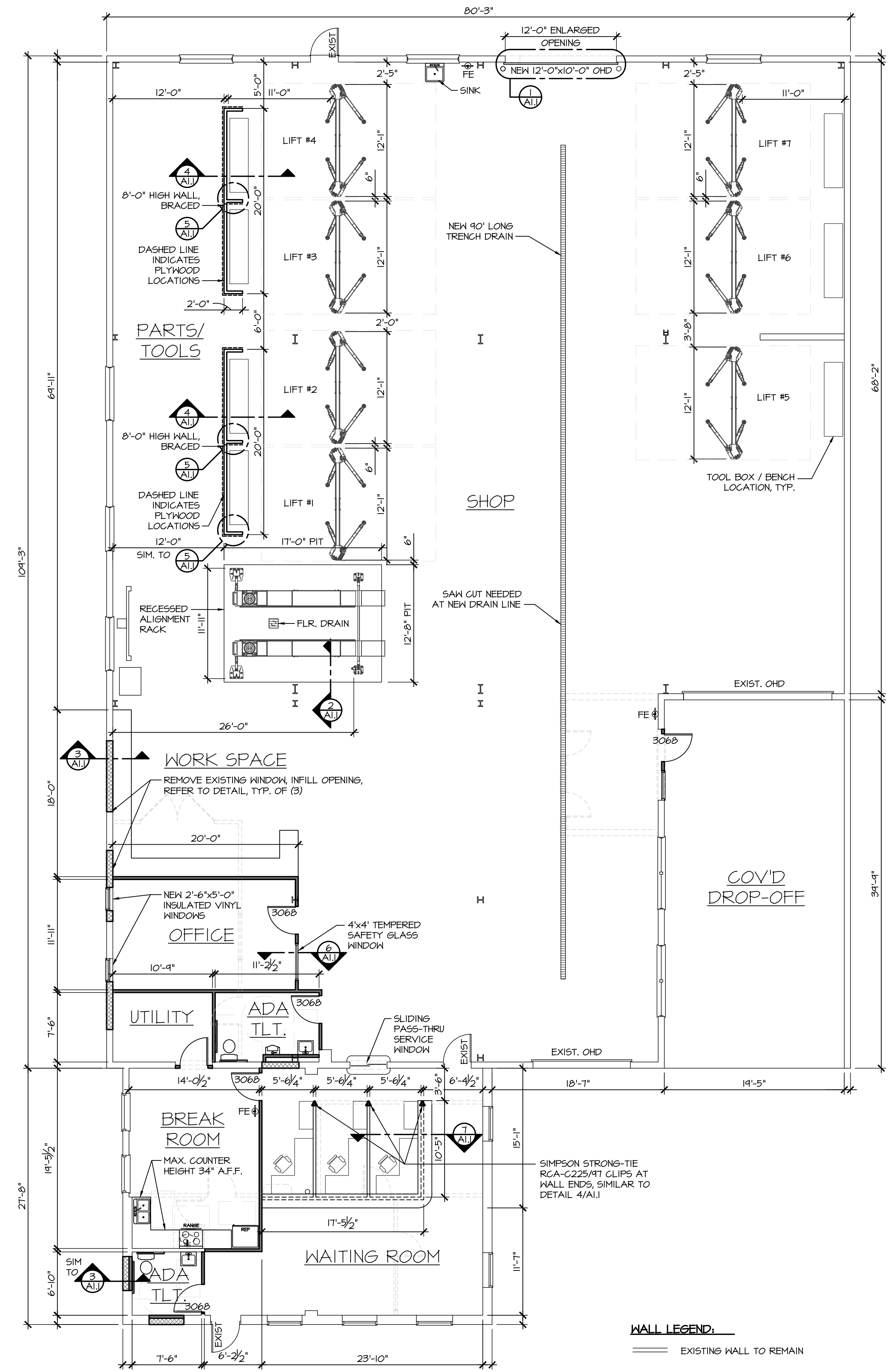
**4 WALL SECTION**  
SCALE: 1" = 1'-0"



**2 FLOOR RECESS DETAIL**  
SCALE: 1" = 1'-0"



**1 OVERHEAD DOOR FRAME ELEVATION**  
SCALE: 1/4" = 1'-0"  
AS VIEWED FROM INTERIOR SIDE



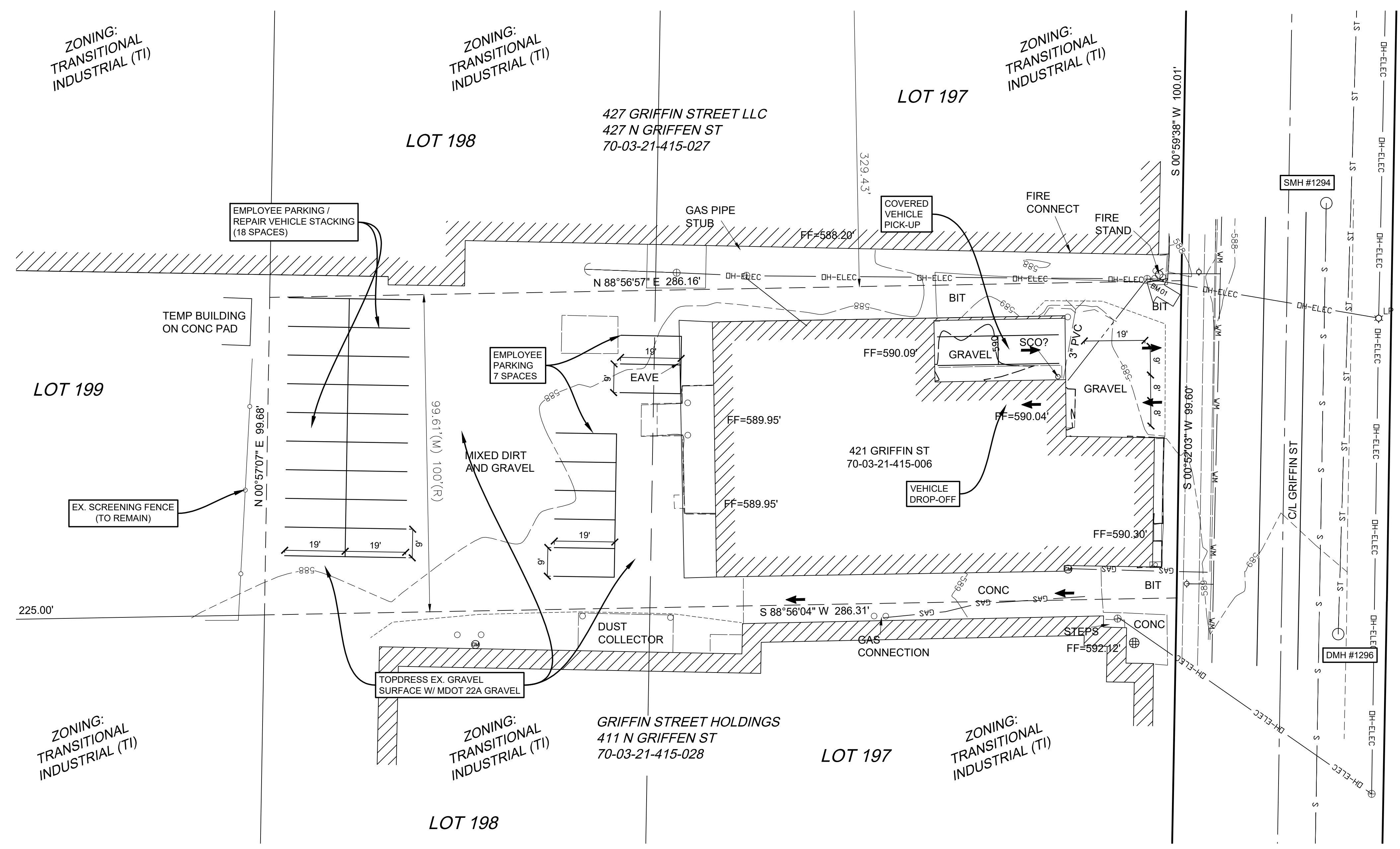
**RENOVATED FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- WALL LEGEND:**
- EXISTING WALL TO REMAIN
  - EXISTING WALL OR FIXTURE TO BE REMOVED
  - NEW WOOD 2x4 STUD WALL
  - FE WALL MOUNTED 10# A-B-C FIRE EXTINGUISHER

**BROCK HESSELSWEET A.I.A.**  
14250 CRICKLEWOOD STREET  
GRAND HAVEN, MICHIGAN 49417  
PHONE 616-335-1906

**THOMPSON BUILDING**  
421 N. Griffin Street, Grand Haven, Michigan

SHEET NO.  
**A1.1**



Property Address: 421 N. Griffen Street  
Grand Haven, Michigan 49417

Parcel Number: 70-03-21-415-006

Property Description:  
SLY 100 FT OF NLY 429.2 FT OF W 165 FT OF LOT 197 & THE S 100 FT OF THE N 429.2 FT OF LOT 198 RYCENGAS ASSESSORS PLAT NO. 3

Total Acreage: 0.66 Acres (28,619 sq. ft.)

Property Zoning: Transitional Industrial (TI)

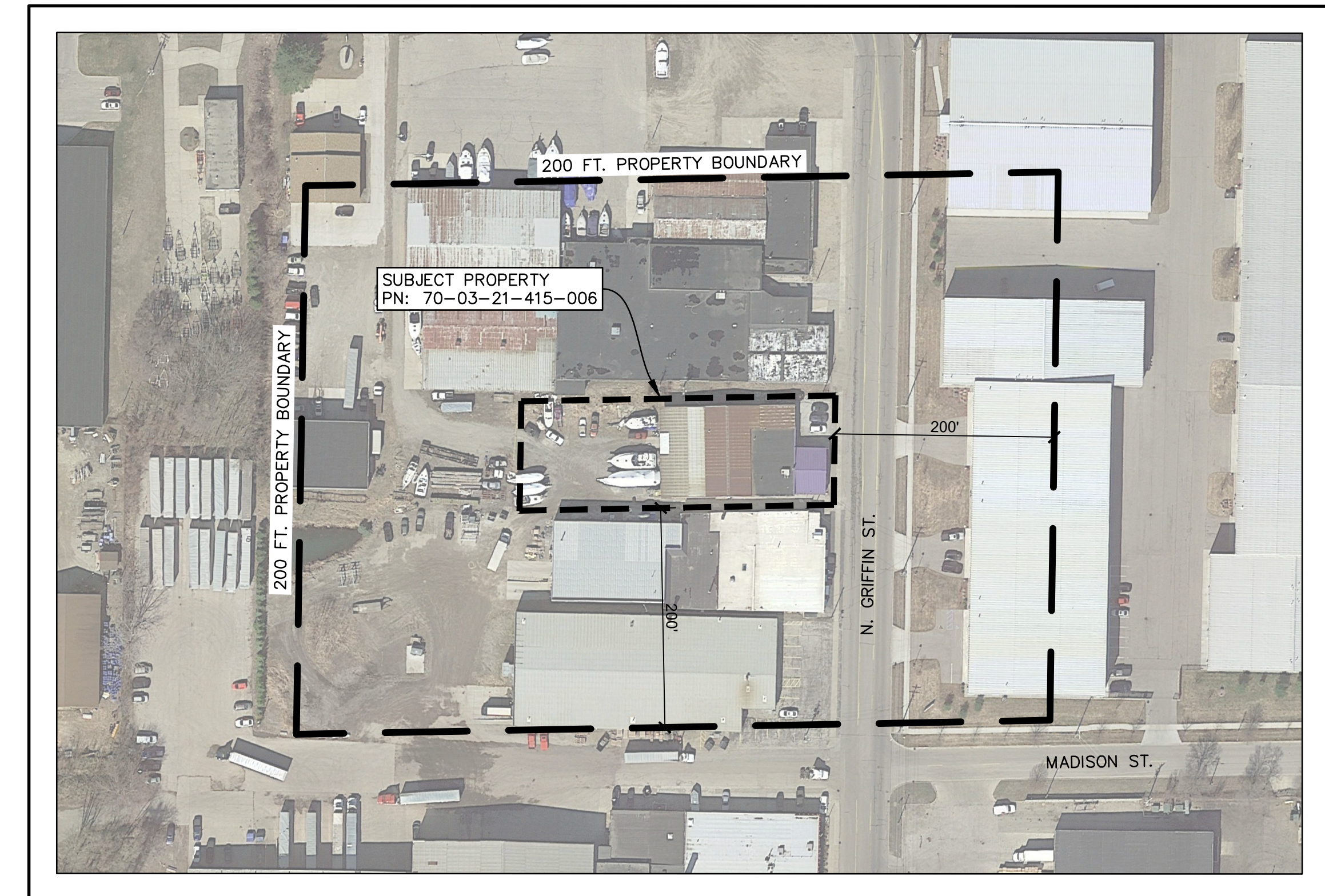
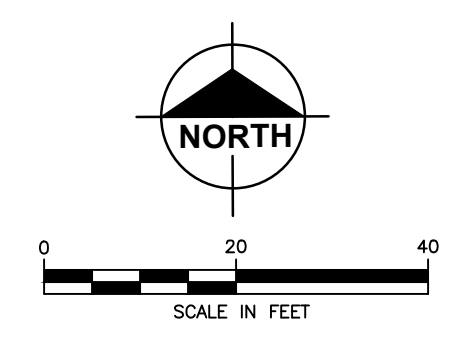
EX. STRUCTURE SCHEDULE

SMH #1294  
RIM = 588.30'  
IE N=583.55' 12" CLAY  
IE S=583.65' 12" CLAY

SMH #1297  
RIM = 591.94'  
IE N=584.75' 12" CLAY  
IE S=584.85' 12" CLAY

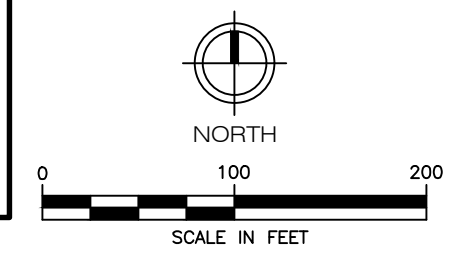
DCB #1295  
RIM = 587.43'  
IE N=583.28' 33" CONC  
IE S=583.28' 33" CONC

DMH #1296  
RIM = 589.21'  
IE N=584.16' 33" CONC  
IE S=584.16' 33" CONC  
12" EAST WEST PIPE CROSSES STRUCTURE, TOP=586.01'

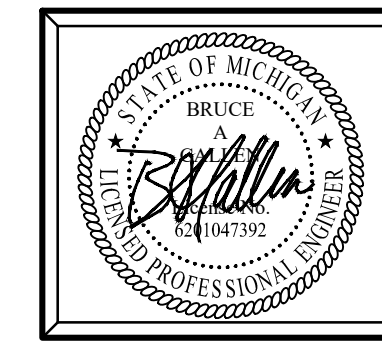


VICINITY MAP

- GENERAL NOTES**
- PROJECT INCLUDES A CHANGE OF OWNERSHIP OF AN EXISTING INDUSTRIAL BUILDING FOR THE PURPOSE OF MINOR AUTOMOTIVE REPAIR FACILITY.
  - THE DEVELOPMENT IS SERVED BY PUBLIC WATER MAIN AND PUBLIC SANITARY SEWER. NO NEW SERVICES ARE PROPOSED.
  - ACCESS TO THE DEVELOPMENT SHALL BE VIA TWO (2) EXISTING, SHARED CURB CUTS ONTO N. GRIFFIN STREET.



**BENCH MARKS:**  
BM 1 SET NAIL IN SOUTH FACE OF POWER POLE AT NORTH EAST CORNER OF PARCEL.  
Elevation: 589.44 ft. (NAVD 88)



Plan Prepared By:  
Bruce A. Callen, PE  
Callen Engineering, Inc.  
108 E. Savidge St.  
Spring Lake, Michigan 49456

Tel: 616-414-5260  
email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

**Callen Engineering, Inc.**  
108 East Savidge Street  
Spring Lake, MI 49456  
T: 616.414.5260  
www.callenengineering.com

HAVEN AUTOMOTIVE  
765 WOODLAWN AVENUE  
GRAND HAVEN, MICHIGAN 49417  
231-750-1655

NO.	DATE	ISSUANCE / REVISION
1.	12-12-2024 <td>BY: BAC SITE PLAN REVIEW</td>	BY: BAC SITE PLAN REVIEW

HAVEN AUTOMOTIVE  
421 NORTH GRIFFIN  
CITY OF GRAND HAVEN  
OTTAWA COUNTY, MICHIGAN  
EXISTING CONDITIONS / SITE PLAN

DRAWN BY	DATE
J.W.C.	DEC '24
ENGINEER	DATE
B.A.C.	DEC '24
EDIT	DATE
B.A.C.	DEC '24

SCALE: AS NOTED / 1:1

PROJECT 024 THOMPSON  
SHEET NO. **C1.0**

DATE OF PLAN: 12-12-24



## Plan Review Report

### General

**Plan Review**  
**Property Address:**

**Plans Reviewed on:** 12/20/2024

**Plans Reviewed by:** Terry Turkelson

**Status of Review:** Review Complete,  
Submitted

**Plan Review** 421 N Griffin/ Haven Automotive  
**Notes/Comments:**

Confirm exit/emergency lighting

Confirm proper number/location of extinguishers

Confirm proper storage of batteries/tires on location

Confirm compliance of chapter 23 of IFC 2015 Motor Fuel-Dispensing Facilities and Repair Garages

Questions or Comments? Please contact Fire Marshal Terry Turkelson at 616-842-3460 or [tturkelson@grandhaven.org](mailto:tturkelson@grandhaven.org)

**DATE:** January 10, 2025  
**TO:** Grand Haven Planning Commission  
**FROM:** Brian Urquhart, City Planner  
**RE:** Case 25-05: Site Improvements to Sluka Field

---

**Current Zoning:** MDR, Medium Density Residential

**Existing Use:** Sluka Field - Baseball park

**Proposed Use:** Site Improvements to Sluka Field

### **1.0 Background**

Sluka Field is a 6.2-acre municipal park in the near Beechtree and Waverly. The park has served as a neighborhood staple for decades. The Public Works Dept. has applied for MNDR, LWCF Grant funds for park improvements. Steve Czadzeck of Abonmarche, who is assisting the city with the grant application, will be present to answer any questions from the Planning Commission.

### **Proposed Park Improvements**

The improvements include demolition of the two dugouts, removal of pavement, removal of unused light towers, installation of two new dugouts, outfield fencing installation, upgrade the bleachers, tree planting, and expansion of existing parking lot with appropriate drainage. The parking lot landscaping and storm water control will comply with city ordinances.

### **2.0 Request**

Per Sec. 40-115.02 D of the Zoning Ordinance, the Dept. of Public Works requests the Grand Haven Planning Commission acknowledge this facility improvement and expansion project and defer the site plan review to the City Planner for the following reasons:

- 1.) The project will result in a planned improvement and expansion of an existing use.
- 2.) The project will not significantly change the nature of the public use.

### **Attachments:**

- A. Site Plan application
- B. Site Plan (10 sheets)



# SITE PLAN REVIEW PERMIT APPLICATION

Community Development Department, City of Grand Haven  
519 Washington Avenue, Grand Haven, MI 49417  
Phone: (616) 935-3276 Website: [www.grandhaven.org](http://www.grandhaven.org)



## 1. Project Information

Address/location of property: 1521 Waverly Avenue - Sluka Field  
Parcel #: 70-03-27-105-005 Zoning District: MDR - Moderate Density Residential  
Current Use: Municipal Park Proposed Use: Municipal Park  
Area in Acres: 6.2 Acres Zoning of adjacent properties: B on west  
MDR Across streets

## 2. Applicant

Name: Steve Czadzeck  
Company: Abonmarche Consultants, Inc.  
Address #: 11 N. 6th St.  
Grand Haven, MI 49417  
Phone #: 616-847-4070  
Email: sczadzeck@abonmarche.com

## 3. Property Owner

Name: City of Grand Haven; attn Dana  
Address: Kollewehr519 WashingtonGrand Haven, MI  
49417616-847-3493dkollewehr@grandhav  
en.org  
Phone #: en.org  
Email: \_\_\_\_\_

## 4. Required Attachments

- PDF + 5 copies of the application
- PDF + 5 copies of site plan
- PDF + 5 copies of the building elevations
- PDF + 5 copies of the landscape plan
- Project phasing plan (if applicable)
- Signage plan and details
- Proposed topographic map
- Existing topographic map

## 5. Fees and Escrow Deposit

Up to \$100,000: \$200.00  
\$100,001 to \$500,000: \$300.00  
\$500,001 to \$1,000,000: \$400.00  
\$1,000,001 & Up: \$500.00  
Estimate Project Cost: \$ \$ 587,800 per grant

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.

## 6. Details of the Nature of Work Proposed *(please identify materials and colors to be used)*

Under an MDNR LWCF Grant, Park Improvements including:  
Demolition of 2 dugouts, selective pavement removal, removal of unused light towers, construction of 2 masonry dugouts, installation of outfield fencing, bleachers, incidental turf restoration, tree planting, and expansion of existing parking lot with drainage improvements as shown on drawings.



**7. Buildings and Structures**

Number of buildings on site: Three existing single story  
Height of buildings & # of stories: Two dugouts @ 8'; Concession / restrooms @ 21' (to peak)

Use of buildings: Two baseball dugouts, One concession stand / restrooms  
Height of rooftop mechanical equipment: none

**8. Floor Use and Area (in square feet)**

**Commercial Structures**

Total floor area: Proposed 3,100 sf  
Main Building @ 2500 sf;  
Two ex baseball dugouts @ 270 sf each to be replaced with 2 dugouts @ 300 sf each

**Residential Structures**

Total floor area: \_\_\_\_\_  
Total # of units: \_\_\_\_\_  
# of 1 bedroom units: \_\_\_\_\_  
# of 2 bedroom units: \_\_\_\_\_  
# of 3 bedroom units: \_\_\_\_\_

**Not Applicable**

Assembly space (area) 5,500 sf, more or less  
Seating capacity: 330 @ 1 seat /24"bleacher & 15/dugout  
Maximum occupancy load: unknown

Minimum to closest

**9. Setbacks** (see Article Four: District Regulations, Table 40-402.02, for setback requirements)

Required front yard: 20'  
Required rear yard: 15'  
Required total side yard: 16'

Proposed front yard: 205'  
Proposed rear yard: 23'  
Proposed total side yard: Not Applicable

**10. Parking** (see Article Six: Parking, for zoning requirements)

Required # of spaces: Applicant shall demonstrate parking demand  
Typical angle of spaces: 90 degree  
Location of parking on site: Expansion of Existing  
Shared parking agreement? No  
Number of employees: None

Proposed # of spaces: 70 = 39 exist + 31 prop.  
Size of spaces: 9' x 20'  
Number of handicap spaces: 2 ex + 2 prop.  
Location and # of off-street spaces: 70, all off street

Explanation of screening (including location and materials): Screening will utilize existing vegetation  
*Parking demand is based on pro-rated seating expansion applied to existing parking area. Calculations available upon request*

**11. Loading** (see Section 40.605.04 for loading space requirements)

Required # of spaces: zero  
Typical angle of space(s): \_\_\_\_\_  
Location of loading space(s) on site: none

Proposed # of spaces: Zero  
Size of space(s): \_\_\_\_\_

Explanation of screening (including location and materials): None- Principal Building is less than 5,000 sf

**12. Site Lighting** (see Section 40-317 for lighting requirements)

**Building Lighting**

# of fixtures proposed: Appx 4, to be determined  
Type of lighting proposed: Solar path lighting  
Height of fixtures: Less than 30"  
Location of fixtures: Around seating area

**Parking Area Lighting**

# of fixtures proposed: Zero  
Type of lighting proposed: \_\_\_\_\_  
Height of fixtures: \_\_\_\_\_  
Location of fixtures: \_\_\_\_\_  
Foot-candles at property line: \_\_\_\_\_

**Not Applicable**

**13. Landscaping** (see Article Eight: Landscaping, for zoning requirements)

Location of landscape areas: Near seating and dugouts

Proposed landscape material: Native Shade Trees per grant requirements



**14. Exterior Trash Receptacles** (see Section 40-301.03 for Dumpster Enclosure requirements)

Location of receptacle: In-structure and site Size of receptacle: As existing  
Enclosure material: None Height of Enclosure: None

**15. Mechanical Equipment** (see Sections 40-306.08(C) & 40-322 for zoning requirements)

**Ground Mounted Mechanical Equipment**

# of units: \_\_\_\_\_  
Size of units (LxWxH): \_\_\_\_\_  
Location of units: \_\_\_\_\_  
Screening: \_\_\_\_\_

**Not  
Applicable**

**Rooftop Mechanical Equipment**

# of units: \_\_\_\_\_  
Type of rooftop units: \_\_\_\_\_  
Size of units (LxWxH): \_\_\_\_\_  
Location of units: \_\_\_\_\_  
Screening: \_\_\_\_\_

**Not  
Applicable**

**16. Accessory Buildings** (see Section 40-301 for standards for accessory buildings)

# of accessory building(s): Two dugouts Size of accessory building(s) (LxWxH): 30'x10'x8'  
Location of accessory building(s): Replacing ex. structures at same location

**17. Emergency Access Features** (contact City of Grand Haven Fire Marshal with questions)

Emergency Access Roads: Two driveways provided off Waverly

Location of hydrants and fire department connection (FDC): Nearest 3 hydrants are (1) NE corner Beechtree & Waverly; (2) NE corner of Waverly & Eastern, and (3) NW corner of Grant & Eastern. No FDC.

**18. Historic District information** (contact City of Grand Haven Historic Conservation District Commission)

Is this location within a Historic Conservation District? Yes/No/Unsure  
Name of District, if applicable: Not located in a Historic Conservation District

**By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.**

Signature of Applicant: \_\_\_\_\_

**Steven Czadzeck**

Digitally signed by Steven Czadzeck  
DN: C=US,  
E=SCzadzeck@Abonmarche.com,  
CN=Steven Czadzeck  
Reason: I am the author of this document  
Date: 2024.12.12 16:30:11-05'00'

Print Name: Steven Czadzeck, Abonmarche Consultants, Inc.

Signature of Owner: \_\_\_\_\_

Date: 12/12/24

Print Name: Ashley Latsch, City of Grand Haven

*Office Use Only*

Case #: \_\_\_\_\_ Date Received: \_\_\_\_\_ Fee: \_\_\_\_\_

Date of Approval: \_\_\_\_\_ Date of Denial: \_\_\_\_\_ Approved by: \_\_\_\_\_



INDEX OF SHEETS	
SHT NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS AND REMOVALS PLAN
3	OVERALL SITE AND FENCING PLAN
4	SITE PLAN
5	GRADING AND UTILITY PLAN
6	SOIL EROSION AND SEDIMENTATION CONTROL AND LANDSCAPE PLAN
7	STANDARD DETAILS AND NOTES - 1
8	STANDARD DETAILS AND NOTES - 2
A1.1	DUGOUT DRAWINGS
A1.2	SECTION AND DETAILS

# CITY OF GRAND HAVEN SLUKA FIELD RENOVATIONS MDNR PROJECT NO.: LW23-0043

## MDOT STANDARD PLANS

R-1-G*	DRAINAGE STRUCTURES
R-28-J*	SIDEWALK RAMP AND DETECTABLE WARNING DETAILS
R-29-I	DRIVEWAY OPENINGS & APPROACHES AND CONCRETE SIDEWALKS
R-30-G	CONCRETE CURB AND CONCRETE GUTTER
R-83-C	UTILITY TRENCHES
R-96-E	SOIL EROSION & SEDIMENTATION CONTROL MEASURES
R-100-H	SEEDING AND TREE PLANTING

## TRAFFIC & SAFETY STANDARD PLANS

WZD-100-A*	GROUND DRIVEN SIGN SUPPORTS FOR TEMP SIGNS
WZD-125-E*	TEMPORARY TRAFFIC CONTROL DEVICES

\* DENOTES SPECIAL DETAIL

## OWNER/GRANTEE

CITY OF GRAND HAVEN  
519 WASHINGTON AVE  
GRAND HAVEN, MI 49417  
GRANT ADMINISTRATOR: ASHLEY LATSCH  
PHONE: (616) 847-4888  
EMAIL: ALATSCH@GRANDHAVEN.ORG

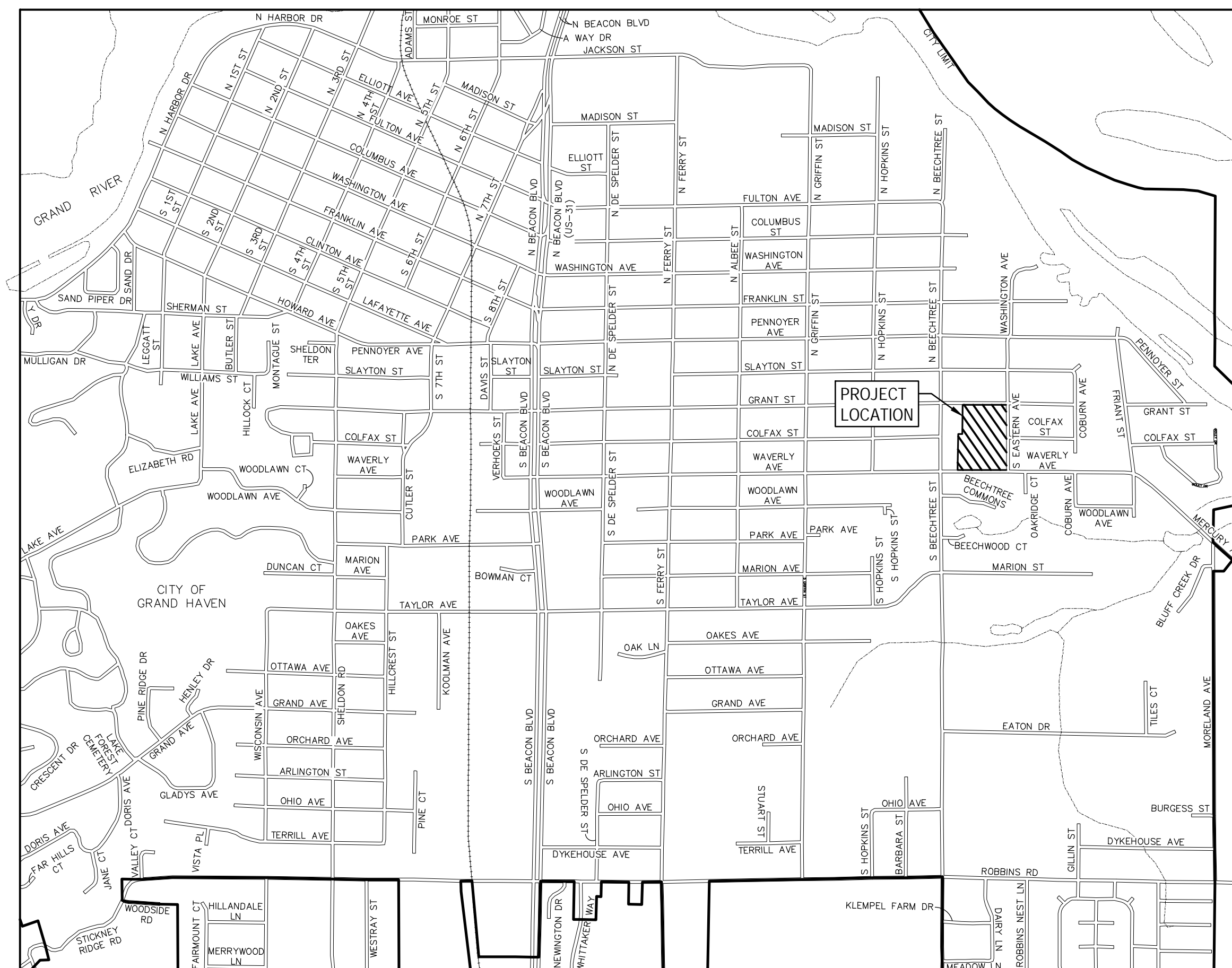
## CITY OF GRAND HAVEN OFFICIALS

MAYOR	ROBERT MONETZA
MAYOR PRO-TEM	KEVIN MCLAUGHLIN
COUNCILMEMBER	MICHAEL D. FRITZ
COUNCILMEMBER	KAREN LOWE
COUNCILMEMBER	VACANT
CITY MANAGER	ASHLEY LATSCH
PUBLIC WORKS DIRECTOR	DEREK GAJDOS
CLERK	MARIA BOERSMA



### COUNTY KEY

NOT TO SCALE



## PROJECT LOCATION MAP

NOT TO SCALE

## PRIME PROFESSIONAL

ABONMARCHÉ  
11 NORTH 6TH STREET  
GRAND HAVEN, MI 49417  
LANDSCAPE ARCHITECT: STEVE CZADZECK, PLA  
PHONE: (231) 299-2221 EXT. 507  
EMAIL: SCZADZECK@ABONMARCHÉ.COM

## LOCAL UTILITIES

### SEWER & WATER

CITY OF GRAND HAVEN PUBLIC WORKS  
1120 JACKSON STREET  
GRAND HAVEN, MI 49417  
DANA KOLLEWEHR, DEPUTY PUBLIC WORKS DIRECTOR  
(616) 847-3493

### ELECTRIC:

GRAND HAVEN BOARD OF LIGHT AND POWER  
1700 EATON DRIVE  
GRAND HAVEN, MI 49417  
ROBERT SHELLEY  
(616) 607-1263

### CABLE:

CHARTER COMMUNICATIONS  
245 EAST 24TH STREET  
HOLLAND, MI 49423  
BRAD KULICAMP  
(616) 607-2356

### GAS:

MICHIGAN GAS  
1700 EATON DRIVE  
GRAND HAVEN, MI 49417  
TODD SUBKA  
(616) 844-7519

### TELEPHONE:

AT&T  
245 EAST 24TH STREET  
HOLLAND, MI 49423  
RICK ARENSEN  
(616) 392-7017

### PIPELINE

WOLVERINE PIPE LINE COMPANY  
8075 CREEKSIDE DRIVE, SUITE 210  
PORTAGE, MI 49024  
DUNCAN MACLEOD  
(616) 916-0055

### FIBER:

COMCAST  
RACHEL GENTRY  
(248) 514-8613

## CALL MISS DIG

1-800-482-7171 OR 811



Know what's below.  
Call before you dig.

FOR PROTECTION OF THE UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING CONSTRUCTION OPERATIONS. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

CONTRACT FOR SLUKA FIELD RENOVATIONS PER MDNR GRANT LW23-0023

PREPARED UNDER SUPERVISION OF

STEVE CZADZECK, PLA #1338  
PROFESSIONAL LANDSCAPE ARCHITECT REGISTRATION NO.

ABONMARCHÉ  
ORGANIZATION

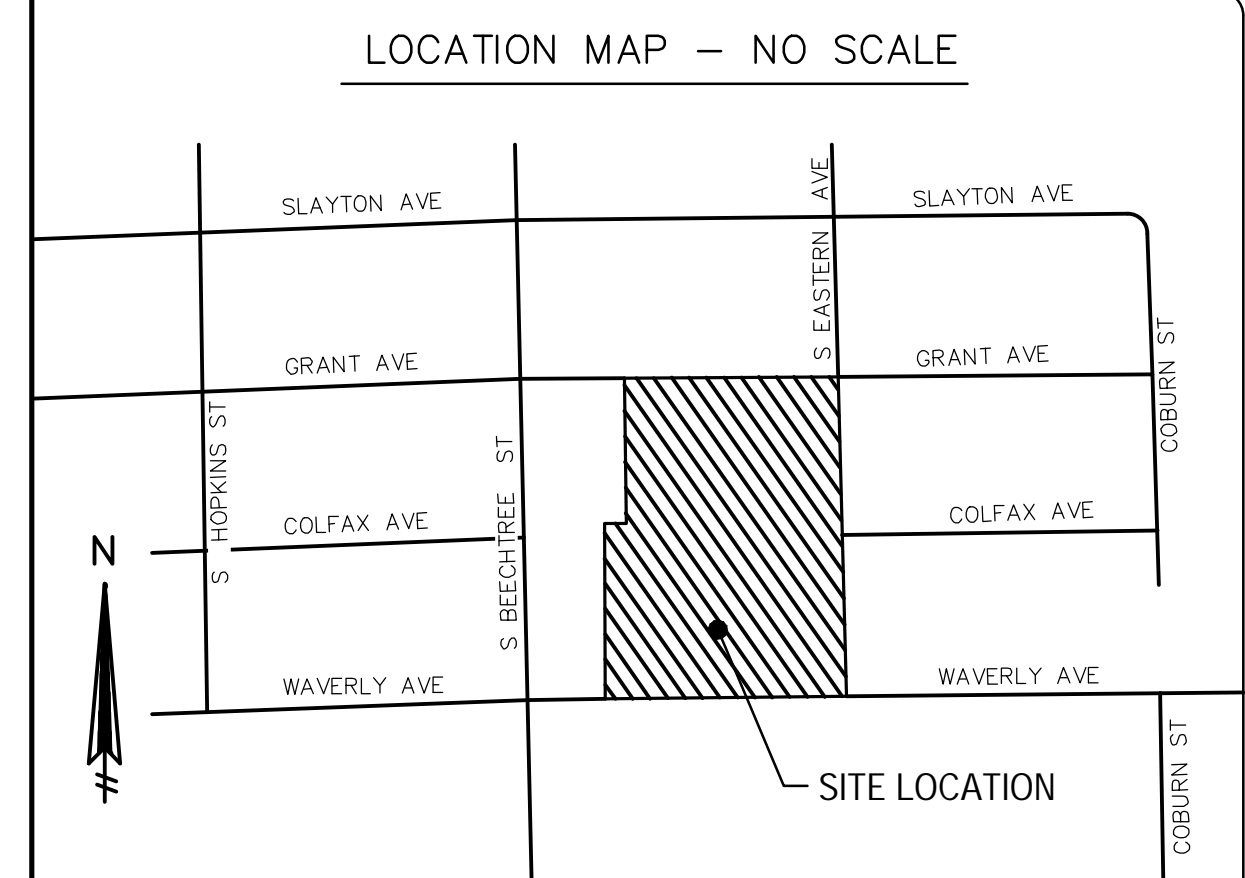
11 NORTH 6TH STREET, GRAND HAVEN, MI 49417  
ADDRESS

For Review & Comment

11/27/2024 8:40:21 AM

1 OF 10 MDNR PROJECT NO.: LW23-0023 SLUKA FIELD - RENOVATIONS  
CITY OF GRAND HAVEN - OTTAWA COUNTY - MICHIGAN  
ACI JOB # 24-0411

# TOPOGRAPHIC SURVEY

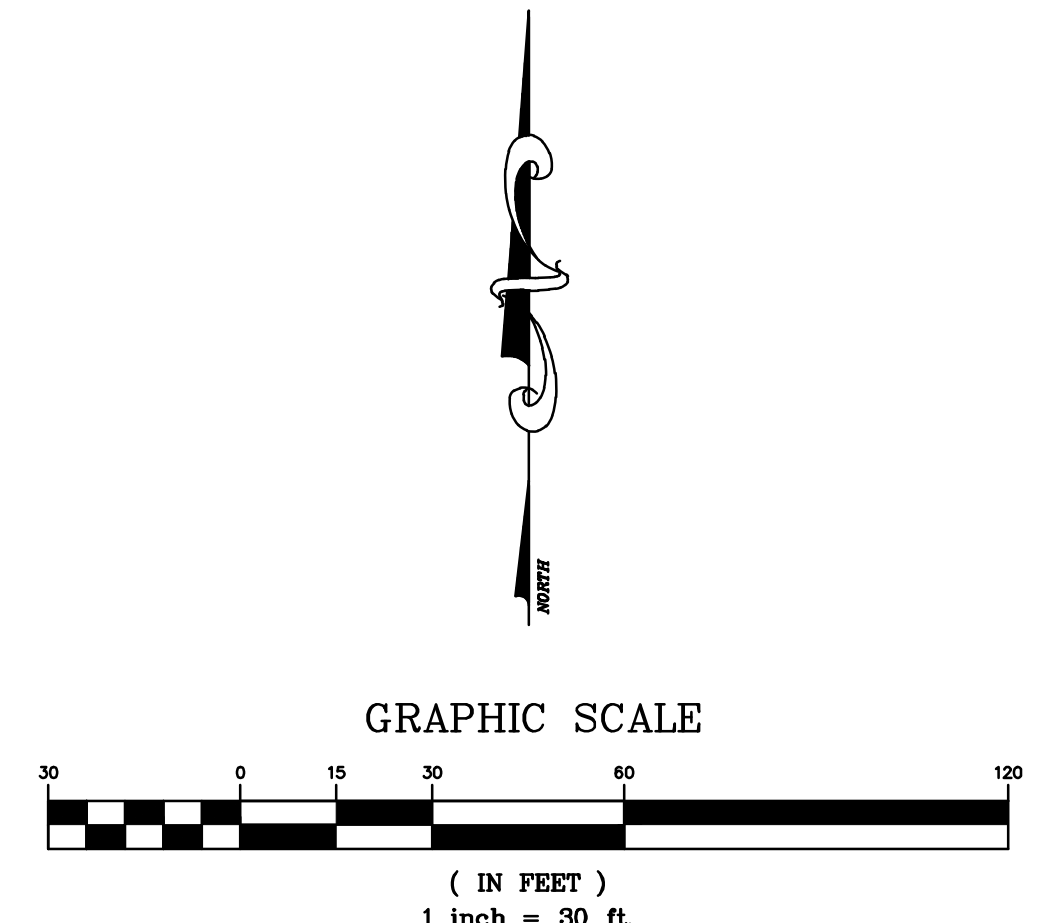


**LEGEND**

△ T TELEPHONE PEDESTAL	W WATER VALVE	ASPHALT
⊕ E ELECTRIC METER	□ BOLLARD	GRAVEL
→ GUY ANCHOR	⊘ FL FLAG POLE	CONCRETE
⊘ LP LIGHT POLE	CB ROUND CATCH BASIN	
⊘ PP POWER POLE	SMH SANITARY MANHOLE	
⊘ PP/L POWER POLE W/LIGHT	CO SANITARY CLEAN OUT	
⊘ ICV IRRIGATION CONTROL VALVE		

**LEGEND**

▨ SIDEWALK, REM	▨ PAVT, REM
▨ CURB AND GUTTER, REM	▨ GRAVEL, REM
· X X X X X MISC, REM	



**For Review & Comment**  
11/27/2024 8:40:21 AM

1	85% PLANS FOR CITY STAFF REVIEW	ACI-GH	11/26/2024
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**ABONMARCHÉ**  
 South Bend  
 11 North 4th Street  
 Grand Haven, MI 49417  
 abonmarche.com

Benon Harbor  
 Grand Rapids  
 Kalamazoo  
 Holland  
 Ft. Wayne  
 Lafayette

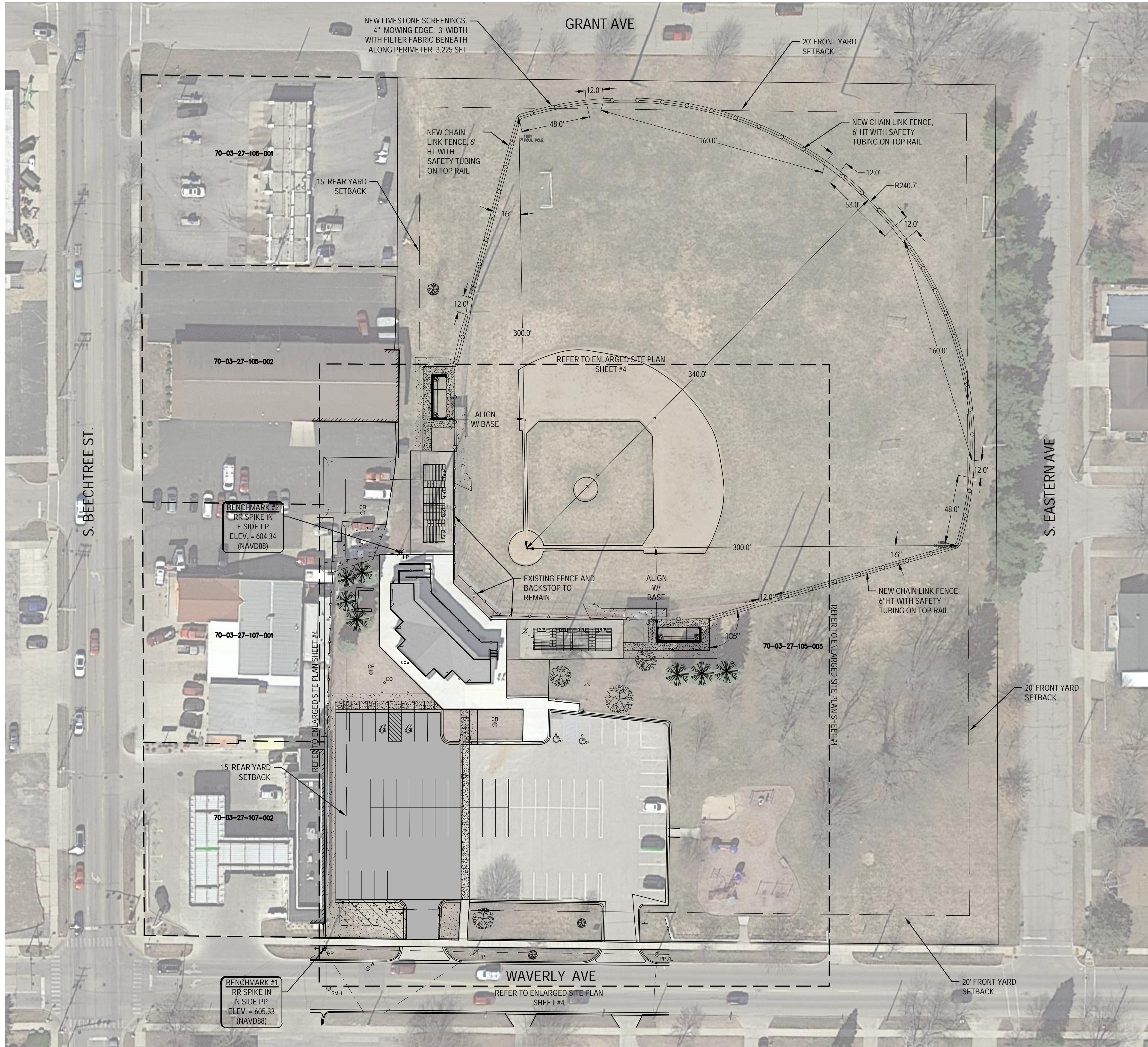
Engineering Architecture Land Surveying

PROJECT  
**SLUKA FIELD IMPROVEMENTS**  
**CITY OF GRAND HAVEN**  
**OTTAWA COUNTY, MI**

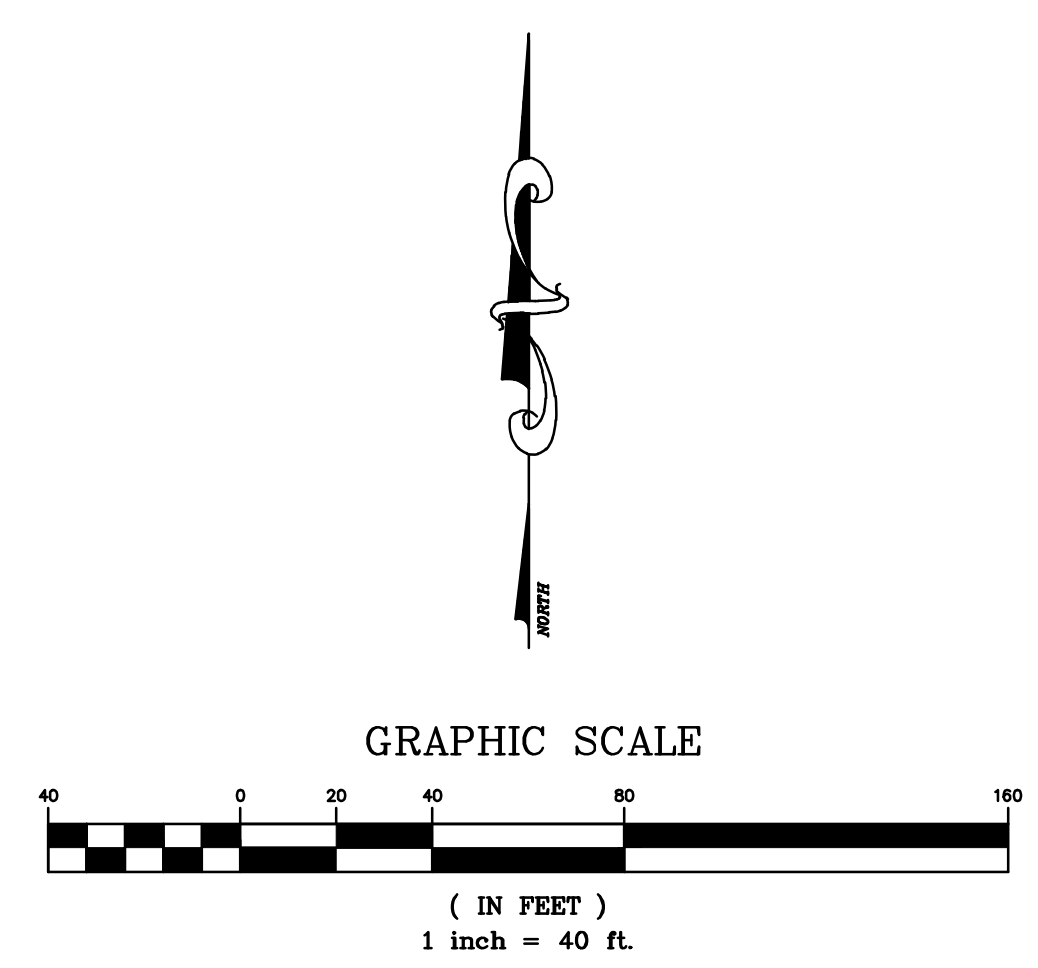
SHEET TITLE  
**EXISTING CONDITIONS AND**  
**REMOVALS PLAN**

DRAWN BY: DR.TMV  
 DESIGNED BY: KB  
 PM REVIEW: SJC  
 QA/QC REVIEW: QA/QC  
 DATE: NOVEMBER 2024  
 SEAL:

SIGNATURE:  
 DATE:  
 SCALE:  
 HORIZ: 1"=30'  
 VERT: N/A  
 ACI JOB #  
**24-0411**  
 SHEET NO.  
**2 of 10**



- LEGEND**
- HMA PAVEMENT  
REFER TO TABLE
  - SIDEWALK, CONC.  
6 INCH
  - SLOPE  
RESTORATION  
TYPE B



For Review &  
Comment

11/27/2024 8:40:22 AM

1	85% PLANS FOR CITY STAFF REVIEW	ACI-GH 11/26/2024
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**SLUKA FIELD IMPROVEMENTS  
 CITY OF GRAND HAVEN  
 OTTAWA COUNTY, MI**

**OVERALL SITE AND  
 FENCING PLAN**

SHEET TITLE:

DRAWN BY: TMV, KB  
 DESIGNED BY: KB  
 PM REVIEW: SJC  
 QA/QC REVIEW: QA/QC  
 DATE: NOVEMBER 2024  
 SEAL:

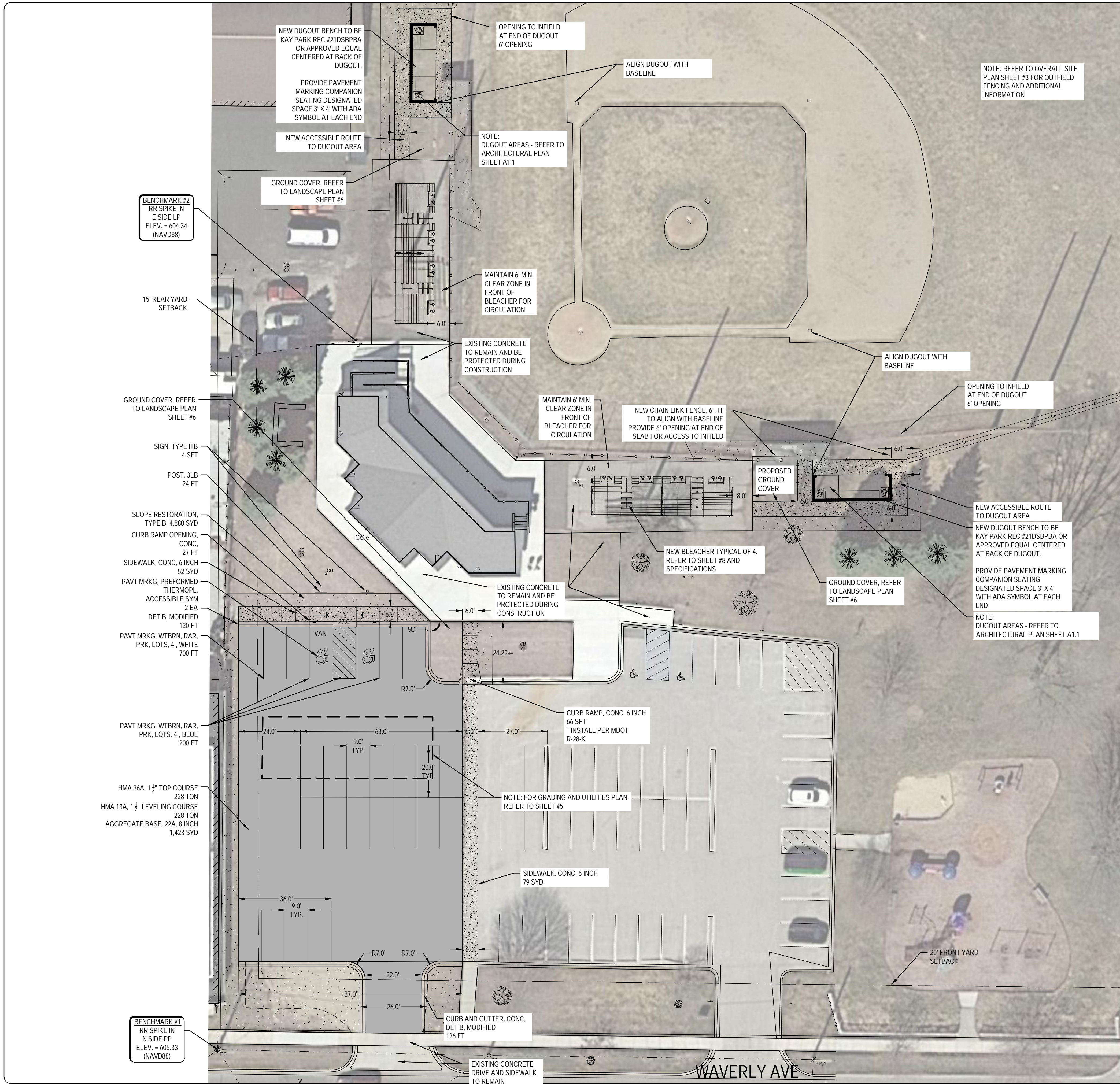
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DATE:

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 HORZ: 1"=40'  
 VERT: N/A




ACI JOB #  
**24-0411**

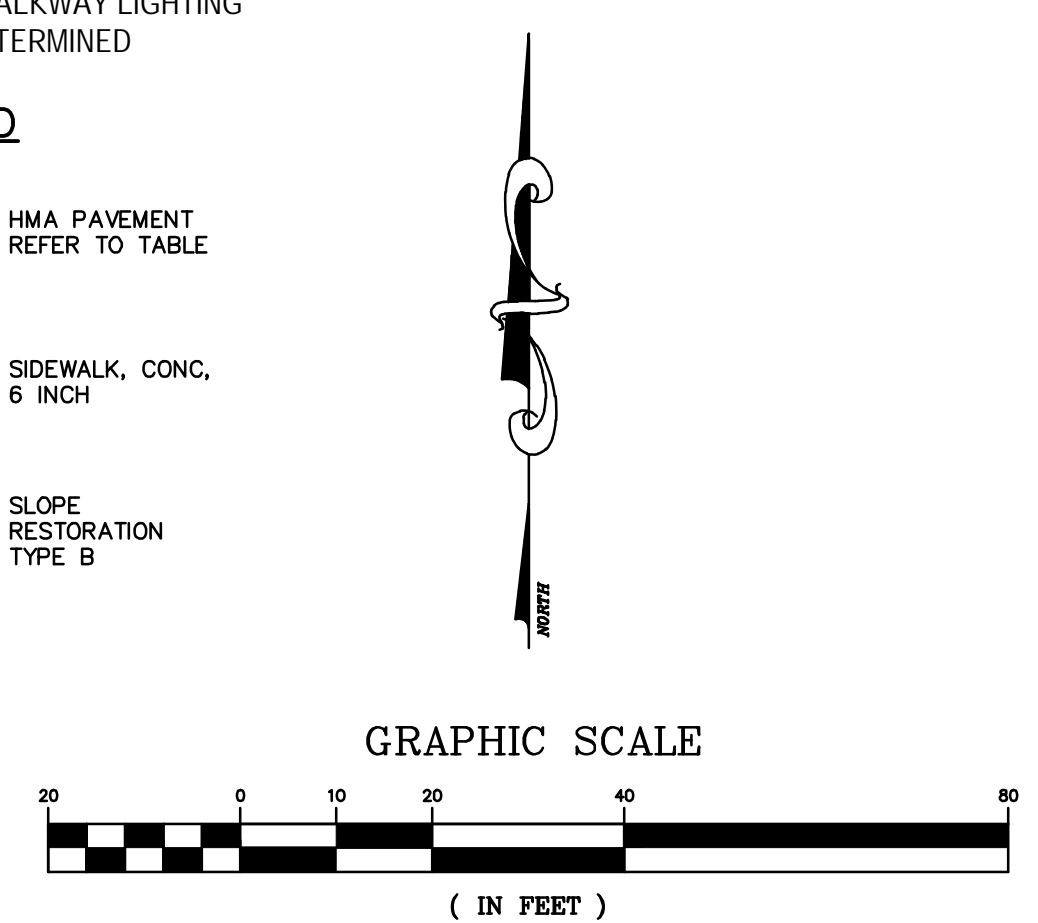
SHEET NO.  
**3 of 10**



**NOTE:**  
LOCATIONS OF PROPOSED SOLAR WALKWAY LIGHTING TO BE DETERMINED

**LEGEND**

-  HMA PAVEMENT REFER TO TABLE
-  SIDEWALK, CONC. 6 INCH
-  SLOPE RESTORATION TYPE B



For Review & Comment

11/27/2024 8:40:22 AM

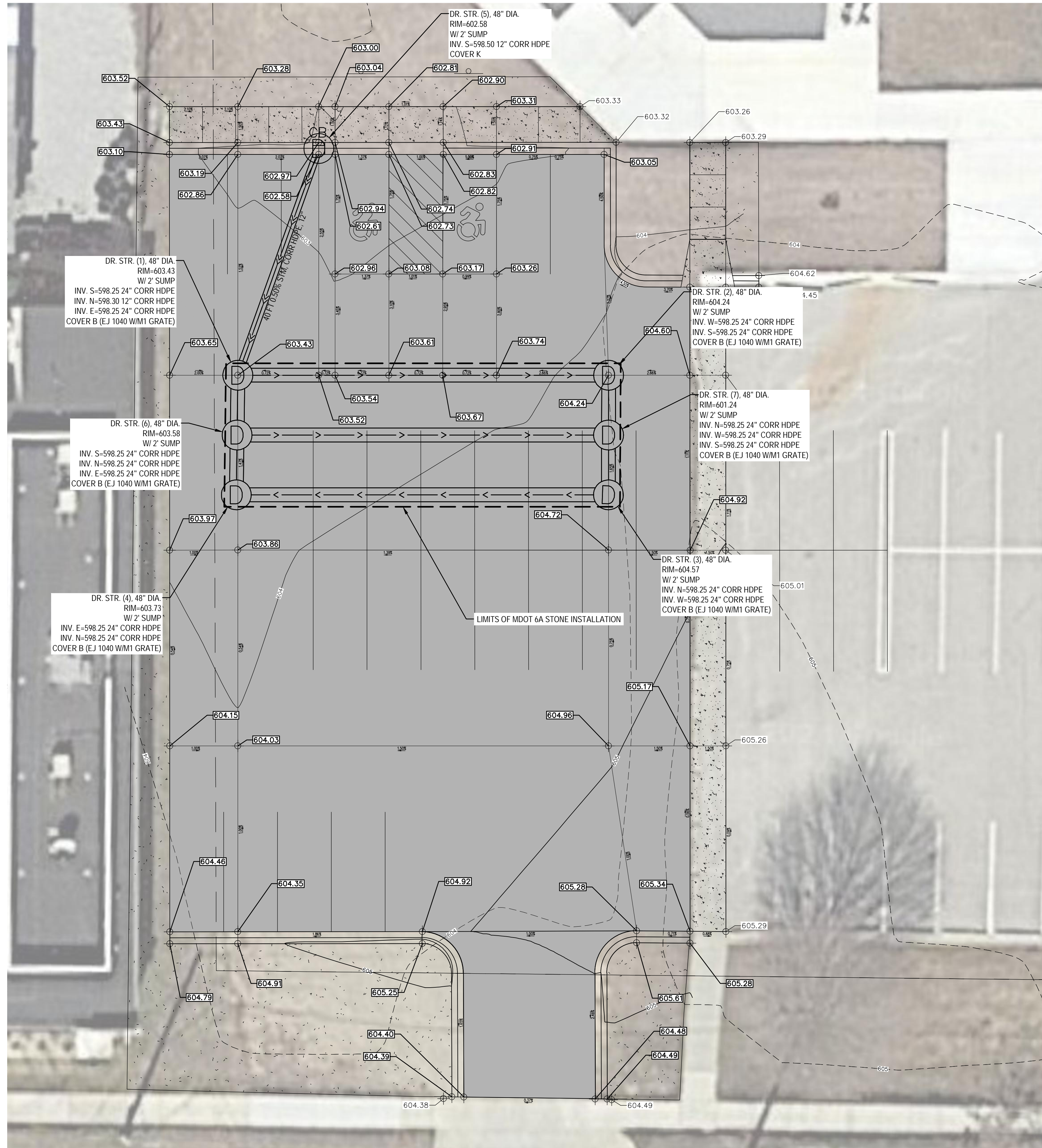
1	85% PLANS FOR CITY STAFF REVIEW	ACI-GH	11/26/2024
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**SLUKA FIELD IMPROVEMENTS**  
**CITY OF GRAND HAVEN**  
**OTTAWA COUNTY, MI**

**SITE PLAN**

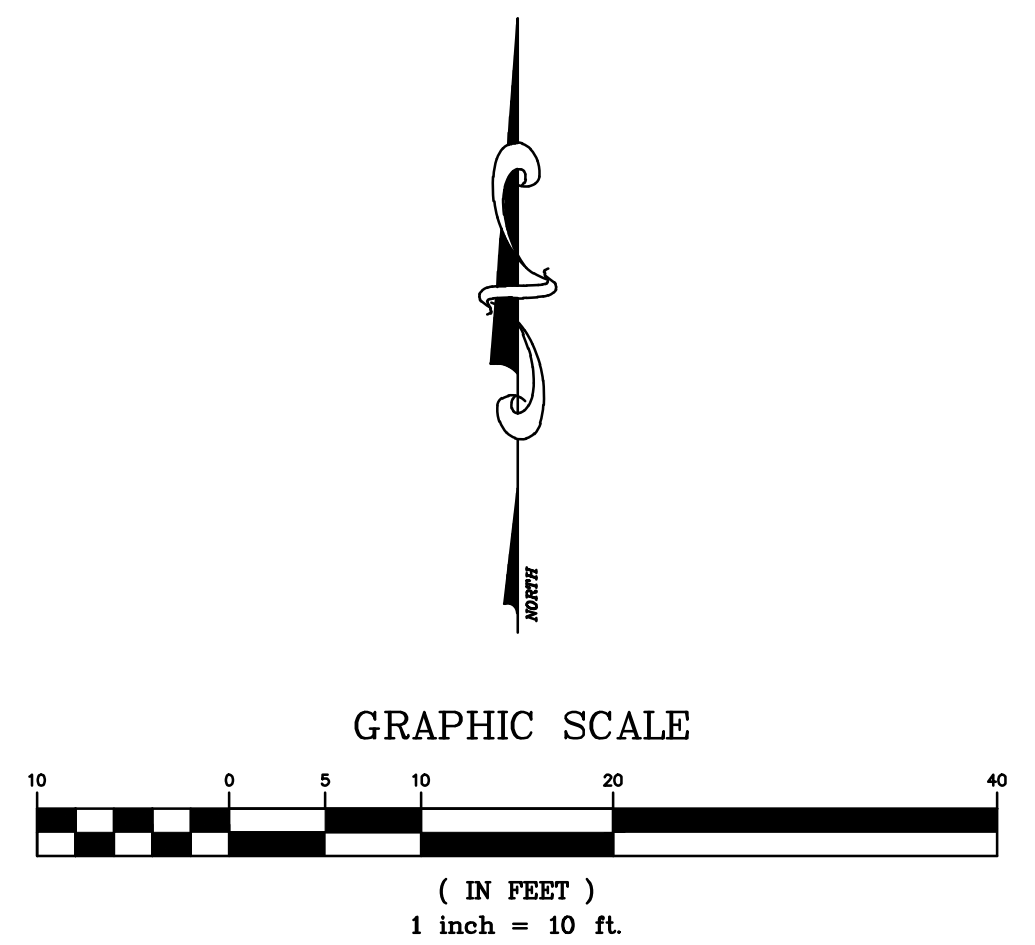
**DRAWN BY:** TMV, KB  
**DESIGNED BY:** KB  
**PM REVIEW:** SJC  
**QA/QC REVIEW:** QA/QC  
**DATE:** NOVEMBER 2024  
**SEAL:**

**SIGNATURE:**  
**DATE:**  
**SCALE:**  
**HORIZ:** 1"=20'  
**VERT:** N/A  
**ACI JOB #**  
**24-0411**  
**SHEET NO.**  
**4 of 10**



WAVERLY AVE

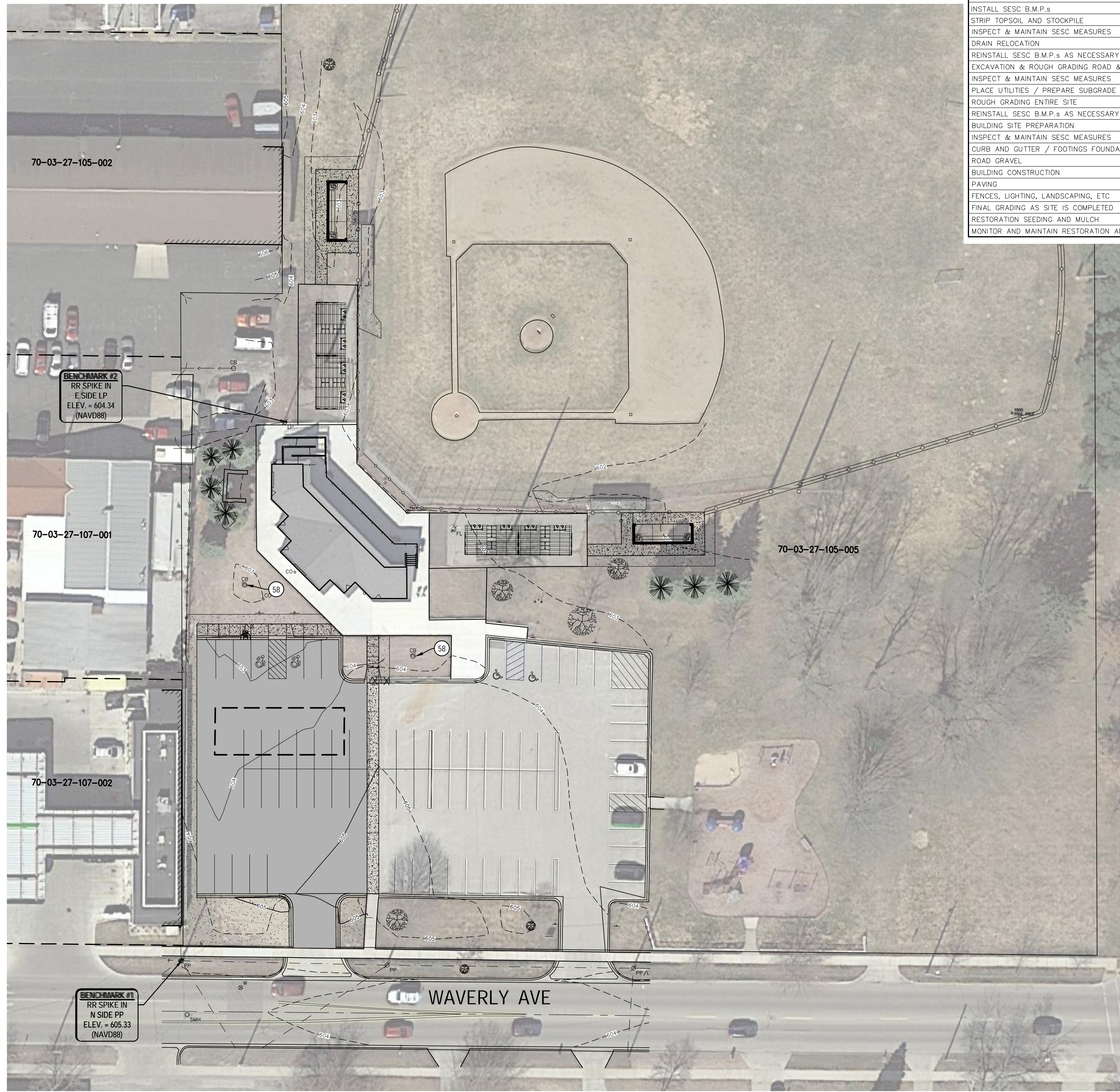
- LEGEND**
- HMA PAVEMENT REFER TO TABLE
  - SIDEWALK, CONC, 6 INCH
  - SLOPE RESTORATION TYPE B
  - 604.35 EXISTING GROUND ELEVATION
  - 605.25 PROPOSED GROUND ELEVATION



For Review & Comment

11/27/2024 8:40:22 AM





**PROPOSED SCHEDULE**

CONSTRUCTION SEQUENCE	2025					2026					2027								
	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Q1	Q2
PLAN APPLICATION AND REVIEW																			
INSTALL SESC B.M.P.s																			
STRIP TOPSOIL AND STOCKPILE																			
INSPECT & MAINTAIN SESC MEASURES																			
DRAIN RELOCATION																			
REINSTALL SESC B.M.P.s AS NECESSARY																			
EXCAVATION & ROUGH GRADING ROAD & UTILITY CORRIDORS																			
INSPECT & MAINTAIN SESC MEASURES																			
PLACE UTILITIES / PREPARE SUBGRADE																			
ROUGH GRADING ENTIRE SITE																			
REINSTALL SESC B.M.P.s AS NECESSARY																			
BUILDING SITE PREPARATION																			
INSPECT & MAINTAIN SESC MEASURES																			
CURB AND GUTTER / FOOTINGS FOUNDATIONS																			
ROAD GRAVEL																			
BUILDING CONSTRUCTION																			
PAVING																			
FENCES, LIGHTING, LANDSCAPING, ETC																			
FINAL GRADING AS SITE IS COMPLETED																			
RESTORATION SEEDING AND MULCH																			
MONITOR AND MAINTAIN RESTORATION AND PERMANENT B.M.P.s																			

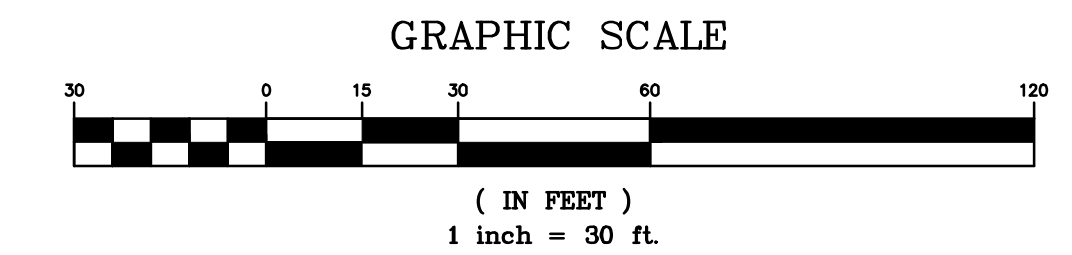
- NOTES:**
- INSTALL ALL SESC MEASURES PRIOR TO OR UPON COMMENCEMENT OF THE EARTH CHANGE.
  - CONDUCT INSPECTIONS OF ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS WEEKLY AND FOLLOWING RAIN EVENTS TO EVALUATE EFFECTIVENESS OF SESC MEASURES.
  - MAINTAIN TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IN PROPER WORKING CONDITION FOR THE LIFE OF THE PROJECT UNTIL THE SITE HAS BEEN RESTORED.
  - INSTALL TOPSOIL, SEEDING, FERTILIZER, AND MULCHING/MULCH BLANKETS WITHIN 5 DAYS OF THE COMPLETION OF CONSTRUCTION.
  - NOTIFY OTTAWA COUNTY WHEN PROJECT COMMENCES AND WHEN SITE IS STABILIZED AND READY FOR FINAL INSPECTION.
  - DURING THE ENTIRE CONSTRUCTION PHASE OF THE PROPOSED PROJECT, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE CLEAN-UP OPERATIONS ALONG AND ON THE ROADWAY WHERE DIRT AND/OR DEBRIS HAS BEEN DEPOSITED DUE TO THE CONSTRUCTION ACTIVITIES AND/OR RELATED WORK. AS A MINIMUM, CLEAN-UP WILL BE DONE ON A DAILY BASIS; ADDITIONAL CLEAN-UP WILL BE PERFORMED AS DEEMED NECESSARY BY THE CITY.

**APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES**

KEY	DESCRIPTION
53	TEMPORARY GRAVEL CONSTRUCTION DRIVE
51	GEOTEXTILE SILT FENCE
8	MULCHING AND MULCH ANCHORING
8	PERMANENT SEEDING
58	INLET PROTECTION FABRIC DROP

**LEGEND**

- TURF RESTORATION
- EROSION CONTROL, SILT FENCE
- TEMP GRAVEL CONSTRUCTION DRIVE



**For Review & Comment**  
11/27/2024 8:40:22 AM

1	85% PLANS FOR CITY STAFF REVIEW	ACI:GH	11/26/2024
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**ABONMARCHÉ**  
Benton Harbor  
Grand Haven  
Grand Rapids  
Lansing  
Lafayette  
South Bend  
Cochran  
Vassar  
ft. Wayne

11 North 4th Street  
Grand Haven, MI 49417  
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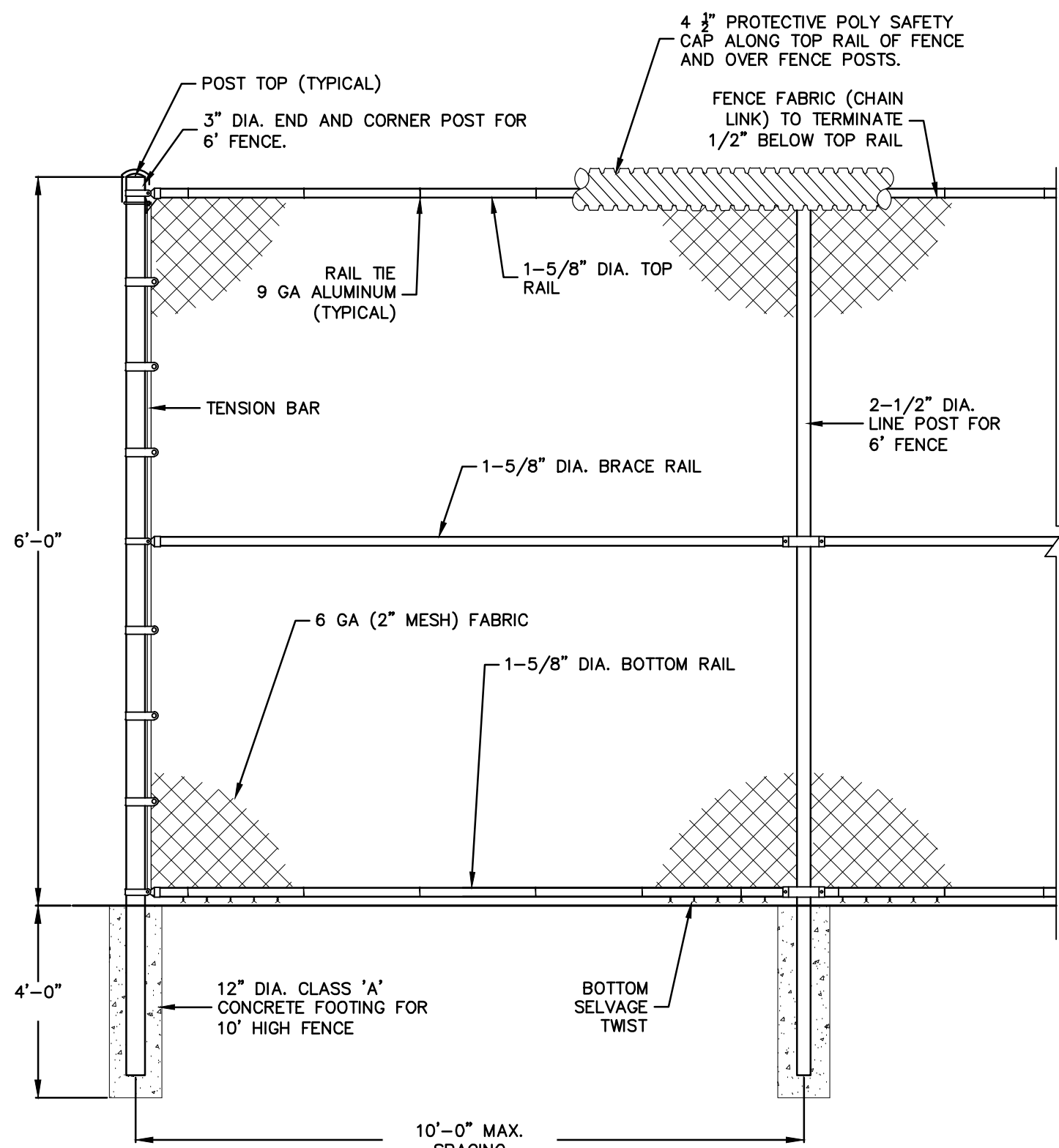
ENGINEER 003 ABONMARCHÉ CONSULTANTS, INC. Engineering - Architecture - Land Surveying

PROJECT: **SLUKA FIELD IMPROVEMENTS  
CITY OF GRAND HAVEN  
OTTAWA COUNTY, MI**

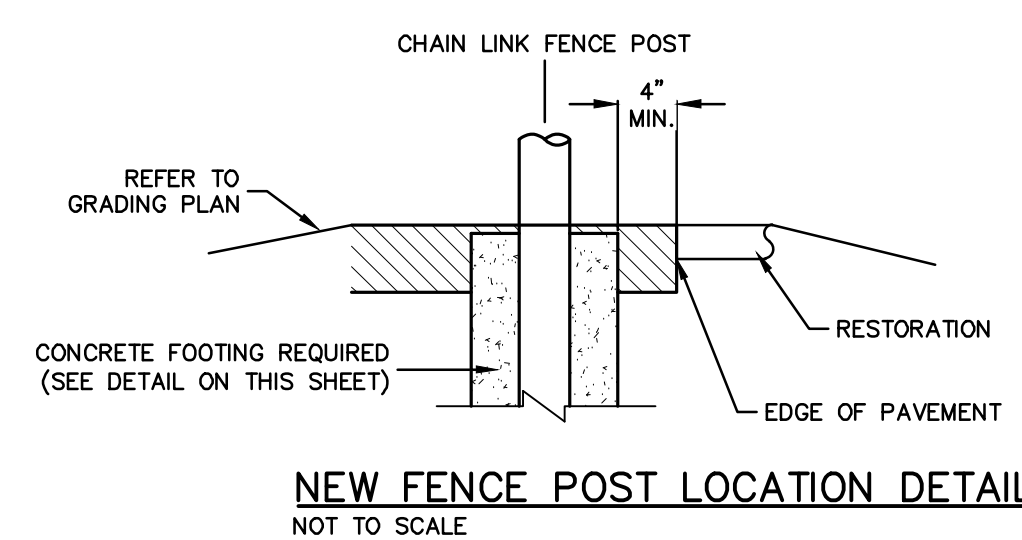
SHEET TITLE: **SOIL EROSION AND  
SEDIMENTATION CONTROL AND  
LANDSCAPE PLAN**

DRAWN BY: TMV  
DESIGNED BY: KB  
PM REVIEW: SJC  
QA/QC REVIEW: QA/QC  
DATE: NOVEMBER 2024  
SEAL:

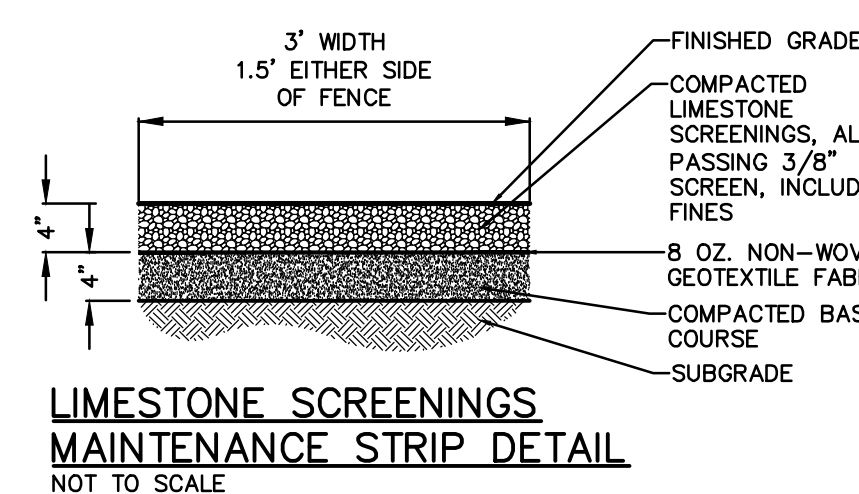
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ACI JOB #: 24-0411  
SHEET NO:



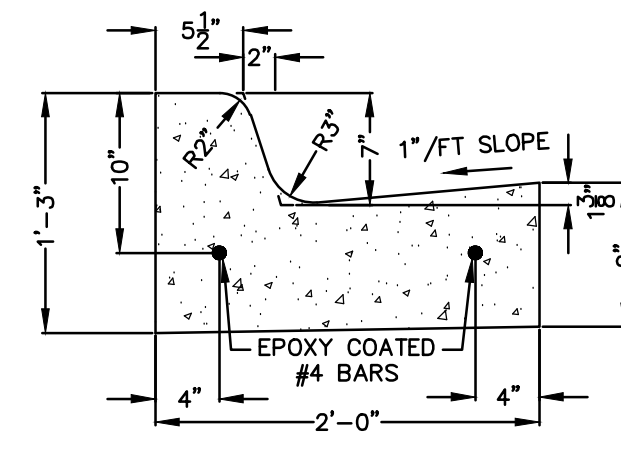
**FENCE DETAIL**  
NOT TO SCALE



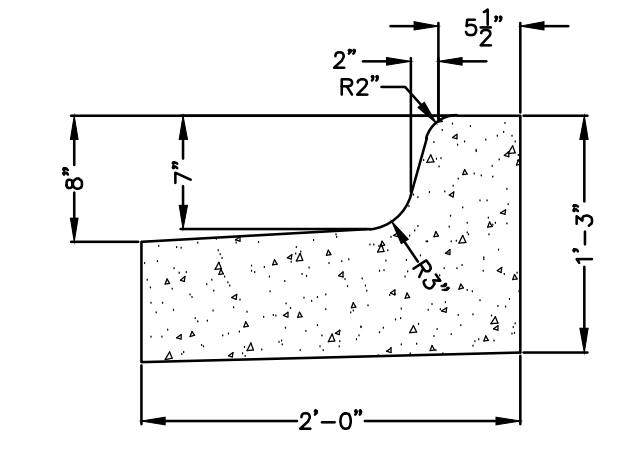
**NEW FENCE POST LOCATION DETAIL**  
NOT TO SCALE



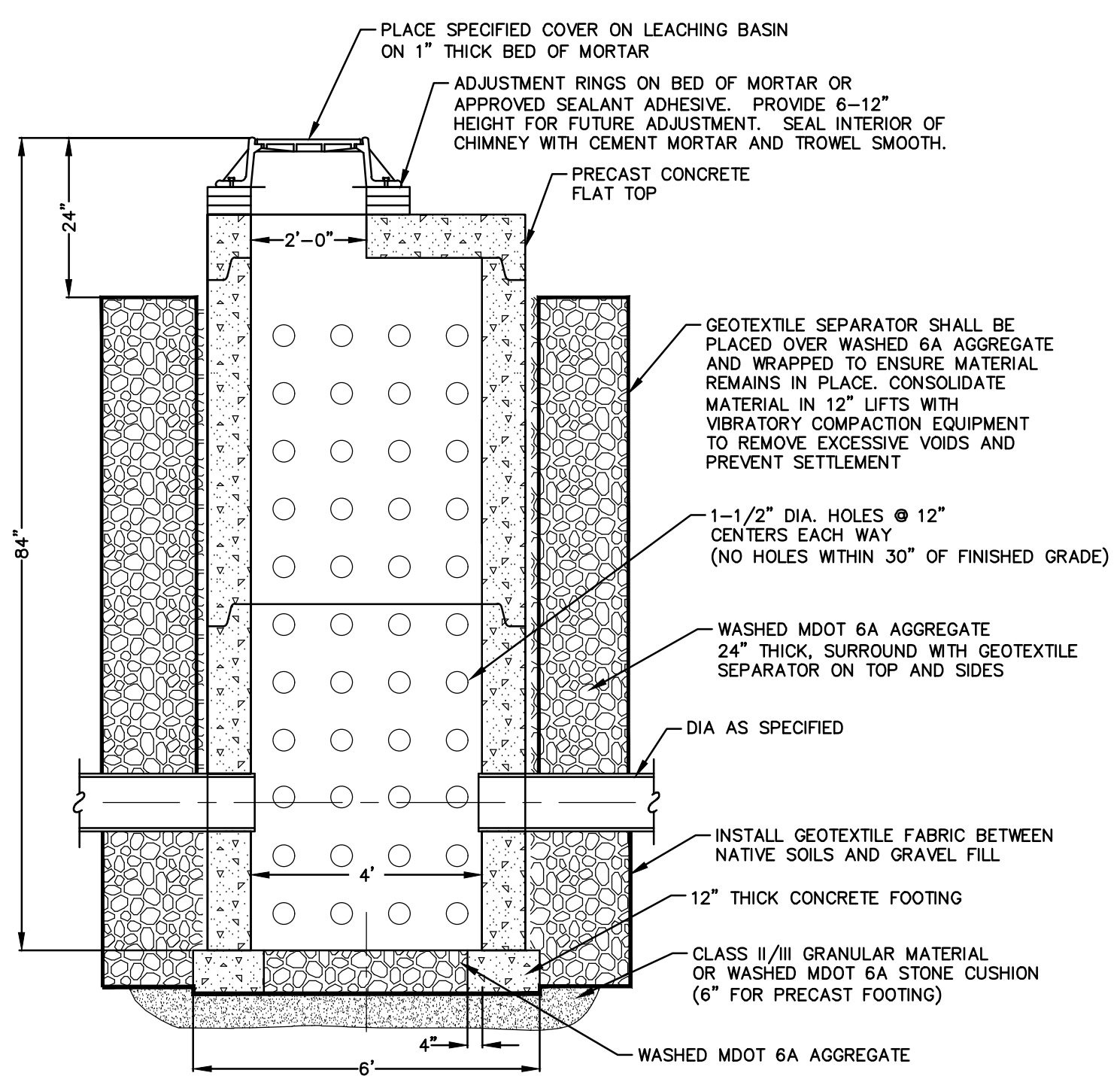
**LIMESTONE SCREENINGS MAINTENANCE STRIP DETAIL**  
NOT TO SCALE



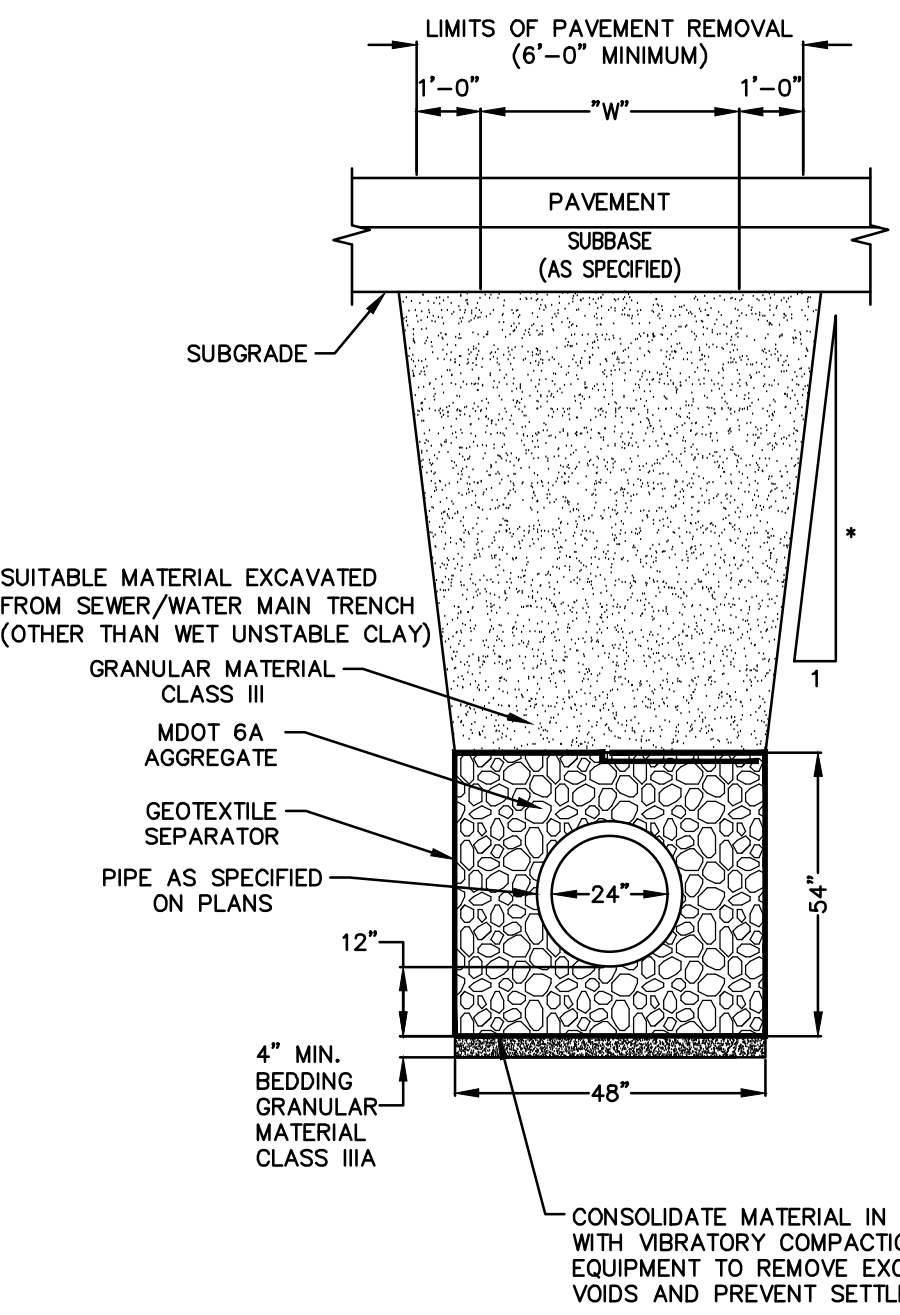
**24\"/>**



**CONCRETE CURB & GUTTER (TIP-OUT)**  
NOT TO SCALE



**STANDARD LEACHING BASIN**  
NOT TO SCALE



**TRENCH DETAIL B, MODIFIED**  
NOT TO SCALE

**TRENCH NOTES:**  
1. BACKFILL TRENCH ACCORDING TO SECTION 401.03 OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION 2020 STANDARD SPECIFICATIONS FOR CONSTRUCTION.  
2. CONSTRUCT SIDE SLOPE "4", IN ACCORDANCE WITH OSHA REQUIREMENTS BASED ON IN SITU SOIL CONDITIONS.

**STANDARD LEGEND**

- CB = CATCH BASIN
- CB = CURB CATCH BASIN
- E = ELECTRIC LOCATION
- EMH = ELECTRIC MANHOLE
- EM = ELECTRIC METER
- FH = FIRE HYDRANT
- FL = FLAG POLE
- FMON = FOUND MONUMENT
- FIP = FOUND IRON PIPE
- FIR = FOUND IRON ROD
- FX = FOUND X
- G = GAS LOCATION
- G = GAS MANHOLE
- G = GAS METER
- G = GAS VALVE
- GMH = GENERAL MANHOLE
- G = GUARD POST
- G = GUARDRAIL
- G = GUY POLE
- G = GUY WIRE
- L = LIGHT POLE
- M = MAIL BOX
- P = POWER POLE
- PP/D = POWER POLE W/DROP
- SC = SANITARY CLEANOUT
- SMH = SANITARY MANHOLE
- SIR = SET IRON ROD
- S = SIGN POST
- S = SOIL BORING LOCATION
- SMH = STORM MANHOLE
- S = STREET SIGN
- T = TELEPHONE LOCATION
- TMH = TELEPHONE MANHOLE
- TP = TELEPHONE PEDESTAL
- TP = TELEPHONE POLE
- T = TRAFFIC SIGN
- ULP = UTILITY POLE
- ULP/D = UTILITY POLE W/DROP
- ULP/L = UTILITY POLE W/STREET LIGHT
- W = WATER CURB STOP
- W = WATER LOCATION
- WMH = WATER MANHOLE
- W = WATER METER
- W = WATER VALVE
- W = EXISTING WATER MAIN
- W = EXISTING SANITARY SEWER
- W = EXISTING STORM SEWER
- W = OVERHEAD UTILITIES
- W = GAS MAIN/LINE
- W = BURIED TELEPHONE
- W = BURIED FIBER OPTIC
- W = ELECTRICAL
- W = BURIED ELECTRICAL
- W = CHAINLINK FENCE
- W = WIRE FENCE
- W = WOOD FENCE
- PW = PROP WATER MAIN
- WS = PROP WATER SERVICE
- SS = PROP SANITARY SERVICE
- STS = PROP STORM SERVICE
- R/W = RIGHT OF WAY
- X = UTILITY REMOVAL

**GENERAL NOTES:**

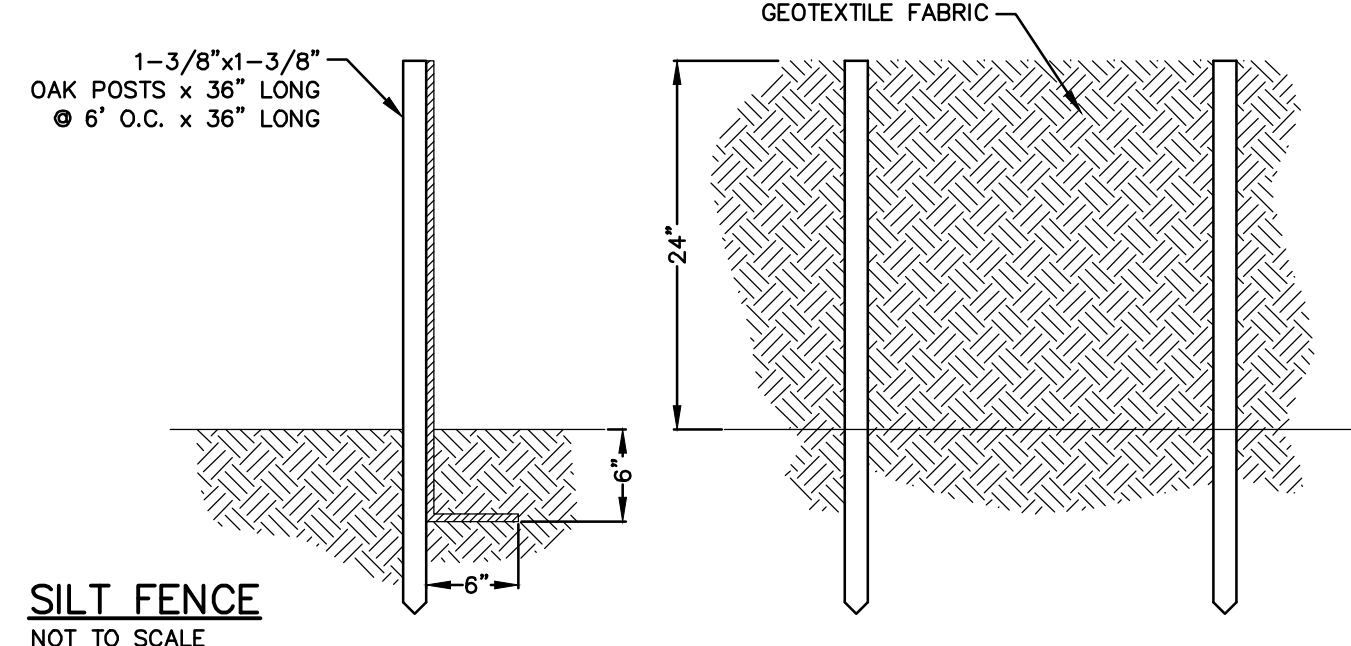
- MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION SHALL PREVAIL, UNLESS INDICATED OTHERWISE. ALL WORK AND MATERIALS SHALL BE CONSTRUCTED PER CITY OF GRAND HAVEN STANDARDS.
- THREE WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST THE LOCATIONS OF ALL UTILITIES BY CALLING MISS DIG. REGARDLESS OF DURATION, NO SUBSURFACE WORK SHALL COMMENCE UNTIL ALL UTILITIES HAVE CLEARED THE MISS DIG REQUEST.
- A MINIMUM OF 18" VERTICAL CLEARANCE IS REQUIRED WHERE:
  - WATER MAIN AND SANITARY SEWER CROSS
  - WATER MAIN AND STORM SEWER CROSS
  - STORM AND SANITARY SEWER CROSS
 UNLESS OTHERWISE SPECIFIED.
- A MINIMUM OF 10" HORIZONTAL SEPARATION SHALL BE MAINTAINED WHERE WATER MAINS AND SEWERS RUN PARALLEL.
- ALL TRENCH AND BEDDING SPECIFIED SHALL BE PER MDOT STANDARD PLAN R-83 SERIES UNLESS OTHERWISE NOTED.
- ANY EXCESS/UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND THEY SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF THIS MATERIAL.
- DEWATERING, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA PAYMENT SHALL BE MADE THEREFOR.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH "AS-RECORDED" DRAWINGS OF THE SUBGRADE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO CONDUITS, PIPES, AND IRRIGATION, UPON COMPLETION OF THE PROJECT.
- ALL EXISTING FEATURES AND IMPROVEMENTS (INCLUDING TREES, LANDSCAPING, ETC.) NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED BY THE CONTRACTOR. DAMAGED ITEMS SHALL BE RESTORED TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL TREES DAMAGED BEYOND SAVING AS DETERMINED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH A NURSERY GROWN TREE AS SPECIFIED BY THE ENGINEER.
- FITTINGS, PIPE EXTENSIONS, AND APPURTENANCES NECESSARY TO CONNECT EXISTING PIPES TO PROPOSED MANHOLES, SHALL BE INCLUDED IN THE UNIT PRICE FOR THE PROPOSED STRUCTURE.
- WHERE CONCRETE SIDEWALK IS ADJACENT TO THE BACK OF CURB, A 1/2" EXPANSION JOINT SHALL BE PLACED BETWEEN THE CURB AND SIDEWALK. PAYMENT IS INCLUDED IN CONCRETE SIDEWALK.
- CONCRETE WALKS, STEPS, ETC. REQUIRING REPLACEMENT SHALL BE PAID AS CONCRETE SIDEWALK.
- WHERE CONCRETE SIDEWALK IS ADJACENT TO THE BACK OF CURB, A 1/2" EXPANSION JOINT SHALL BE PLACED BETWEEN THE CURB AND SIDEWALK. PAYMENT IS INCLUDED IN CONCRETE SIDEWALK.

**STORM SEWER:**

- MANHOLE CASTINGS ON STORM SEWER STRUCTURES SHALL DENOTE STORM SEWER AND THE CITY OF GRAND HAVEN LOGO.
- PROPOSED STORM MANHOLES SHALL BE 4 FEET IN DIAMETER UNLESS NOTED OTHERWISE.
- UNLESS DESIGNATED OTHERWISE, WHERE NEW SEWER IS TO REPLACE EXISTING SEWER IN THE SAME TRENCH, REMOVAL OF EXISTING SEWER SHALL BE INCLUDED AS PART OF NEW SEWER ITEM.
- FABRICATE PRECAST CONCRETE MANHOLE STRUCTURES WITH SUFFICIENT INLET AREA FOR THE SPECIFIED CASTING AT NO ADDITIONAL COST.

**ROADWAY:**

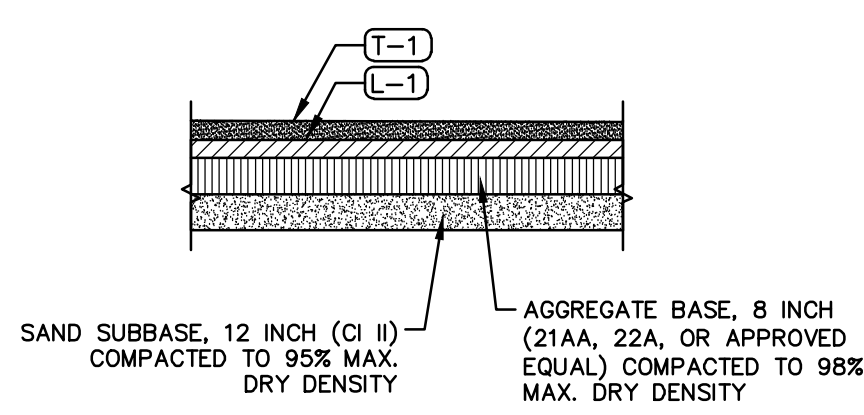
- BACKFILL MATERIAL WITHIN THE ZONE OF INFLUENCE OF A ROADWAY SHALL BE MDOT CLASS II SAND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY IN 12" MAXIMUM LIFTS.
- DRIVEWAY OPENINGS SHALL BE MDOT TYPE L OR M IN ACCORDANCE WITH THE PLANS PER STANDARD PLAN R-29 SERIES.
- PAVEMENT DESIGNATED FOR REMOVAL SHALL BE SAWCUT FULL DEPTH AT REMOVAL LIMITS PRIOR TO REMOVAL. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY RAMPS AND/OR SECONDARY SAWCUTS IN ORDER TO PROVIDE A NEAT JOINT BETWEEN EXISTING AND PROPOSED PAVEMENT. NO EXTRA PAYMENT WILL BE MADE FOR ADDITIONAL SAWCUTTING WORK OR PAVEMENT REMOVAL BEYOND THE REMOVAL LIMITS IN ORDER TO ADDRESS DETERIORATION OF EXISTING PAVEMENT DUE TO THE CONTRACTOR'S OPERATIONS.
- PLACE "EROSION CONTROL SAND FENCE" AROUND ALL TREES NOT DESIGNATED FOR REMOVAL WITHIN THE LIMITS OF THE WORK.



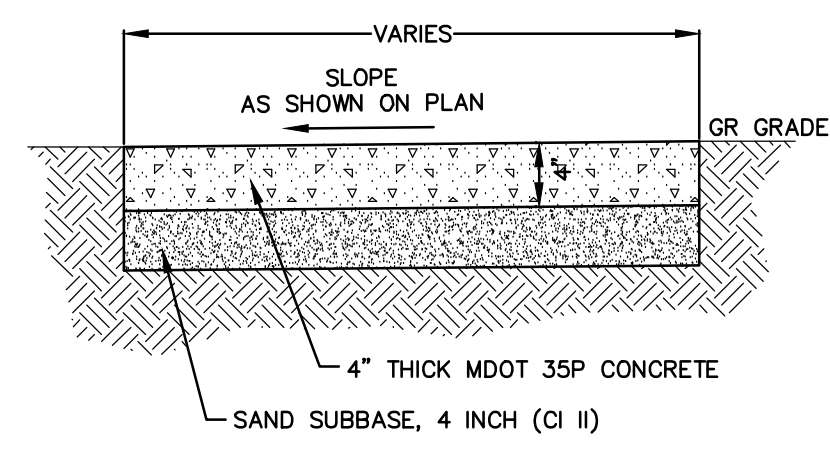
**SILT FENCE**  
NOT TO SCALE

HMA APPLICATION TABLE					
PAY ITEM	IDENT. NO.	MIXTURE	RATE (LBS/SYD)	PERFORMANCE GRADE	TYPE
HMA, 5EML	T-1	5EML	165	64 - 28	WEARING COURSE (AWI=220)
HMA, 4EML	L-1	4EML	165	64 - 28	LEVELING COURSE

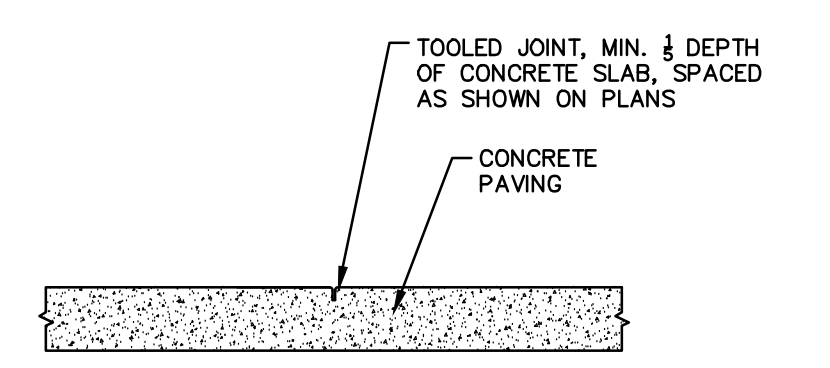
NOTE: APPLY HMA BOND COAT BETWEEN HMA LIFTS AT A RATE OF 0.05 TO 0.15 GAL/SYD (NOT A PAY ITEM)



**PROPOSED STANDARD PARKING LOT CROSS SECTION**  
NOT TO SCALE

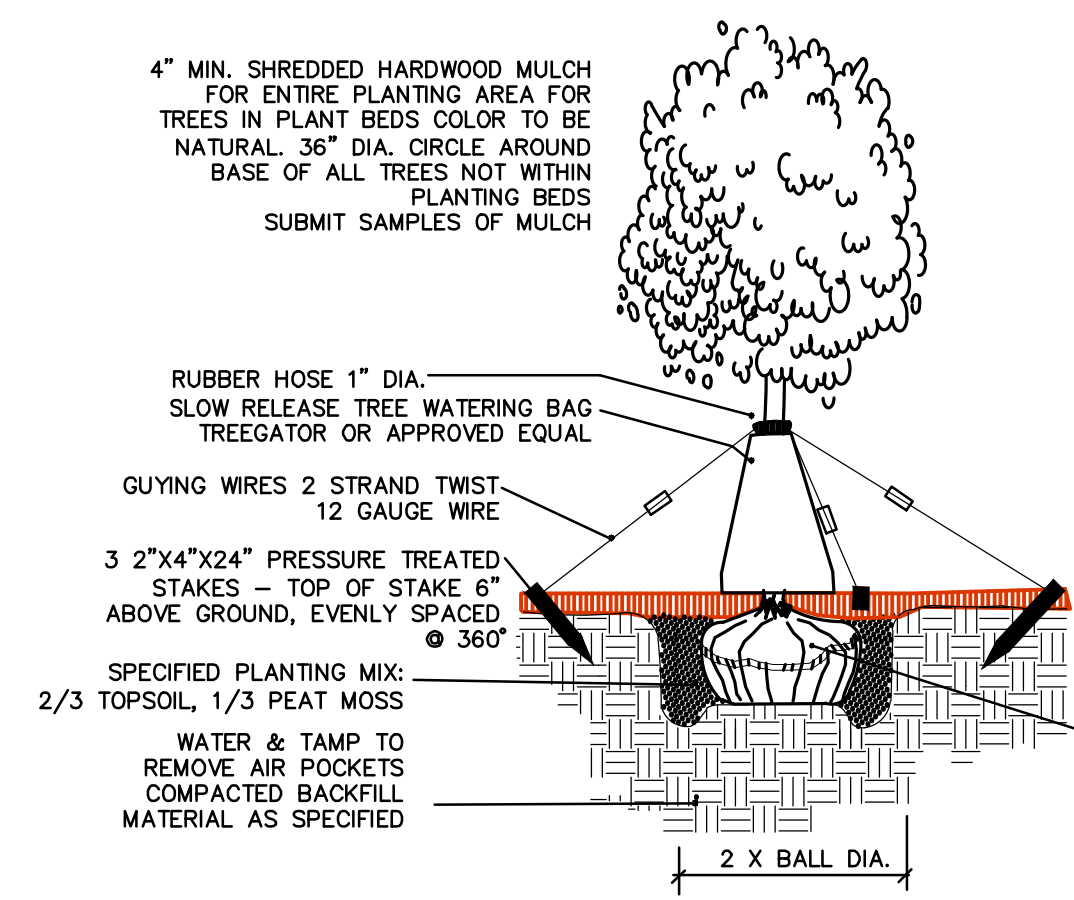


**SIDEWALK, CONC. 4 INCH**  
NOT TO SCALE



**CONCRETE CONTROL JOINT**  
NOT TO SCALE

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11/27/2024 8:40:22 AM

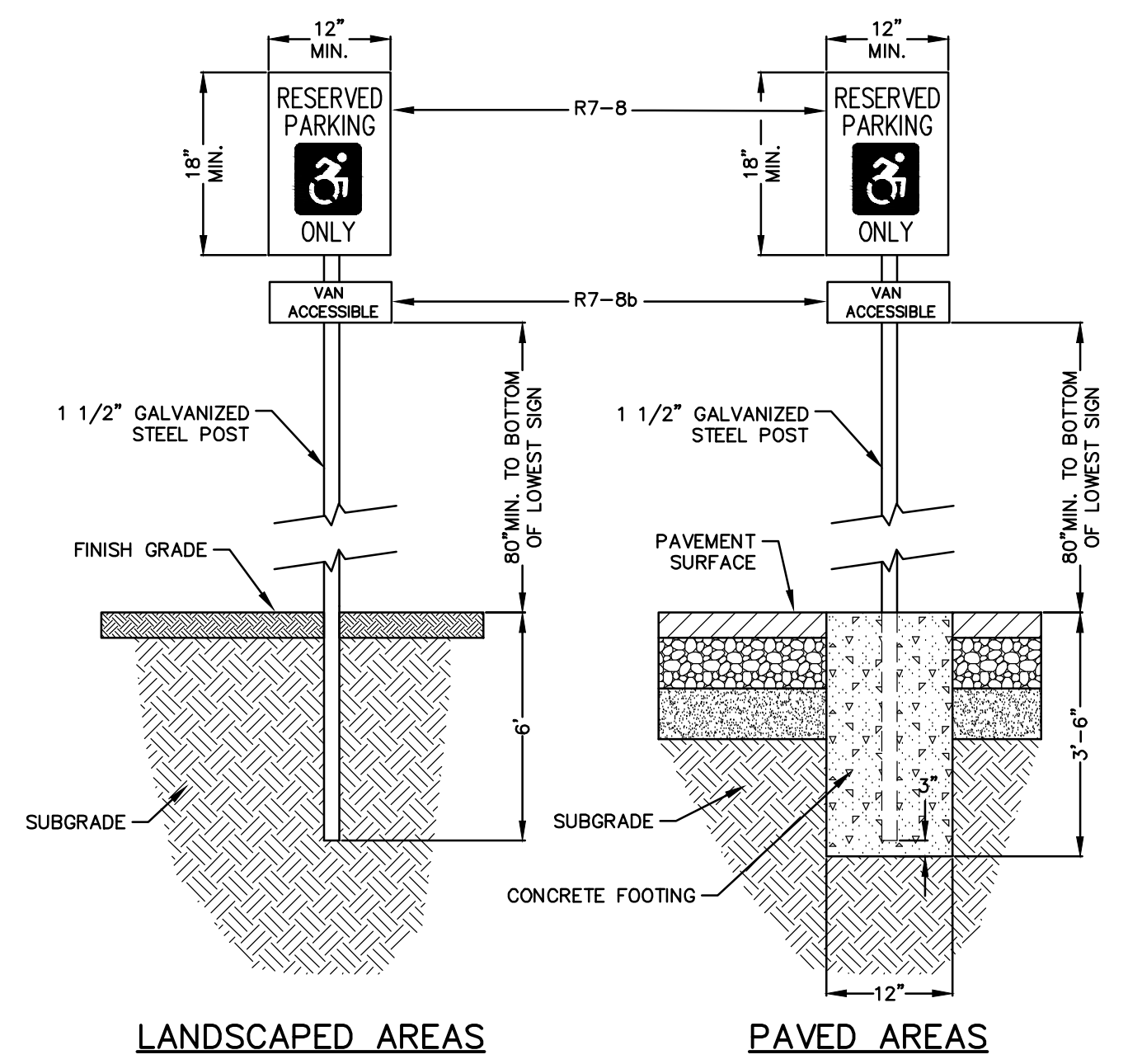


PLANTING SOIL MIX, TREE WATERING BAGS, AND STAKING, PAID FOR AS PART OF PLANT PAY ITEM

GENERAL NOTES:

- CONTRACTOR CAN ELECT TO ELIMINATE STAKING IN AREAS PROXIMAL TO PEDESTRIAN CIRCULATION, PROVIDED CONTRACTOR AGREES IN WRITING TO STRAIGHTEN ANY CROOKED TREES UNTIL ESTABLISHED.
- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISH GRADE ON EXISTING SOIL. FOR BACKFILL AREAS, PLANT BALL UP TO 2 1/2" - 3" HIGHER TO ALLOW FOR SETTLEMENT
- FLAG GUYING WIRES WITH SURVEYOR TAPE FOR TREES

SHADE/ORNAMENTAL TREE PLANTING DETAIL  
NOT TO SCALE



SIGN AND POST DETAIL  
NOT TO SCALE

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FT. WAYNE, IN 46825  
TOLL FREE: 1-888-568-9064  
www.bleachers.com

SELECT DESIRED BLEACHER:

- 19'-6" BLEACHER (NA-0819.5ADA\_CL)
- 21'-0" BLEACHER (NA-0821ADA\_CLL)
- 21'-0" BLEACHER (NA-0821ADA\_CLR) [SHOWN]
- 27'-0" BLEACHER (NA-0827ADA\_CL)

27' = 150 Lft seat bench

PLAN VIEW

BLEACHER ASSEMBLY DETAIL

NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 2741-033

ADA SERIES  
ADA ACCESSIBLE 8 ROW BLEACHERS ( NA-0815ADA\_CLC )  
OR EQUAL

2741-033 REVISION DATE 30/05/2019  
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SELECT DESIRED PORTABLE ALUMINUM BENCH WITH BACKREST AND SHELF:

- DGS BENCH ASSEMBLY 6'-0" LONG (BE-DGS00600)
- DGS BENCH ASSEMBLY 7'-6" LONG (BE-DGS00700)
- DGS BENCH ASSEMBLY 8'-0" LONG (BE-DGS00800)
- DGS BENCH ASSEMBLY 12'-0" LONG (BE-DGS01200)
- DGS BENCH ASSEMBLY 15'-0" LONG (BE-DGS01500) [SHOWN]
- DGS BENCH ASSEMBLY 21'-0" LONG (BE-DGS02100)
- DGS BENCH ASSEMBLY 24'-0" LONG (BE-DGS02400)

SELECT DESIRED COLOR:

- SCARLETT RED
- FOREST GREEN
- ROYAL BLUE
- NAVY BLUE

\*CUSTOM COLORS ARE AVAILABLE

NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 2741-040

BENCHES WITH ALUMINUM LEGS  
OR EQUAL

PORTABLE ALUMINUM BENCH WITH BACKREST AND SHELF ( BE-DGS00600 )

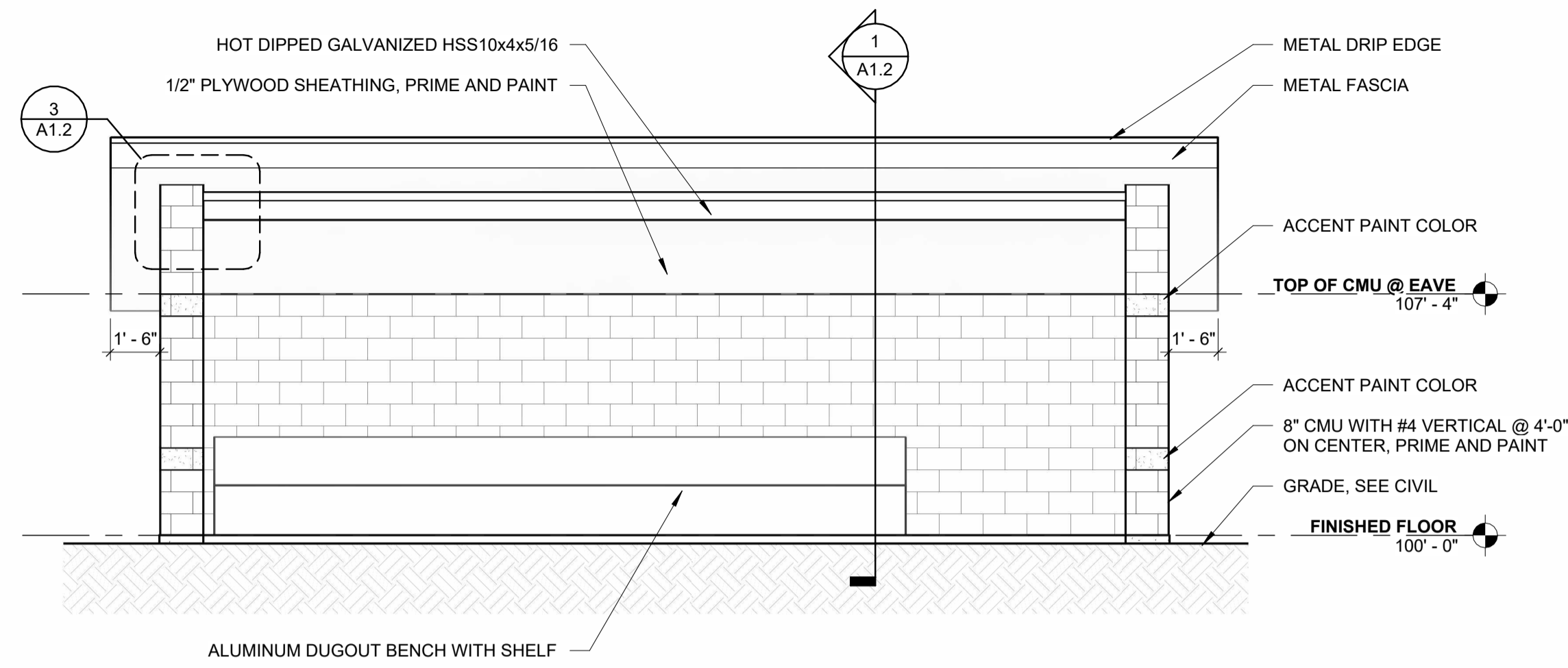
ISOMETRIC VIEW

SIDE ELEVATION

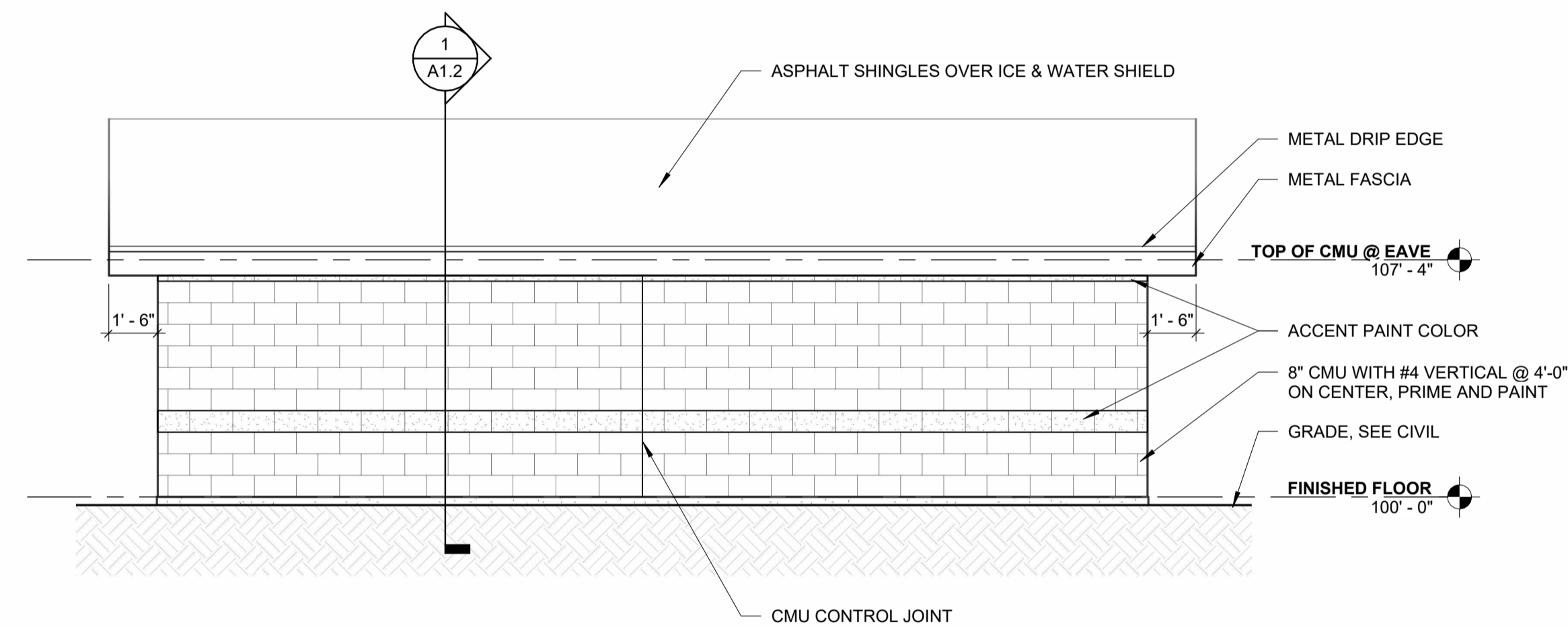
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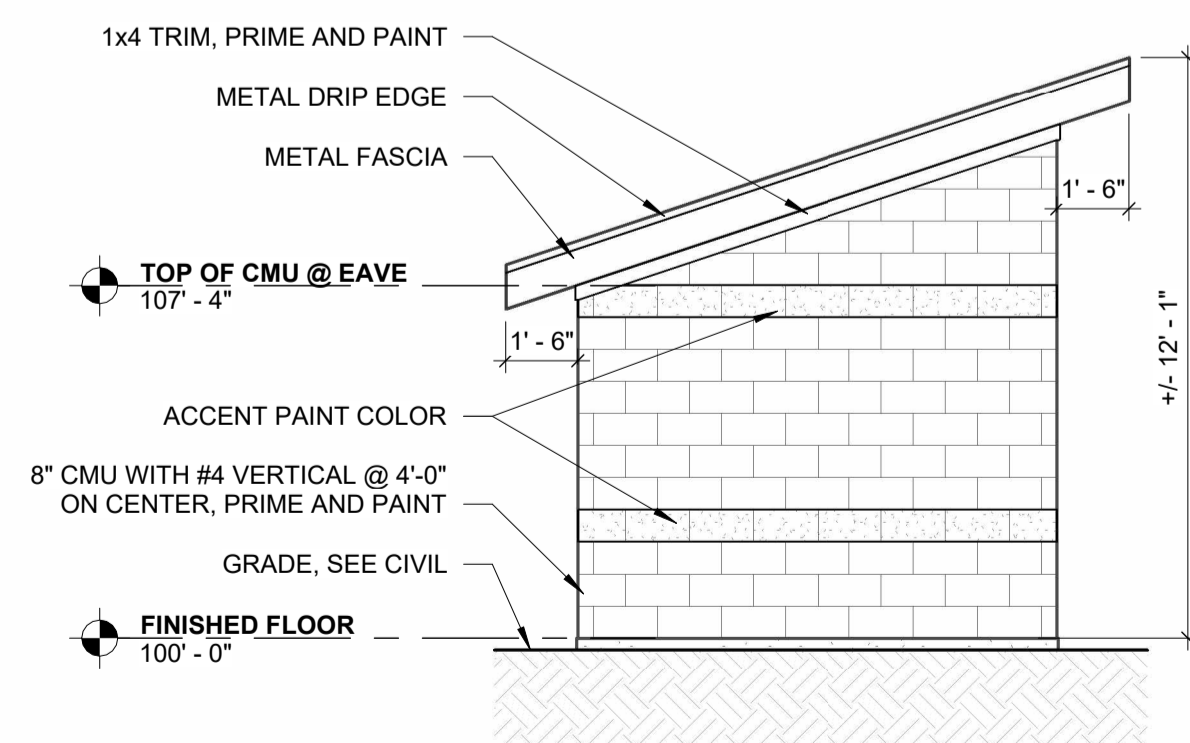
1	85% PLANS FOR CITY STAFF REVIEW	ACI:GH	11/26/2024
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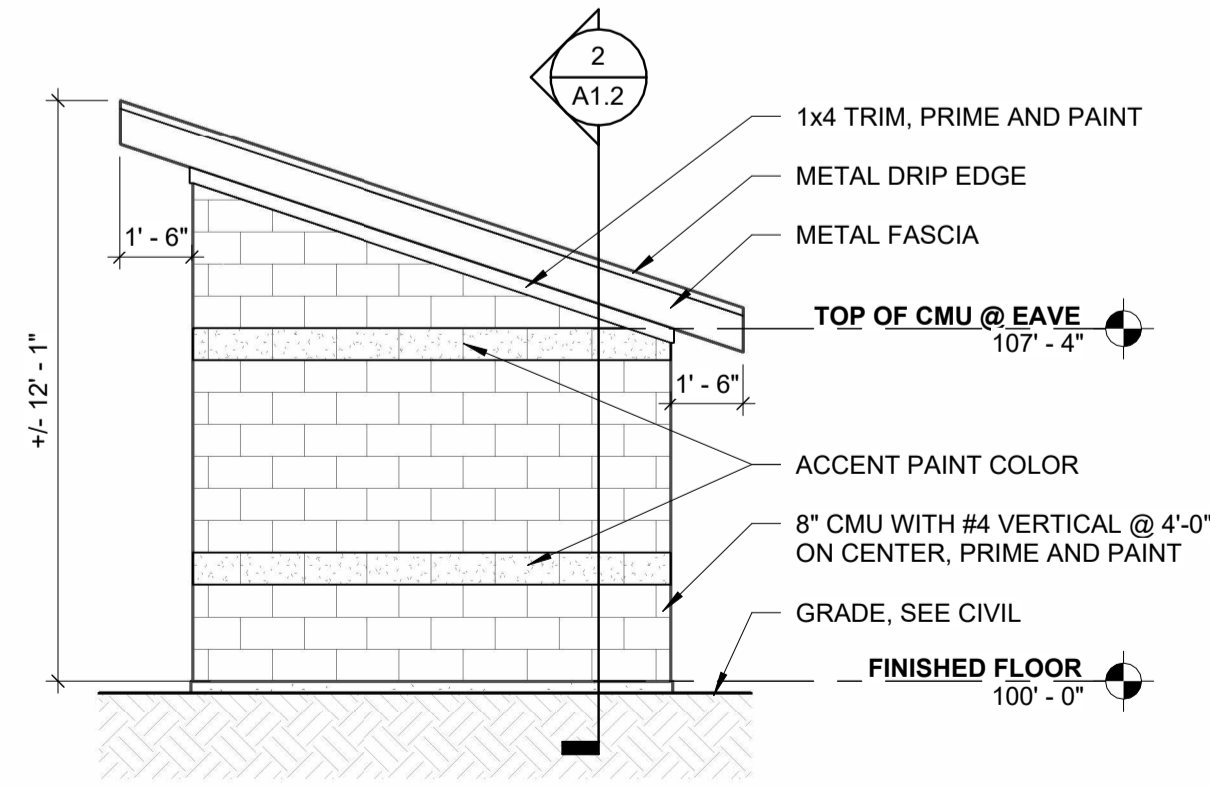
6 FRONT ELEVATION  
A1.1 1/4" = 1'-0"



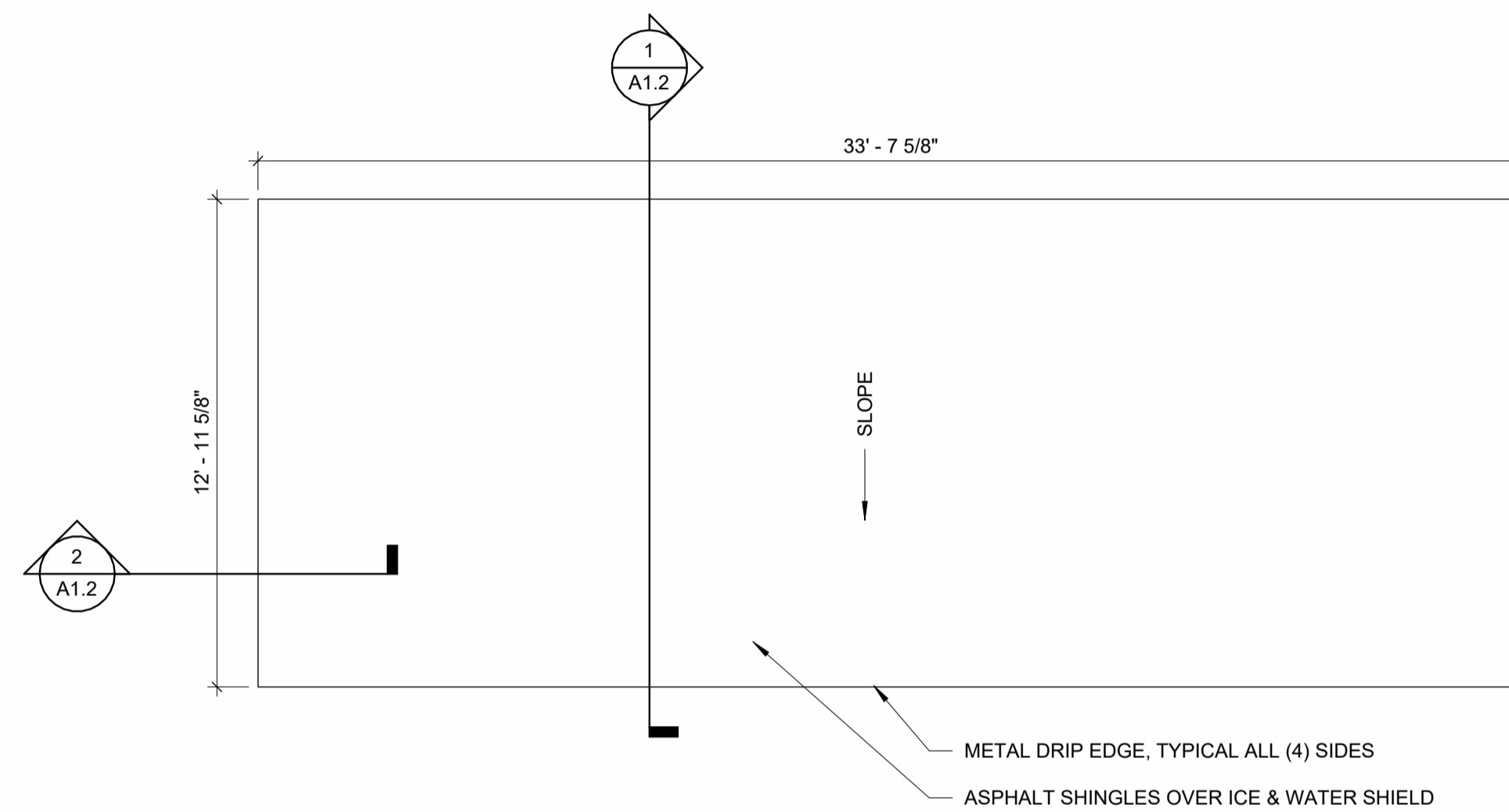
5 BACK ELEVATION  
A1.1 1/4" = 1'-0"



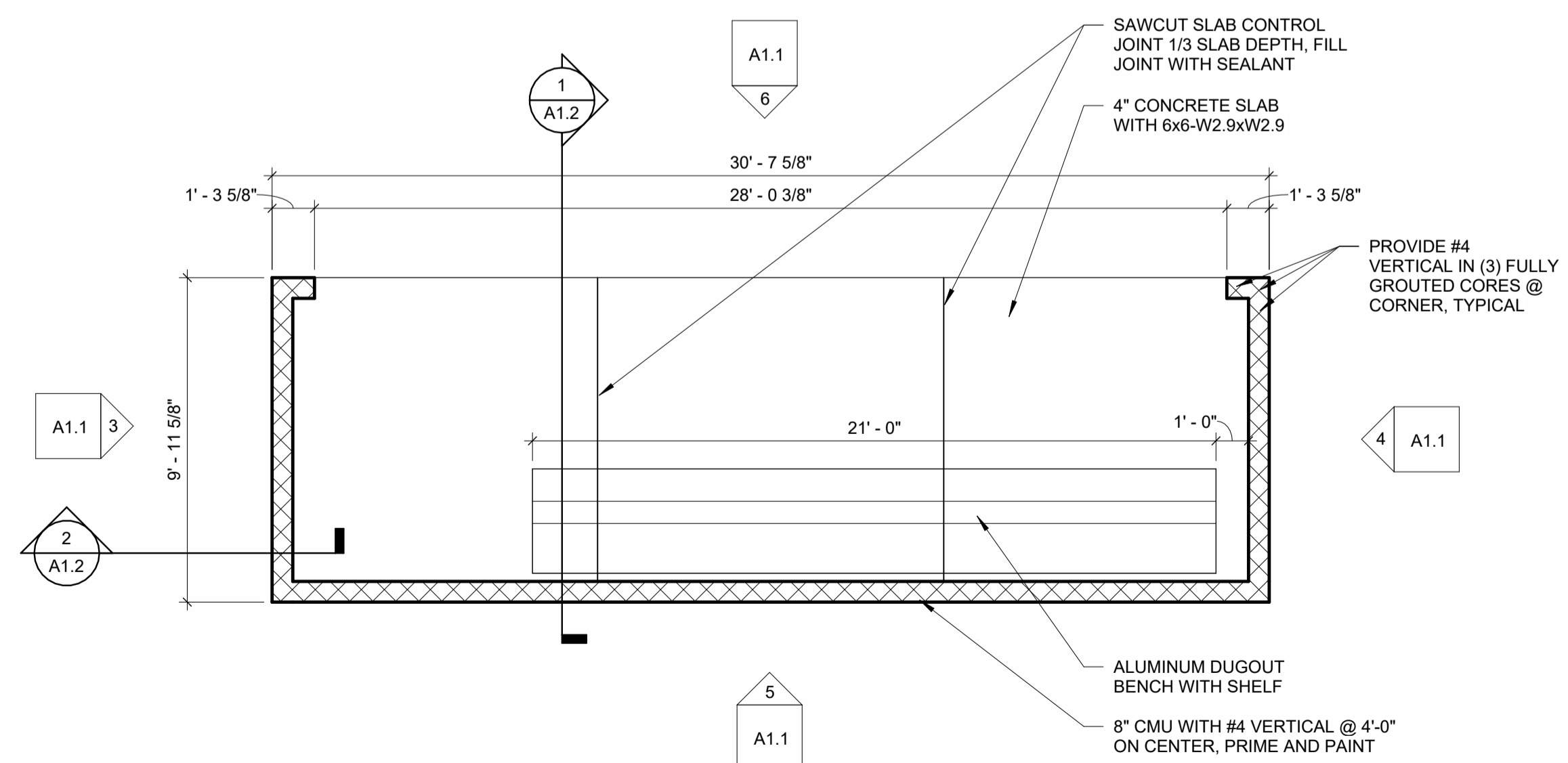
4 RIGHT ELEVATION  
A1.1 1/4" = 1'-0"



3 LEFT ELEVATION  
A1.1 1/4" = 1'-0"

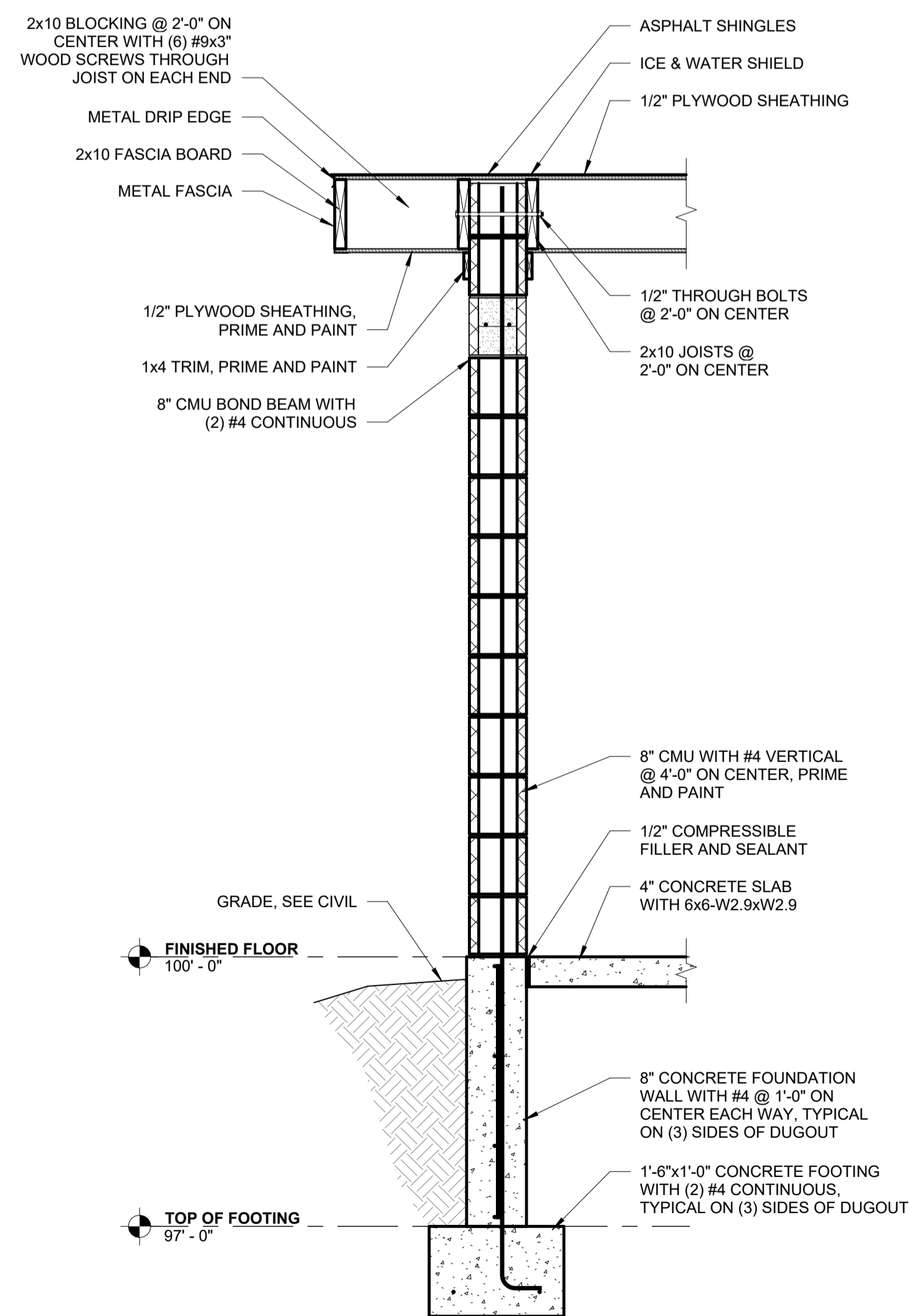


2 ROOF PLAN  
A1.1 1/4" = 1'-0"

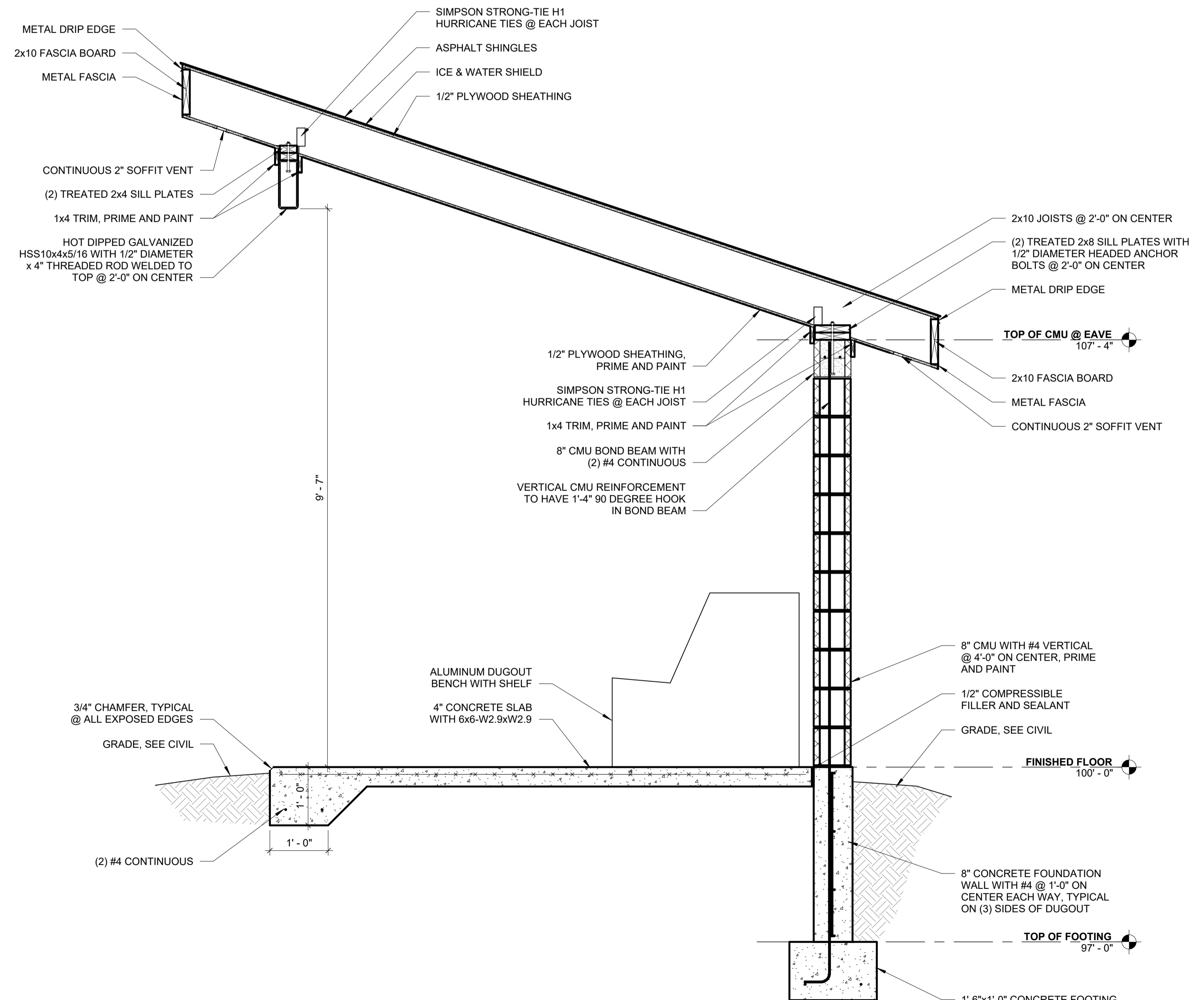


1 FLOOR PLAN  
A1.1 1/4" = 1'-0"

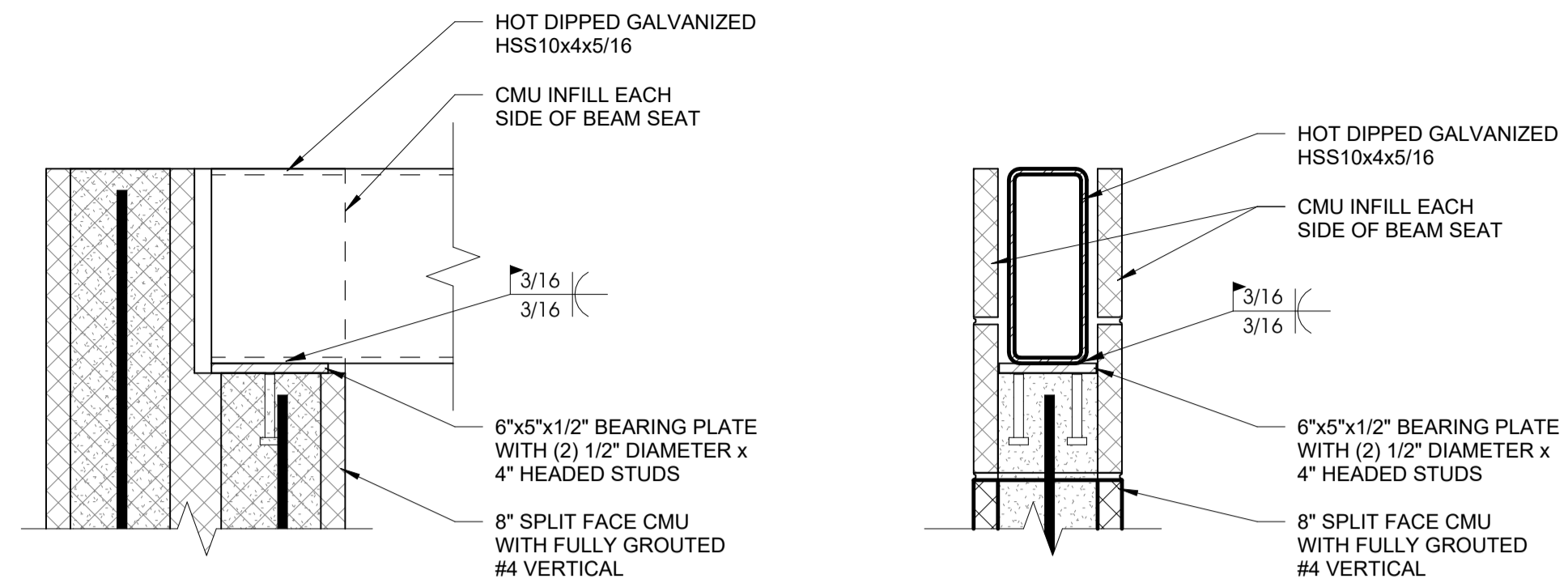
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2 SIDE WALL SECTION  
A1.2 3/4" = 1'-0"



1 DUGOUT SECTION  
A1.2 3/4" = 1'-0"



3 BEAM BEARING DETAIL  
A1.2 1 1/2" = 1'-0"

**For Review & Comment**  
11/27/2024 8:40:22 AM

NO.	REVISION DESCRIPTION	BY	DATE

PROJECT: **NOT FOR CONSTRUCTION**

SECTION & DETAILS

SLUKA FIELD  
IMPROVEMENTS  
CITY OF GRAND HAVEN  
OTTAWA COUNTY, MI

SHEET TITLE:

MODELED BY: **Author**

DESIGNED BY:

PM REVIEW:

QA/QC REVIEW:

DATE: **2024.11.26**

SEAL:

SIGNATURE:

DATE:

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ACI JOB #

**24-0411**

SHEET NO.

**A1.2**

PROJECT:

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