

CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION
MEETING AGENDA
March 10, 2026

Notice and agenda of the regular Planning Commission Meeting at 7:00 p.m. to be held at the Grand Haven City Council Chambers, 519 Washington Avenue. Planning Commissioners unable to attend the meeting are requested to contact the Planning Department at 616-935-3276 prior to the meeting.

1. MEETING CALLED TO ORDER

2. ROLL CALL: Amy Kozanecki, Dan Borchers, Vice Chair Joe Pierce, Chair Ryan Galligan, Tamera Owens, David Skelly, Magda Smolenska, Jennifer Smelker

3. APPROVAL OF MINUTES – February 10, 2026

4. APPROVAL OF AGENDA

5. CALL TO AUDIENCE – ONE OF TWO OPPORTUNITIES

6. PUBLIC HEARINGS

- A. Case 26-05: Special land use request for retaining wall greater than 48 inches in height at 912 S. Harbor Dr. (parcel #70-03-29-103-005)
- B. Case 26-07: Special land use request for two-family dwelling at 301 N. 3rd St. (parcel #70-03-20-282-002)

7. NEW BUSINESS

- A. Case 26-06: Site Plan review for personal storage building at 1130 Jackson Ave. (parcel #70-03-21-415-002)
- B. Case 26-08: Preliminary Development plan amendment for South Village PD at 724 Robbins Rd. (parcel #70-03-33-100-073)

8. OLD BUSINESS

- A. Case 26-03: Pre-public hearing for zoning change request to allow short term rentals off 5th St. as a key street.

9. ZONING BOARD OF APPEALS LIAISON REPORT

10. CITY PLANNER REPORT - TI district and state legislation

11. CALL TO AUDIENCE – SECOND OPPORTUNITY

12. ADJOURNMENT

**CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION MINUTES
Tuesday, February 10, 2026**

The regular meeting of the Grand Haven Planning Commission was called to order by Chair Ryan Galligan at 7:00 pm. Upon roll call, the following members were present:

Present: Amy Kozanecki, Vice-Chair Joe Pierce, Dan Borchers, Chair Ryan Galligan, Jennifer Smelker, David Skelly, Magda Smolenska,

Absent: Tamera Owens

Also Present: City Planner Brian Urquhart, Mayor Bob Monetza, Mayor Pro Tem Mike Dora, City Manager Ashley Latsch, Assistant City Manager Dana Kollweher, and members of the public.

Approval of Minutes

Motion by **Skelly**, seconded by **Smelker**, to approve the minutes of the December 9, 2025, meeting.

All ayes. **Motion passes.**

Approval of Agenda

Motion by **Pierce**, seconded by **Smolenska**, to approve the agenda as written.

All ayes. **Motion passes.**

Call to the Audience: First Opportunity

Mayor Bob Monetza, 945 Washington, spoke about the history of key streets as a planning commissioner.

Continuation of Work Session

Urquhart asked for consensus on the proposed text amendments and how to proceed for the next work session. The findings will be presented to the Planning Commission in March.

New Business

Case 26-02: Discussion of site plan application for mixed-use development at 7th St. & Washington Ave. (parcel #70-03-21-353-006).

Urquhart presented the case, and no preemptive action was needed at this time. Urquhart explained that John Groothuis of Capstone Companies, on behalf of property owner John Steinbach, has submitted a layout plan, conceptual renderings, and elevation details for a proposed mixed-use development for 7 N. 7th St. (named the Flatiron Building) at the corner of 7th St. and Washington Ave. The parcel is triangular-shaped, abutting Washington Ave., 7th St., and the CSX railroad right-of-way. The parcel shape offers creativity in design and construction. This site is a key location that establishes the framework for future development in Centertown.

Mr. Groothuis has requested a pre-application meeting with the Planning Commission to obtain feedback on the proposed redevelopment. Once feedback is received, a detailed site plan will be subject to the requirements in Sec. 40-115.02 and can be submitted.

7 N. 7th St. is a 3,023 sq. ft. single-story brick building that currently houses Vintage Green, Overtime Sports, and Fashion Forward Design. The plan is to demolish the existing building and construct a 3-story mixed-use building, with ground floor retail, 4 residential units on the second and third floors, and an attached 5-stall garage with 1 residential unit. The carriage house is connected by an open balcony, with a trellis above. The 5-stall garage contains the capability for installing a lift, creating space for 10 vehicles. Sec. 40-605 requires 1.2 spaces for each residential unit above retail in mixed-use development, therefore $5 \times 1.2 = 6.2$ or 6 spaces is required. A minimum of one garage unit will need to have a lift to satisfy the parking requirements. The driveway will be access from 7th Street. The application does indicate the residential development will be in the form of a condominium, with possible short-term rentals in the future. A special land use permit would be required for each dwelling unit seeking short-term certification.

The exterior of the Flatiron building is composed of brown and buff brick with black brick accents. Spandrel and storefront bulkhead panels are shown to be painted fiber cement board or similar smooth hardboard siding. The color scheme includes a prefinished gray metal panels for roof fascia and metal panels at the top of the wall. The site plan depicts the garage doors comprised of wooden materials. Final exterior cladding materials, window size, window transparency percentage for each floor will require calculation. The applicant should provide details on screening, lighting plan, signage, mechanical equipment and trash receptable screening, snow removal, stormwater control, use, and compatibility with the Centertown Vision Plan.

The pre-application meeting allows the planning commission to provide feedback on the site plan. Revisions can be made, and once the applicant is ready to proceed, a detailed site plan review will be performed. A full site plan review is expected for the March meeting.

John Groothuis, 115 Sherman, was present for any questions. He also noted that this site was challenging and expressed interest in pursuing a small TIF with the city.

Smelker mentioned she appreciated the brick aesthetic and believes it will be a great improvement for Centertown.

Smolenska stated she would like to see the developer maximize the carriage house's size by adding a third level.

Borchers stated he would like to see a potential fourth level added and to discuss future plans with current business owners. He also mentioned that he prefers the stone-and-glass aesthetic.

Kozanecki inquired about seeing plans for both buildings and what they would look like.

Skelly had nothing further to add.

Vice-Chair Pierce wanted to confirm if there would be glass looking into the stairwell at the carriage house. Groothuis stated that the transparency requirements would set that determination, but he also needs to confirm with his developer.

Chair Galligan stated he was in support of the project and had nothing further to add.

Urquhart asked Groothuis to send amended elevation drawings and confirmed that the development would include residential and retail space.

Commissioners further discussed adding additional parking above the carriage house.

Case 26-03: Pre-public hearing for zoning change request to allow short term rentals off 5th St. as a key street.

Urquhart presented the case. Kelley Oosterman, submitted a zoning change request to the Planning Commission to consider extending 5th Street as a Key Street from Jackson Ave. to Adams Ave. The designation of a key street requires an amendment to the zoning map, a public hearing, and a recommendation to City Council for final adoption.

Staff encouraged Mrs. Oosterman to pursue the option of a pre-public hearing before a formal request for a Zoning Change application is submitted. Recently, Ms. Oosterman purchased 514 N. 5th St. and, in her narrative, states that the request to include 5th St. as a key street is due to the higher traffic volume traveling from the Haven Apartment Complex to the north. Also, she claims that the existing approved and lawful nonconforming short-term rentals on 5th St. would affect 50% of the parcels abutting 5th St.

At the February 2023 meeting, the Planning Commission heard a request regarding a potential amendment to the zoning map to allow for the extension of a key street in the Old Town District on 3rd Street north of Jackson Ave. The Planning Commission agreed it was not appropriate to amend the map, and the applicant did not pursue the request any further.

The Planning Commission is asked to provide direction to the applicant regarding the proposal, particularly considering the possibility of opening additional parcels as eligible short-term rentals. The concern in the past was how far short-term rentals would creep into traditional neighborhoods. Once the applicant is ready to move forward with a formal request for a zoning change application, a public hearing can be scheduled.

Commissioners unanimously opposed the request and had no further comments.

Old Business

None

Zoning Board of Appeals Liaison Report

Kozanecki stated that there was no meeting in January and that there will not be one in February.

City Planner Report

Urquhart presented the FY 24/25 Annual Report and provided an update on various city projects.

He mentioned that the South Village Planned Development will be presented at the next meeting. The Commissioners will need to determine whether the changes to the development constitute a major or minor amendment. Grand Landing Hotel was granted a twelve month extension by City Council. Next steps would be to submit a final plan development in that time frame.

Urquhart also asked the Commissioners whether they would oppose considering a name change for the Transitional Industrial District to help address lender reluctance to provide financing. He stated that the district's definitions and parameters would remain the same, but believes that considering the name change could help rectify the issue. Urquhart mentioned he would be in touch with a lending company to determine whether it would meet the financing requirements for those areas.

Urquhart mentioned redefining "Public Benefit". Commissioners responded that they would like to see how other communities define it.

Call to the Audience: Second Opportunity

Mayor Pro Tem Mike Dora, 501 Friant, raised concerns about 500 empty homes that are seasonally vacant and asked about the reasons.

Motion by **Skelly**, seconded by **Kozanecki**, to Adjourn.
All Ayes. **Motion Passed.**

Chair Galligan adjourned the meeting at 8:00 p.m.

Melissa Bos, Executive Assistant to City Manager

DATE: March 6, 2026
TO: City of Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: Case 26-05: Special Land Use – 912 S. Harbor Dr. Retaining Wall

Current Zoning: DR – Dune Residential & Sensitive Area Overlay

Existing Use: Retaining wall

Future Use: Retaining wall

1.0 Request

Zach Vandenberg of *Peterson & Vandenberg Environmental*, on behalf of property owner Malstrom Investments LLC, submitted a special land use request for retaining walls located throughout the property at 912 S. Harbor Dr. (parcel #70-03-29-103-005). The applicant is proposing a tear down and removal of all site improvements at 912 S. Harbor Dr.

2.0 Background

Late 2025, *Peterson & Vandenberg Environmental* approached the City about proposed plans for the property at 912 S. Harbor. This would include demolition of the home and grading improvements, including retaining wall replacement. Due to the fact the portions of the retaining wall are greater than 48 inches in height, as measured per Sec. 40-327.A, and are vertically taller than the horizontal distance from the property line, a special land use approval is required. According to the project narrative, the replacement of the retaining walls is necessary to ensure the continued stability and retention of soil adjacent to the house foundation. Keeping the retaining walls in the current location would preserve the site's natural topography, comply with practical engineering constraints, and ensures compatibly with nearby land uses.



Street view



3.0 Special Land Use Regulations & Conditions

Section 40-327.A of the Zoning Ordinance provides requirements for retaining walls and outlines provisions for administrative approvals and Planning Commission approvals.

4.0 Correspondence

As of the date of this memo, no correspondence has been received.

5.0 Sample motion

Motion to APPROVE PC Case 26-05, a special land use permit and sensitive area overlay permit for a retaining wall that exceeds 48 inches in height at 912 S. Harbor Dr. (parcel #70-03-29-103-005), subject to the condition(s) below:

1. *(Insert any additional Planning Commission conditions)*

Attachments

- A. Special Land Use application dated February 2, 2026
- B. Sensitive Area Overlay application dated February 2, 2026
- C. Project narrative
- D. Site Plan and retaining wall details

SENSITIVE AREAS OVERLAY PERMIT APPLICATION

Planning Department, City of Grand Haven
519 Washington Avenue, Grand Haven, MI 49417
Phone: (616) 935-3276 Website: www.grandhaven.org

1. Project Information

Address/location of property: 912 S Harbor Drive, Grand Haven, MI 49417
Name of Development: Malstrom Residence Parcel #: 70-03-29-103-005
Current Use: Residential Proposed Use: Residential
Area in Acres: 0.27 Zoning District: Dune Residential
Zoning of adjacent properties: Dune residential

2. Applicant

Name: Zach Vandenberg (permitting only)
Company: Peterson & Vandenberg Environmental, LLC
Address #: 12261 Cleveland St, Ste D (mailbox 1), Nunica, 49444
Phone #: 616-928-7983
Email: zach@petersonenviro.com

3. Property Owner

Name: Malstrom Investments LLC
Address: 5750 Chanterelle Ct NE, Belmont, MI 49306
Phone #: _____
Email: kendalmalstrom@outlook.com

4. Single-Family Dwelling Projects: Administrative Review

- 1 copies of site plan
- 1 copy of the application (pg. 1 & 2 only)
- 1 copy of narrative (see page 3)
- Building elevations
- Landscape plan
- Existing topographic map
- Proposed topographic map
- Project phasing plan (if applicable)
- Required fee (\$50)

5. All Other Projects: Planning Commission Review (see additional info on page 4)

- 5 copies of site plan
- 5 copies of the application (pg. 1 & 2 only)
- 5 copies of narrative (see page 3)
- Existing topographic map
- Proposed topographic map
- Building Elevations
- Landscape plan
- Project phasing plan (if applicable)
- Signage plan and details
- Required fees (\$50 + escrow deposit, if required)

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.



6. Details of the Nature of Work Proposed *(please identify materials and colors to be used)*

Please see attached proposed activities.

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: Zach VandenBerg Date: 12-3-25

Print Name: Zach VandenBerg

Signature of Owner: SEE ATTACHED AGENT LETTER Date: _____

Print Name: _____

Office Use Only

Administrative Review: _____ Planning Commission Review: _____

Permit #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Approved by: _____



SENSITIVE AREAS OVERLAY DISTRICT NARRATIVE

See Section 40-422 of the Zoning Ordinance for a complete set of regulations.

M. The proposed use, expansion or improvement will not unacceptably impact the Sensitive Area or surrounding property or uses. In determining such issues, staff (if subject to staff review) or the Planning Commission (if subject to planning commission review) shall, at a minimum and not by limitation, consider at least the following factors:

1. Traffic generation and traffic flows, including any hazardous conditions:

No additional traffic generation outside of the construction times are expected.

2. Noise generation:

No additional noise generation outside of the construction times area expected.

3. The effects of vehicles and paved driveways on the premises including, without limitation, the effects of exhaust, run-off, snow removal, noise, etc. resulting from the presence and use of vehicles and paved driveways as they relate to the Sensitive Area and the vegetation or animal life thereon:

No additional vehicles will be on-site outside of the construction time.

4. Lot coverage: _____

5. Impacts upon wildlife and native plant species habitat:

Site is existing use and will be re-stabilized with native vegetation.

6. Landscaping:

Native vegetation will be used. The existing lawn will remain lawn.

7. Compatibility with other uses and zoning in the vicinity:

The project involves replacement of structures in an existing use area, designed to be cohesive with neighboring parcels.

8. Compatibility with neighboring properties:

The project has been designed to be cohesive with other properties in the area.

9. The use of any herbicides, insecticides, other pesticides or hazardous substances on the site, including, without limitation, the effects of any run-off:

No herbicides, insecticides, pesticides, or other hazardous substances will be used for the project.

10. Native vegetation removal:

The project area is existing use and will be stabilized with native vegetation.

11. Any mitigation of any effects upon the sensitive area:

The site will be re-stabilized with native vegetation as needed. No additional mitigation should be required.

12. Long-term shoreline erosion estimates:

The property is not on the shoreline or in the high risk erosion area.

13. Other factors deemed by the Planning Commission to be important in the protection of the Sensitive Area.



***THIS PAGE IS FOR REFERENCE ONLY
AND SHOULD NOT BE SUBMITTED WITH YOUR APPLICATION***

PLANNING COMMISSION REVIEW PROCESS

See Section 40-422.04 and 40-115 of the Zoning Ordinance for a complete list of regulations.

For all projects other than those related to a single-family dwelling, the project is subject to Planning Commission review. Below is a list of filing deadlines and associated meeting dates. The applicant will be notified of the date, time and place of the meeting on the application not less than three (3) days prior to such date.

Following receipt of a complete application and supporting documentation, the Zoning Administrator and City Plan Review Team (Building Official, Public Works Director, Fire Marshall, and others) will review the plans and provide feedback to the applicant in advance of the Planning Commission meeting. The applicant will have an opportunity to revise their plans in advance of the Planning Commission meeting.

Please note that the Sensitive Areas Overlay Review is in addition to any site plan, special use, or permitting process that may be required to complete your project.

Filing deadline	Meeting Date
December 11, 2024	January 14, 2025
January 8, 2025	February 11, 2025
February 5, 2025	March 11, 2025
March 12, 2025	April 15, 2025
April 9, 2025	May 13, 2025
May 7, 2025	June 10, 2025
June 4, 2025	July 8, 2025
July 9, 2025	August 12, 2025
August 6, 2025	September 9, 2025
September 10, 2025	October 14, 2025
October 8, 2025	November 11, 2025
November 5, 2025	December 9, 2025
December 10, 2025	January 13, 2026



Demolition of the existing house, deck, garage, and driveway. Construct 1442 square feet new driveway, 1853 square feet new home, 672 square feet new garage on the east side of the home. Install 50 linear feet retaining wall along the north side of the driveway, 470 square feet ADA sidewalk and ramp on the north side of the home, 80 linear feet retaining wall on the north side of the accessibility measure and install of four window wells totaling 130 square feet. Repair existing 70 linear ft retaining wall. Reorient the previously permitted 697 square feet deck to align with the new home. Install 105 square feet entry with steps on the east side of the home. Construct 216 square feet two-story deck on the west side of the home, 430 square feet new garage on the west side of the home. Install 239 square feet concrete west of the west garage and 150 square feet accessibility measure (ADA compliant tunnel) from the upper level of the west garage to the lower level of the home. Relocate 116 linear feet of existing utilities all within the Critical Dune Area.

Proposed Special Land Use: Replacement of Retaining Wall

The proposed special land use entails the replacement of an existing 70 linear foot retaining wall, to be constructed within the identical footprint of the current structure. This wall is positioned zero feet from the north property line and will have a maximum height of four feet. The replacement is necessary to ensure the continued stability and retention of soil adjacent to the house foundation, thereby preventing potential erosion, structural compromise, or safety hazards associated with soil displacement.

The selected location is appropriate for several reasons. It maintains the established alignment and function of the existing wall, minimizing disruption to the surrounding landscape and avoiding the need for additional land disturbance. Relocating the wall would necessitate extensive excavation or reconfiguration, which could undermine the foundation's integrity, increase construction costs, and introduce unnecessary environmental impacts. By adhering to the current footprint, the project preserves the site's natural topography, complies with practical engineering constraints, and ensures compatibility with adjacent land uses without imposing burdens on neighboring properties.

In accordance with Section 40-116.03 of the Zoning Ordinance, the following addresses the general review standards under subsection A, demonstrating that the proposed special use is consistent with the public health, safety, and welfare of the City of Grand Haven:

1. **Consistency with the Adopted City of Grand Haven Master Plan:** The replacement of the retaining wall aligns with the Master Plan's objectives for preserving residential stability and promoting sustainable land management. By maintaining soil integrity and preventing erosion, the project supports goals related to environmental protection and the long-term viability of existing residential developments.
2. **Consistency with Existing or Intended Character of the General Vicinity:** The wall will be rebuilt in its original location and to a modest height, ensuring it remains harmonious with the surrounding residential area. This approach avoids altering the visual or functional character of the neighborhood, as the structure is not visible or intrusive beyond its current form and serves solely to support the existing property.
3. **Absence of Hazard or Disturbance to Existing or Future Uses:** The project poses no hazard to nearby properties or the community, as it involves a straightforward replacement without expansion. Construction will be limited in scope and duration, with measures in place to control dust, noise, and site access, thereby minimizing any temporary disturbances.

4. Adequate Service by Essential Public Facilities: The site is already served by existing public infrastructure, including streets, utilities, and stormwater systems. The replacement wall will not increase demands on these services, as it does not involve new development or intensification of use; any minor construction-related needs will be managed by the responsible parties without straining city resources.

5. No Excessive Additional Requirements at Public Cost: The project is self-contained and funded privately, requiring no public expenditures for facilities or services. It will not adversely affect the community's economic welfare, as it enhances property stability without generating ongoing costs or liabilities for the city.

6. No Detrimental Uses, Activities, or Conditions: The construction and operation of the retaining wall will not produce excessive traffic, noise, vibration, emissions, or other nuisances. Materials and processes will adhere to standard engineering practices, ensuring environmental and public health protections are maintained.

7. Compliance with Intent and Purpose of the Zoning Ordinance: The proposal fulfills the ordinance's standards for special uses by addressing site-specific needs in a manner that promotes orderly development and protects adjacent properties. It relates directly to the ordinance's emphasis on safe and functional land improvements.

8. Compliance with City Code, State, and Federal Laws: The project will conform to the City of Grand Haven Code of Ordinances, including Chapter 23 on nuisances, as well as applicable state and federal regulations governing construction, erosion control, and environmental standards.

Regarding the specific review standards of Article V of the Zoning Ordinance, as referenced in Section 40-116.03.C, the proposed retaining wall replacement is considered an unclassified use under Section 40-325, given that no named special use category explicitly addresses such structures. Accordingly, the project incorporates standards consistent with those for similar site improvements, emphasizing minimal impact, engineering soundness, and compatibility with residential zoning. No additional specific standards are required beyond the general criteria outlined above, and the proposal aligns with the requirements of Section 40-116.03.B for reasonable conditions of approval, should the Planning Commission deem them necessary.



VISBEEN
architects
3351 CLAYSTONE ST. SE
STE. G22
GRAND RAPIDS, MI 49546
© VISBEEN ARCHITECTS, INC.

PROJECT No.:
24.2.04

PROJECT MANAGEMENT:
Michael Gibbs
DRAWING:
Staff

SEAL:

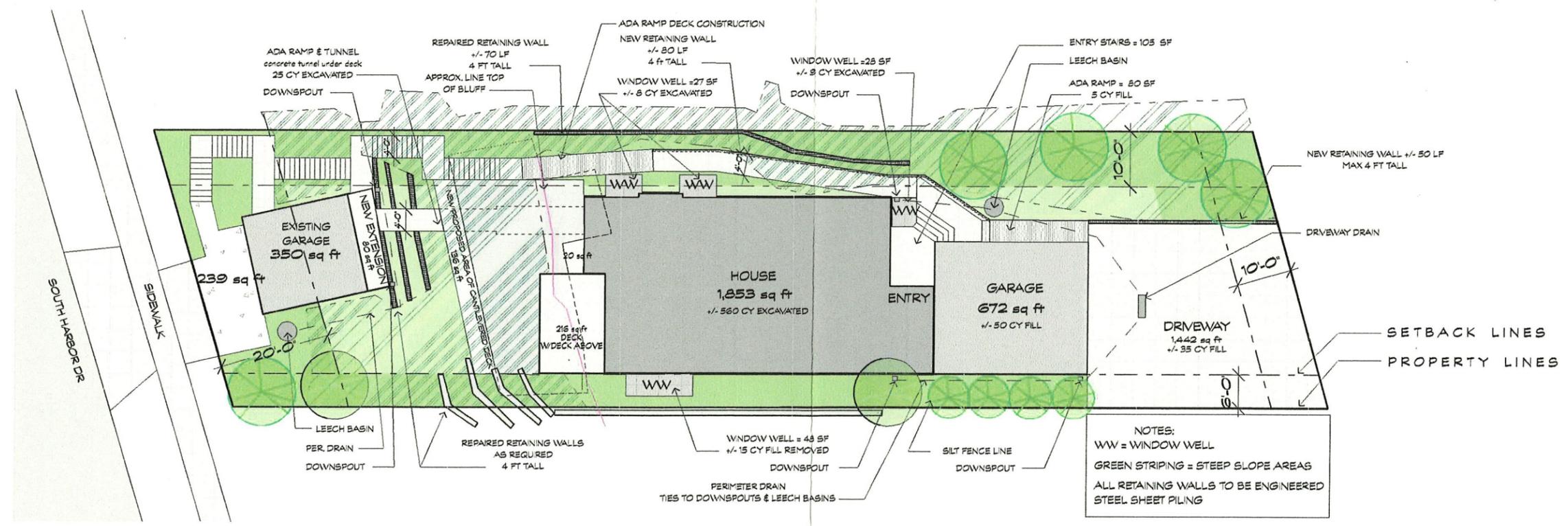
BUILDER:

**MALSTROM
RESIDENCE**
912 Harbor Ave
Grand Haven, Michigan

DATE: 12/19/25
DESCRIPTION: DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

SHEET TITLE:
PROPOSED SITE PLAN

SHEET NO.:
A0.1B



2 PROPOSED SITE PLAN ADDITIONAL NOTES
SCALE: 1" = 10'

NOTES:
WW = WINDOW WELL
GREEN STRIPING = STEEP SLOPE AREAS
ALL RETAINING WALLS TO BE ENGINEERED
STEEL SHEET PILING



DATE: March 6, 2026
TO: City of Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 26-07: Special Land Use Permit – 301 Jackson Ave. Two-Family Dwelling**

Current Zoning: OT, Old Town District
Existing Use: Vacant lot
Proposed Use: Two-family dwelling

1.0 Request

Mike Kalis submitted an application for a Special Land Use Permit for a two-family dwelling located at 301 Jackson Ave. (parcel #70-03-20-282-002). Two-family dwellings are permitted by special land use in the Old Town District per Sec. 40-410.02.B.

2.0 Background

According to city records, the home at 301 Jackson was demolished in 2022. The property has since been vacant. The properties along the corner of Jackson Ave. and 3rd St. has seen recent construction with infill development. Located to the north, the home at 406 N. 3rd St. was recently constructed in 2022. In 2024, located just to the east, 309 Jackson Ave. was approved as a two-family dwelling.

3.0 Special Land Use Regulations & Conditions

Section 40-526 provides a list of two (2) standards for two-family dwelling. The applicant has provided responses to those standards. The elevation plans demonstrate a two-family dwelling is similar in design to a one-unit dwelling with a covered porch, and single curb cut driveway. The applicant has also provided responses to the standards for all special land uses found in Sec. 40-116.03.A.

301 Jackson Ave. is a conforming lot in the Old Town district with a parcel size of 5,940 sq. ft. and lot width of 66 ft. The proposed two-family dwelling meets all the standards for lot coverage, building setbacks, building height, building form standards, and parking in the OT District. Sec. 40-604.03 requires two spaces per unit, or four spaces total.

To provide safety for the residents, the applicant has elected to utilize the existing curb cut off 3rd Street. The drive will extend beyond the side of the house and extend into rear yard parking area for up to five (5) vehicles.

4.0 Correspondence

As of the date of this staff report, no correspondence has been received.

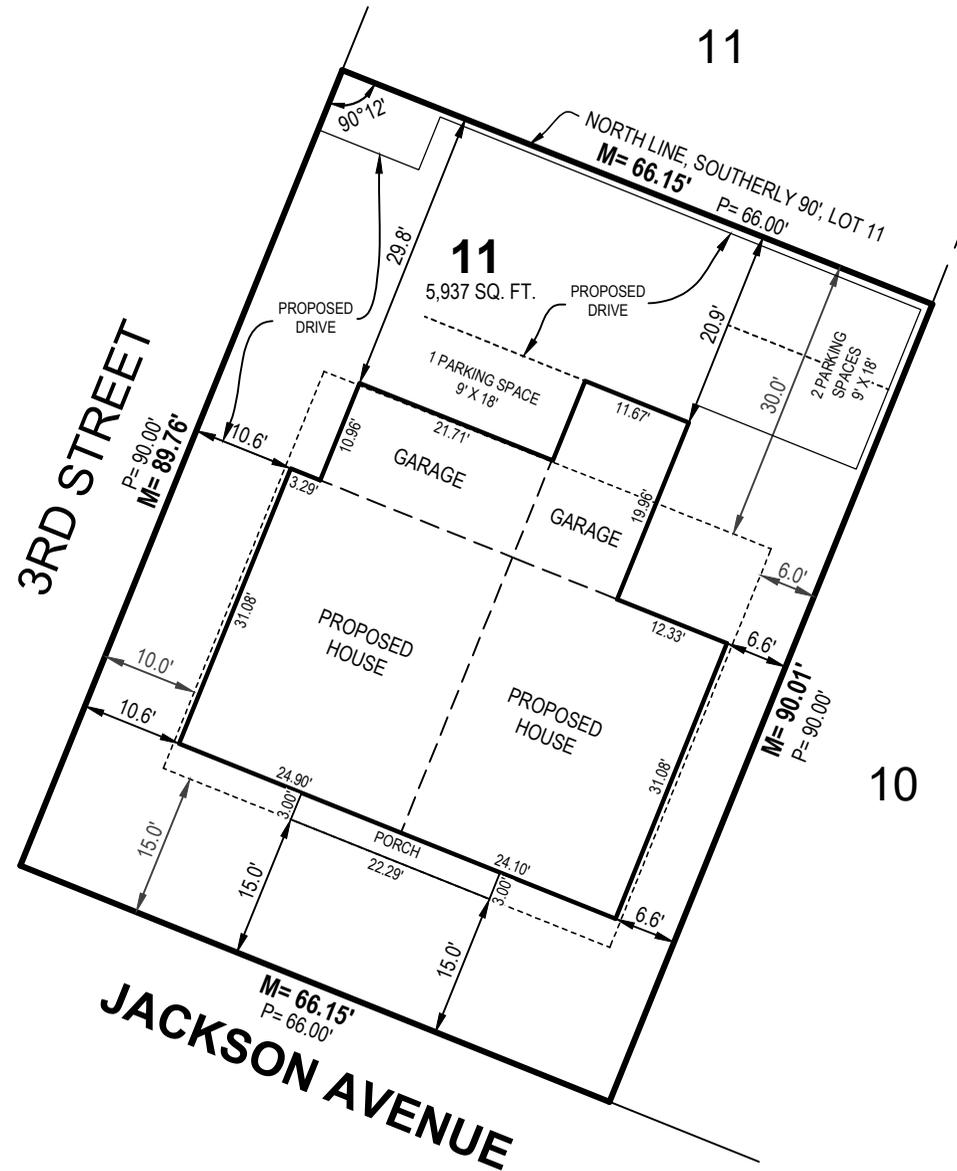
5.0 Sample Motion

Motion to APPROVE Case 26-07, a request for a Special Use Permit for a two-family dwelling located at 301 Jackson Ave. (parcel #70-03-20-282-002) based on the information submitted for review, and subject to the following conditions:

1. *All conditions of the BLP and DPW shall be met.*

Attachments:

- A. Special Land Use application
- B. Sec. 40-526 response
- C. Sec. 40-116.03 response
- D. Site Plan and Floor Plan



NOTE: Care has been taken to meet proper setback requirements. However, municipal approval of the proposed location should be obtained prior to commencement of construction.

This sketch was made from the legal description shown above. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.

*NOTE: Zoning setbacks shown hereon were provided by client.

*NOTE: Proposed building does not fit within the setbacks.

DESCRIPTION

Land Situated in the State of Michigan, County of Ottawa, City of Grand Haven.

The Southerly 90 feet of Lot 11, Block 3, Akeley's Addition to the City of Grand Haven, according to the recorded plat thereof, as recorded in Liber 1 of Plats, Page 58, Ottawa County Records.

(Chicago Title, Commitment No. 701213597HSA, dated August 17, 2023)

LEGEND

- Zoning Setback Line
- M= Measured
- P= Platted

PRELIMINARY

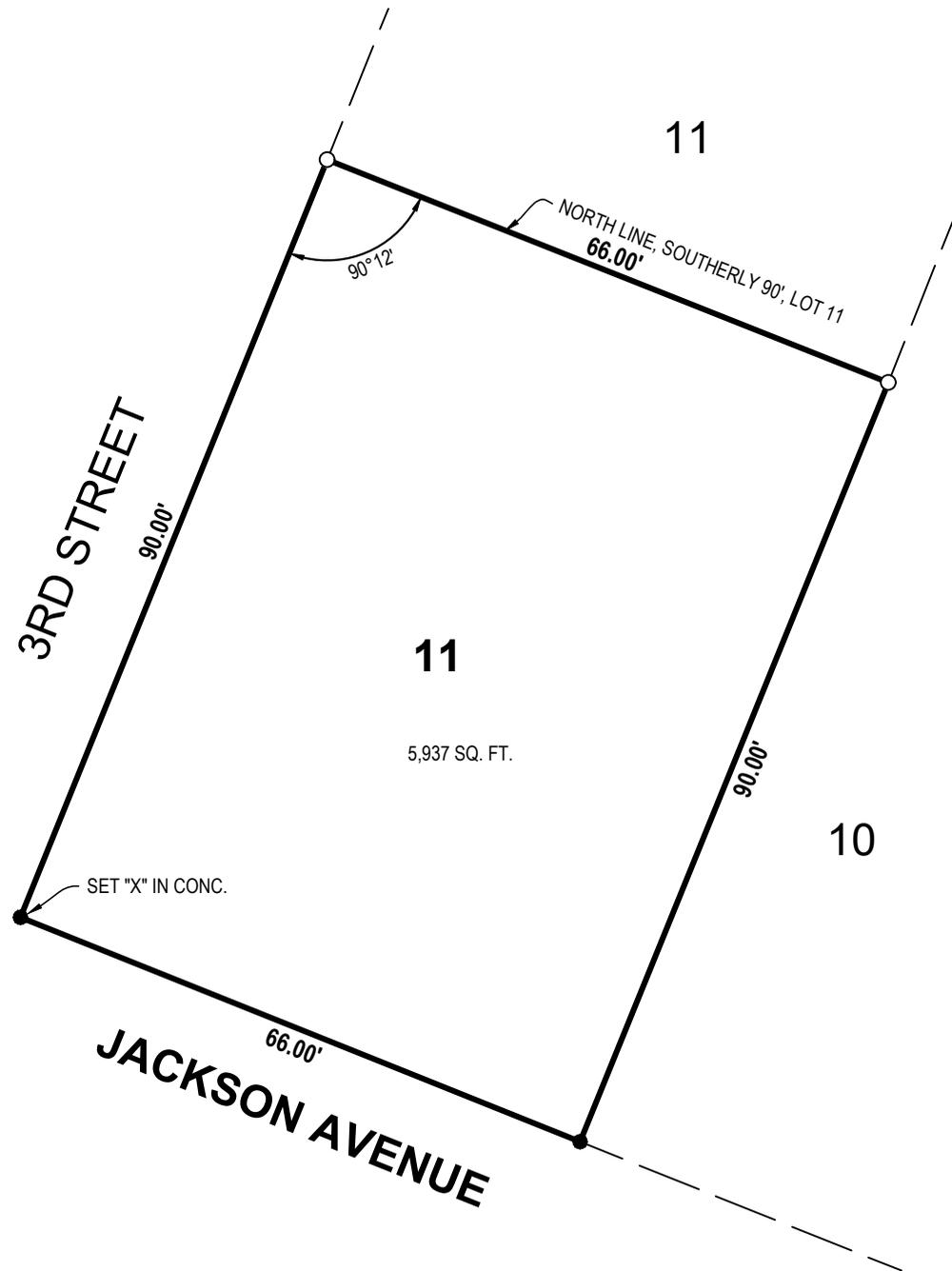
By: *Scott A. Hendges*
 Scott A. Hendges Licensed Professional Surveyor No. 4001047953

SCALE: 1" = 20' 0' 10' 20'



Great Lakes Realty Mike Kalis 3055 72nd Street SW Byron Center, MI 49315		 www.nederveld.com • 800.222.1868 Holland 730 Chicago Dr. Holland, MI 49423 Phone: 616.393.0449 Grand Rapids • Ann Arbor
301 Jackson Ave		
DRAWN BY: NH REV. BY: NH REV.: ADDED DRIVEWAY	DATE: 11/20/2025 REV. DATE: 1/26/2026	PRJ #: 25202081.2 1 OF 1





We hereby certify that we have examined the premises herein described, that the improvements are located entirely thereon as shown and that they do not encroach except as shown hereon.

This survey was made from the legal description shown above. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.

LEGEND

- Iron-Found
- Iron-Set

DESCRIPTION

Land Situated in the State of Michigan, County of Ottawa, City of Grand Haven.

The Southerly 90 feet of Lot 11, Block 3, Akeley's Addition to the City of Grand Haven, according to the recorded plat thereof, as recorded in Liber 1 of Plats, Page 58, Ottawa County Records.

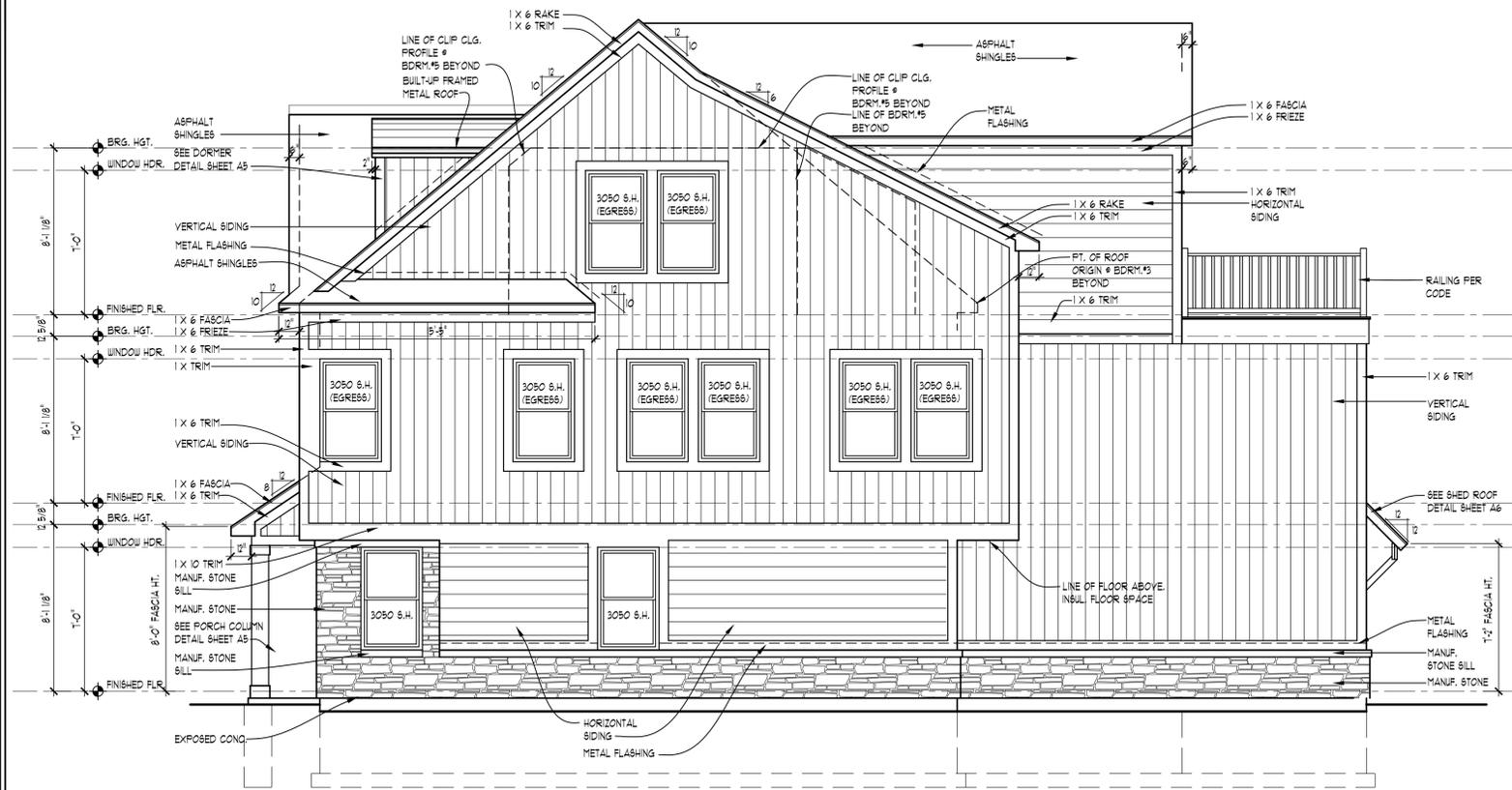
(Chicago Title, Commitment No. 701213597HSA, dated August 17, 2023)



By: *Scott A. Hendges*
 Scott A. Hendges Licensed Professional Surveyor No. 4001047953

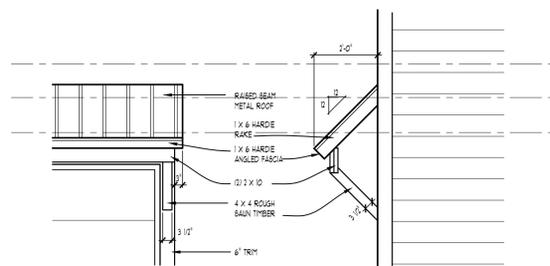
SCALE: 1" = 20' 0' 10' 20' NORTH

Great Lakes Realty Mike Kalis 3055 72nd Street SW Byron Center, MI 49315		 www.nederveld.com • 800.222.1868 Grand Rapids 217 Grandville Ave., Suite 302 Grand Rapids, MI 49503 Ann Arbor, Chicago, Columbus, Holland, Indianapolis
301 Jackson Avenue		
DRAWN BY: JH	DATE: 9-13-2023	PRJ #: 23201436
REV. BY:	REV. DATE:	
REV.:		
1 OF 1		



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



SHED ROOF DETAIL

SCALE: 1/2" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

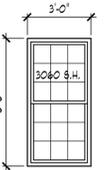
1. ALL ROOF SADDLES TO BE O.S.B. SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
2. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
3. FIREPLACE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION
4. METAL FLASHING AS REQUIRED BY CODE.
5. ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
6. PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
7. CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK RACK

NOTE:

OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.C.

TYPICAL WINDOW DESIGNATION

NOTE:
GENERAL REFERENCE FOR ROUGH OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.



NOTE:
ALL CASEMENT VENTING TO BE VERIFIED BY BUILDER/HOMEOWNER PRIOR TO ORDERING WINDOWS

NOTE:
WINDOW MANUFACTURER TO VERIFY ALL WINDOW GRID PATTERNS WITH HOME OWNER.



DESIGN
CREATIVE COLLABORATIVE

WWW.TKHOMEDESIGN.COM
40200 GRAND RIVER AVE
SUITE 300
NOVI, MI 48375
PHONE: (248)-446-1960
FAX: (248)-446-1961

COPYRIGHT 2025 TK DESIGN AND ASSOCIATES
DO NOT SCALE DRAWINGS OR CALCULATE DIMENSIONS ONLY
CONTRACTOR TO FIELD VERIFY ALL DRAWING ASPECTS BEFORE
CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
REPORTED TO THE DESIGNER IN WRITING IMMEDIATELY.
CALL MKS DCS AT 800-482-7271 3 DAYS PRIOR TO ANY EXCAVATION
CONSTRUCTION. THE SOLE RESPONSIBILITY OF THE FIRM/HOUSEHOLD

CLIENT / PROJECT
GREAT LAKE
REALTY
DUPLEX
301 JACKSON AVE.,
GRAND HAVEN,
MI-49417

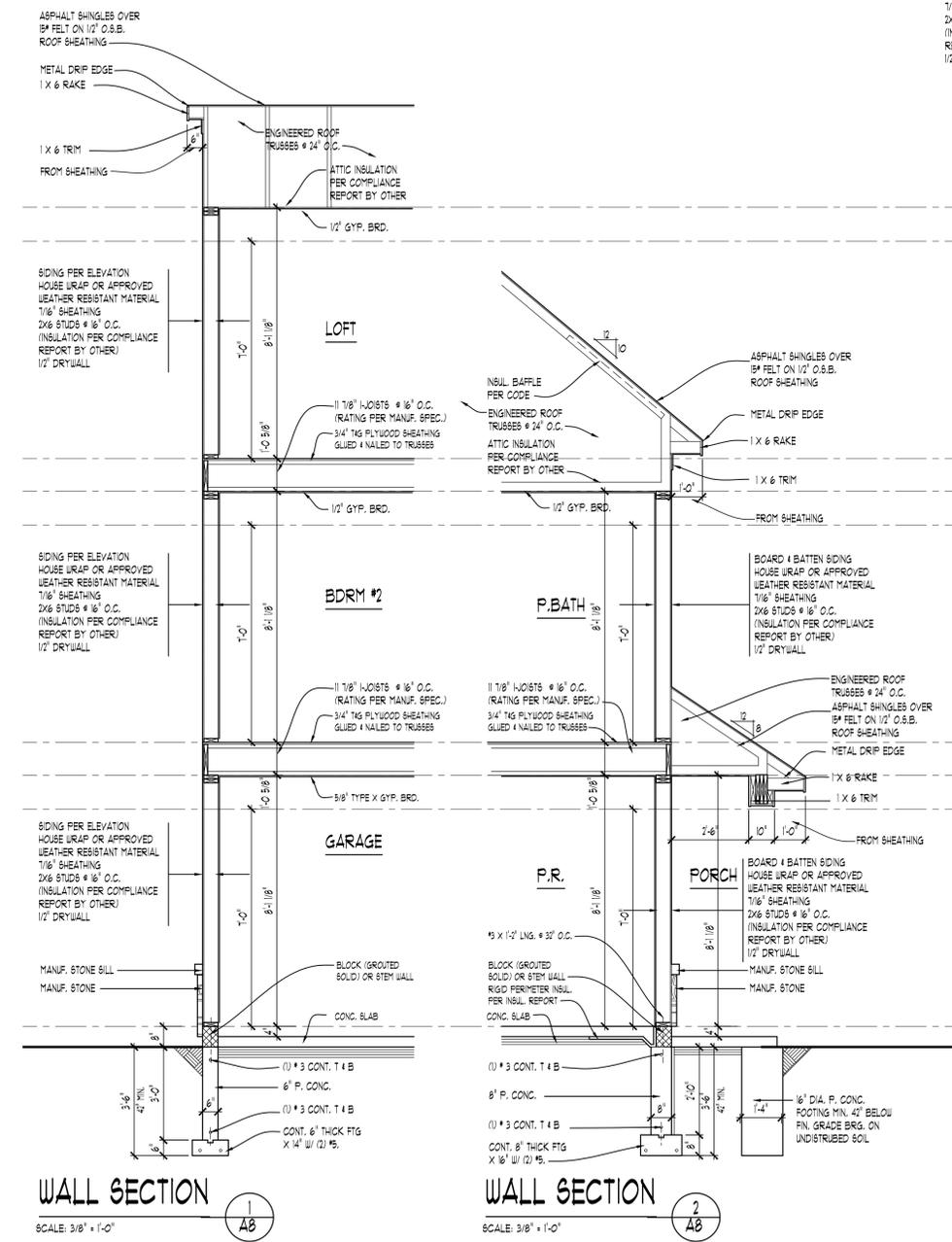
JOB No. 25-195
DRAWN: SP
CHECKED: AG
FRAMED: PAP
REVIEW: 8-27-25
FINAL: 10-9-25
△ PORCH REV 1-20-26

SCALE:
PER PLAN

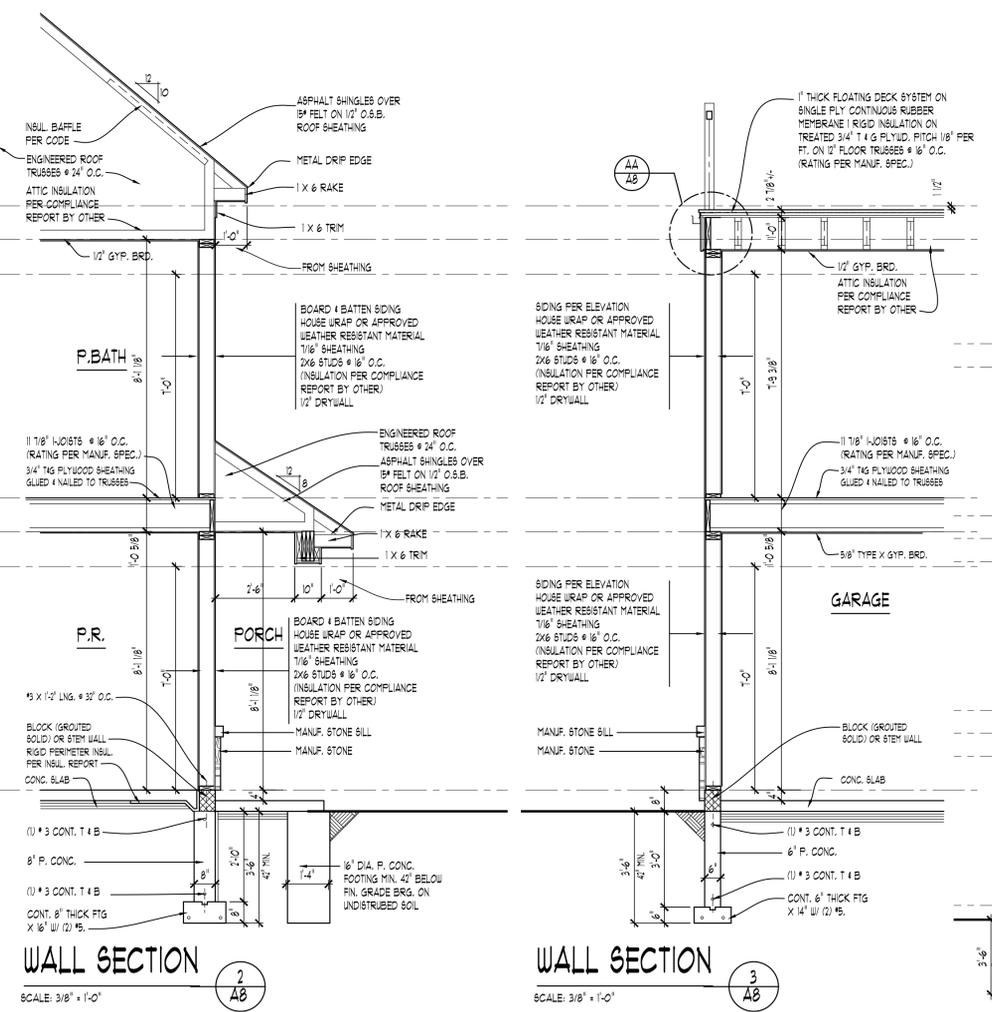
SHEET #
A6



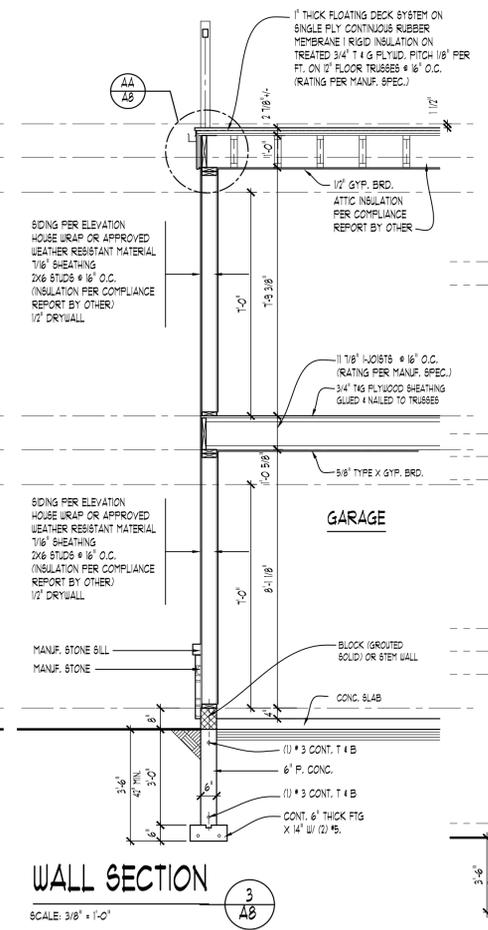
DECK SECTION
SCALE: 1" = 1'-0"
AA
A8



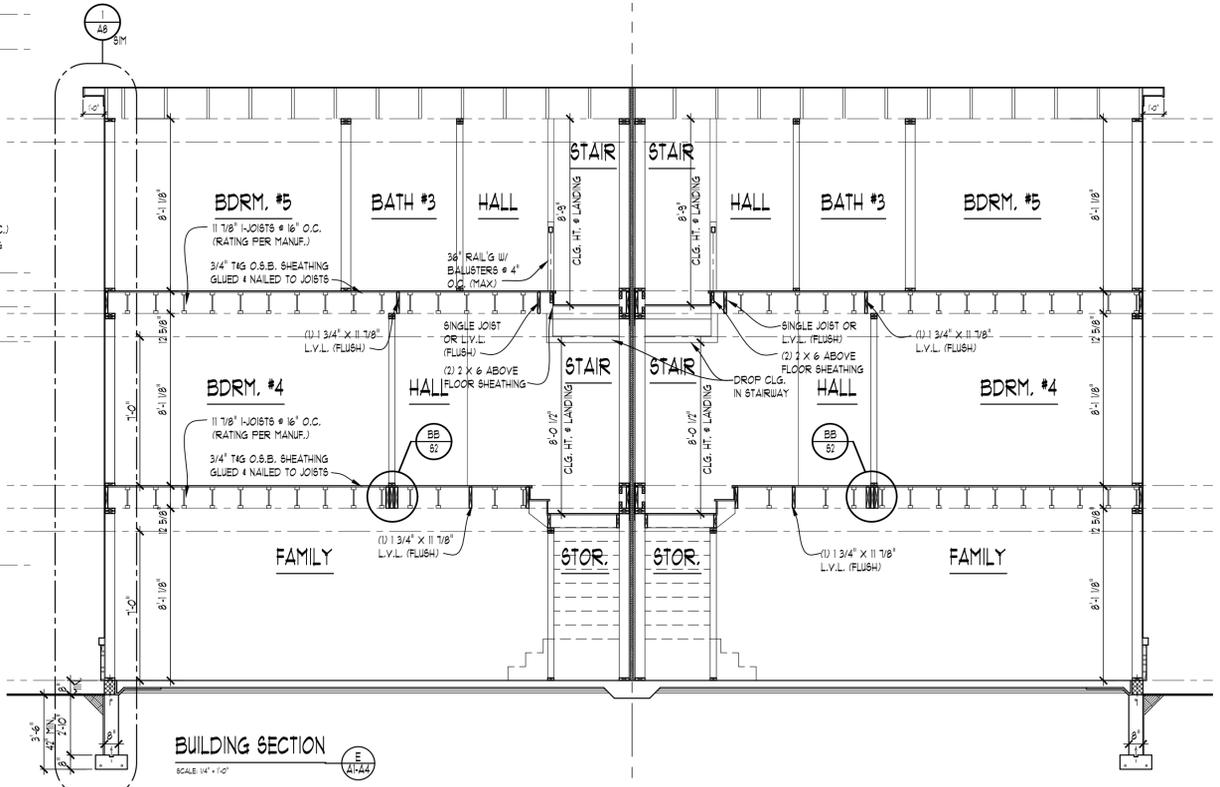
WALL SECTION
SCALE: 3/8" = 1'-0"
1
AB



WALL SECTION
SCALE: 3/8" = 1'-0"
2
AB



WALL SECTION
SCALE: 3/8" = 1'-0"
3
AB



BUILDING SECTION
SCALE: 1/4" = 1'-0"
E
1/4



WWW.TKHOMEDESIGN.COM
40200 GRAND RIVER AVE
SUITE 300
NOVI, MI 48375
PHONE: (248)-446-1960
FAX: (248)-446-1961

COPYRIGHT 2017 TK DESIGN AND ASSOCIATES
DO NOT SCALE DRAWINGS OR CALCULATE DIMENSIONS ONLY
CONSTRUCTOR TO FIELD VERIFY ALL DRAWING ASPECTS BEFORE
CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
REPORTED TO THE DESIGNER IN WRITING IMMEDIATELY.
CALL (248) 446-1960 24 HOURS FROM DATE OF ANY EXCAVATION
CONSTRUCTION TO THE SOLE RESPONSIBILITY OF THE FIRM/HOUSEHOLD.

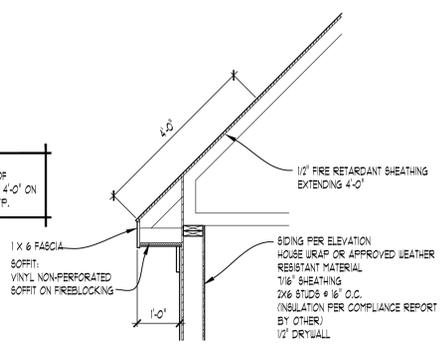
CLIENT / PROJECT
GREAT LAKE
REALTY
DUPLEX
301 JACKSON AVE,
GRAND HAVEN,
MI-49417

JOB No. 25-195
DRAWN: SP
CHECKED: AG
FRAMED: PAP
REVISED: 8-27-25
FINAL: 10-9-25
▲ PORCH REV 1/20/26

SCALE:
PER PLAN

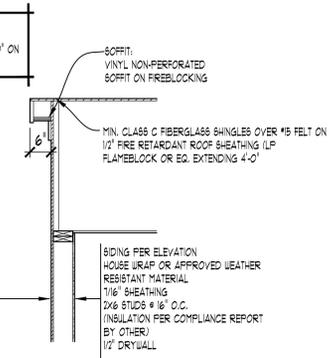
SHEET #
A8

NOTE: PROVIDE 1 HR. FIRE RATED ROOF SHEATHING IN ALL AREAS WITHIN 4'-0" ON EA. SIDE OF DENISING WALL - TYP.



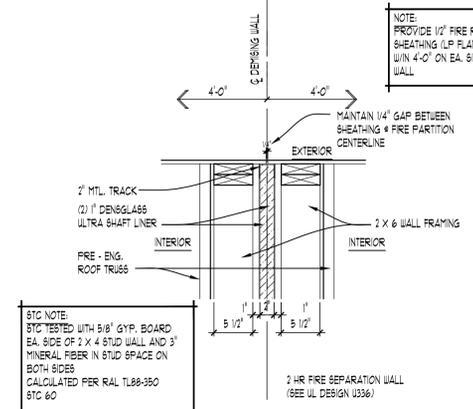
FIRE RATED OVERHANG ASSEMBLY @ SOFFIT
SCALE: 1/2" = 1'-0" (61)

NOTE: PROVIDE 1 HR. FIRE RATED ROOF SHEATHING IN ALL AREAS WITHIN 4'-0" ON EA. SIDE OF DENISING WALL - TYP.

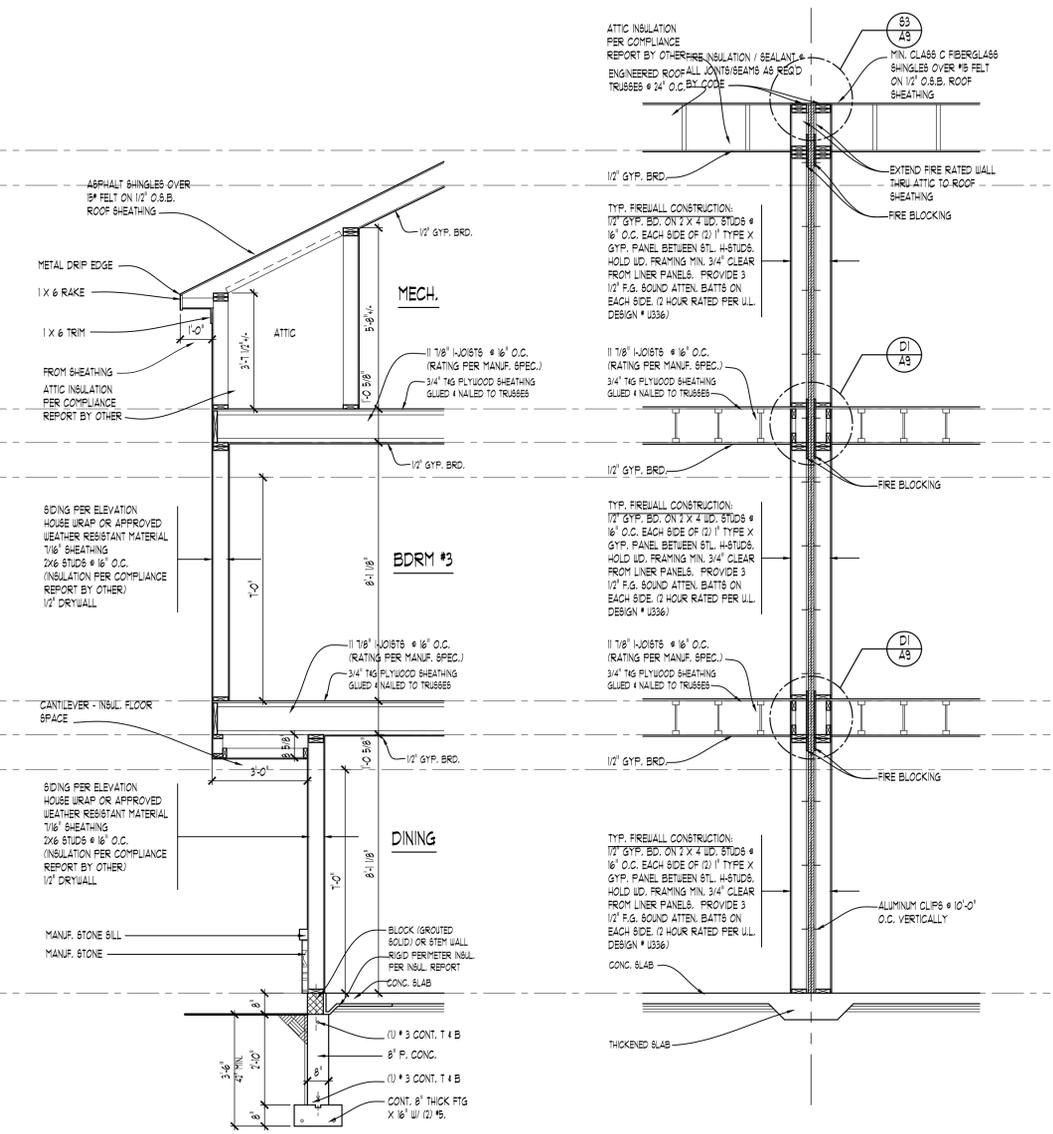


FIRE RATED OVERHANG ASSEMBLY @ RAKE
SCALE: 1/2" = 1'-0" (62)

NOTE: PROVIDE 1/2" FIRE RETARDANT ROOF SHEATHING (LP FLAMEBLOCK OR EQ.) WITHIN 4'-0" ON EA. SIDE OF DENISING WALL.

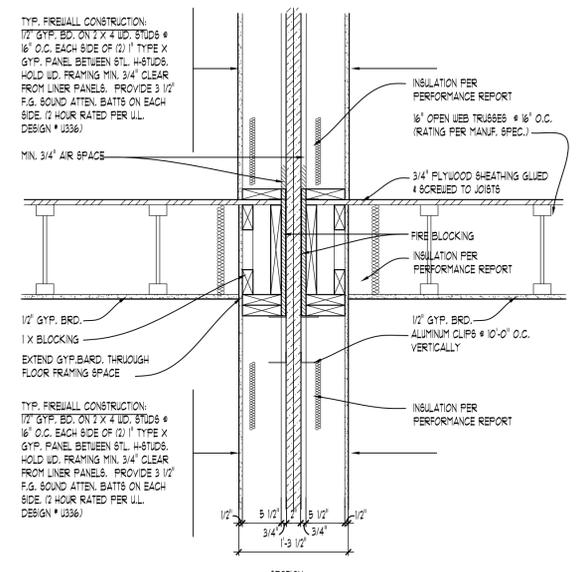


FIREWALL DETAIL @ ROOF SHEATHING
SCALE: 1" = 1'-0" (63)

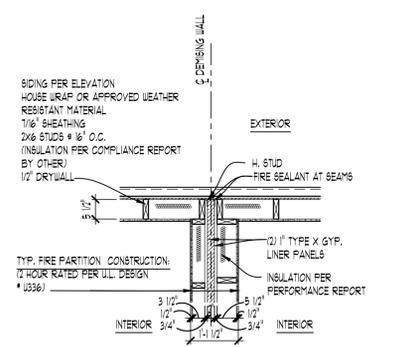


WALL SECTION 4
SCALE: 3/8" = 1'-0" (48)

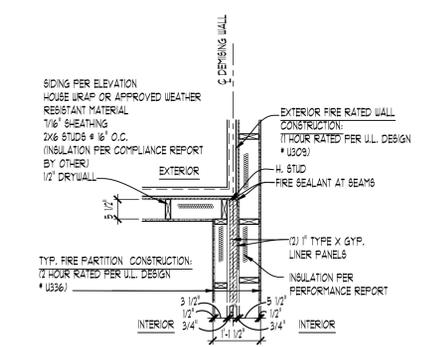
WALL SECTION 5
SCALE: 3/8" = 1'-0" (48)



CONNECTION DETAIL
SCALE: 1" = 1'-0" (D1)



INTERSECTION DETAIL @ SEPARATION WALL TO EXTERIOR WALL
SCALE: 1/2" = 1'-0" (P1)



INTERSECTION DETAIL @ SEPARATION WALL TO EXTERIOR WALL
SCALE: 1/2" = 1'-0" (P2)

FIRE RATED UL ASSEMBLY DESCRIPTIONS:

2-HOUR AREA SEPARATION WALL	<p>GA FILE NO. A5W 0991 / UL DESIGN U336</p> <p>GYP. WALL BOARD, STEEL H STUDS Two layers 1" x 24" proprietary type X gypsum panels inserted between 2" floor and ceiling runners with 2" steel H studs between adjacent pairs of gypsum panels (NLB)</p> <p>A 3/4 inch minimum air space must be maintained between steel components and adjacent framing. As an alternate to an air space, the steel components are covered with 6" wide battens of 1/2" gypsum board or 1" mineral fiber insulation. As an alternate to battens, one or both faces of the separation wall are covered with 1" mineral fiber insulation stapled to the gypsum liner panel or 1/2" regular gypsum board screw attached to the steel components.</p> <p>Sound tested with 2 x 6" stud wall faced with 1/2" regular gypsum wall board each side of assembly and 3" mineral fiber in stud space on both sides</p> <p>Height limitation 66 feet</p> <p>PROPRIETARY GYP. WALL BOARD United States Gypsum Company 1" SHEETROCK Brand Gypsum Liner Panels</p> <p>Thickness: 5 1/2" (Fire) 11-3/4" (Sound) Approx. weight: 9 psf UL Test: UL R1318, OSNKL605, 3-3-03 UL Design U336 EAL TL88-350 3-D-88 (60-64 STC)</p> <p>Sound Test: * Greater stud sizes (depths) shall be permitted to be used in metal or wood stud systems per Note * 18 under General Explanatory Notes within the GA-600 2015 Fire Resistance Design Manual</p>
1-HOUR EXTERIOR WALL	<p>GA FILE NO. WF 8105 / UL DESIGN U309</p> <p>GYP. WALL BOARD, GYP. SHEATHING, WOOD STUDS</p> <p>EXTERIOR SIDE: One layer 5/8" Type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1-3/4" galvanized roofing nails 4" o.c. at vertical joints and 1" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.</p> <p>INTERIOR SIDE: One layer 5/8" Type X gypsum wallboard, water resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1-1/8" long, 0.0935" shank, 1/4" o.c. (LOAD-BEARING)</p> <p>Thickness: varies Approx. weight: 1 psf Fire Test: See WF3510 (UL Design U309)</p>



WWW.TKHOMEDESIGN.COM
40200 GRAND RIVER AVE
SUITE 300
NOVI, MI 48375
PHONE: (248)-446-1960
FAX: (248)-446-1961

COPYRIGHT 2015 TK DESIGN AND ASSOCIATES
DO NOT SCALE DRAWINGS OR CALCULATE DIMENSIONS ONLY
CONTRACTOR TO VERIFY ALL DRAWING ASPECTS BEFORE
CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
REPORTED TO THE DESIGNER IN WRITING IMMEDIATELY.
CALL (248) 446-1960 24 HOURS FROM THE DATE OF ANY EXCAVATION
CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE FIREWALLER.

CLIENT / PROJECT
GREAT LAKE REALITY
DUPLEX
301 JACKSON AVE,
GRAND HAVEN,
MI-49417

JOB No. 25-195
DRAWN: SP
CHECKED: AG
FRAMED: PAP
REVIEW: 8-27-25
FINAL: 10-9-25
PORCH REV 1-20-26

SCALE:
PER PLAN

SHEET #
A9

NOTE:
 PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

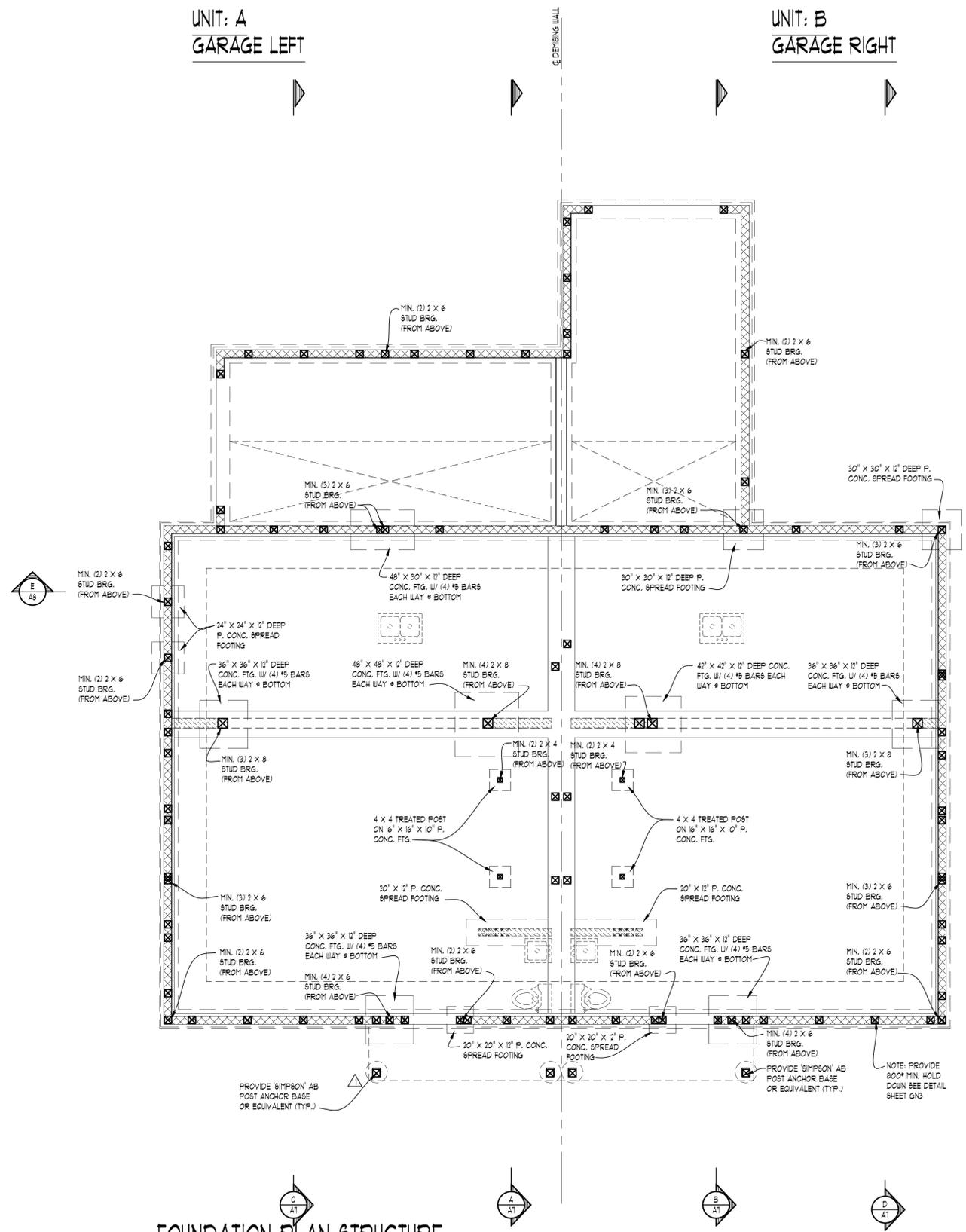
NOTE:
 PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
 PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:
 GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE:
 WOOD BEAM
 STEEL BEAM
 BRG. WALL
 BRG. WALL ABOVE
 BRG. WALL & BRG. WALL ABOVE
 POINT LOAD
 POINT LOAD FROM ABOVE

- STRUCTURAL SHEATHING NOTES:**
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 115 M.P.H. OR LESS
 - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 IRC CODE
 - BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.13
 - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-UBP METHOD AS PRESCRIBED IN SECTION R602.10.4 (I.N.O.)
 - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
 - LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-UBP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5
- 1) PROVIDE 6d COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
- 2) R403.1.6. WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.10.1
- 3) SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-PF) SHEET GNS FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 3" X 11 1/4" SOLID SAUN OR LAMINATED VENEER LUMBER (L.V.L.)



FOUNDATION PLAN STRUCTURE
 SCALE: 1/4" = 1'-0"



WWW.TKHOMEDSIGN.COM
 40200 GRAND RIVER AVE
 SUITE 300
 NOVI, MI 48375
 PHONE: (248)-446-1960
 FAX: (248)-446-1961

COPYRIGHT 2023 TK DESIGN AND ASSOCIATES
 DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.
 CONTRACTOR TO VERIFY ALL DRAWING ASPECTS BEFORE
 CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
 REPORTED TO THE DESIGNER IN WRITTEN FORM IMMEDIATELY.
 CALL 800-446-1961 PRIOR TO ANY FIELDWORK.
 CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER.

CLIENT / PROJECT
 GREAT LAKE
 REALTY
 DUPLEX
 301 JACKSON AVE,
 GRAND HAVEN,
 MI-49417

JOB No. 25-195
DRAWN: SP
CHECKED: AG
FRAMED: PAP
REVIEW: 8-27-25
FINAL: 10-9-25
 △ PORCH REV 1-20-26

SCALE:
 PER PLAN

SHEET #
 S-1

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

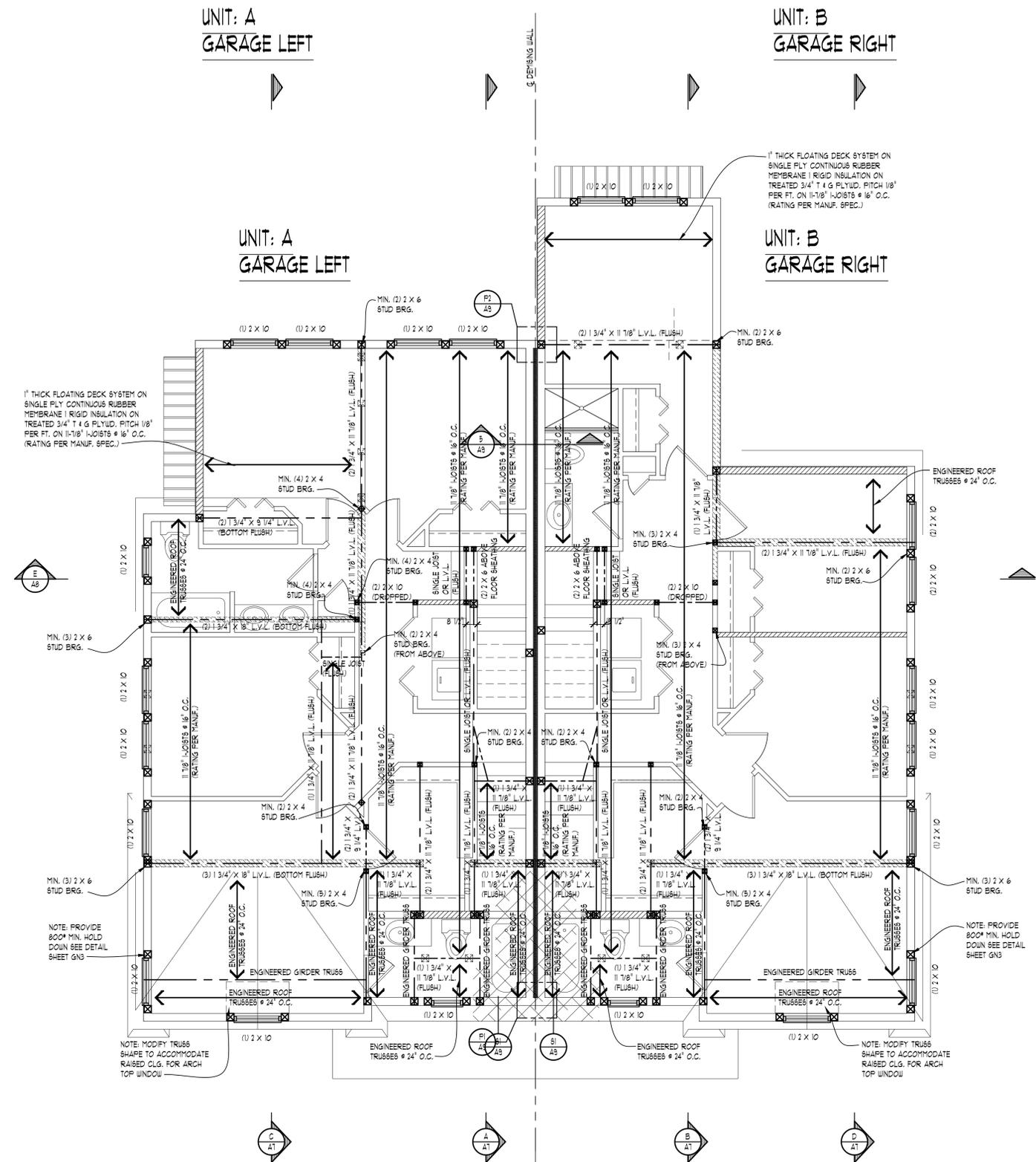
NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:
GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE:
WOOD BEAM
STEEL BEAM
BRG. WALL
BRG. WALL ABOVE
BRG. WALL & BRG. WALL ABOVE
POINT LOAD
POINT LOAD FROM ABOVE

- STRUCTURAL SHEATHING NOTES:**
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 115 M.P.H. OR LESS
 - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 IRC CODE
 - BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.13
 - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-UBP METHOD AS PRESCRIBED IN SECTION R602.10.4 (I.N.O.)
 - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
 - LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-UBP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5
- PROVIDE 6d COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
 - R403.1.6. WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.3(1)
 - SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-PF) SHEET GN-3 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 3" X 11 1/4" SOLID SAUN OR LAMINATED VENEER LUMBER (L.V.L.)



SECOND FLOOR PLAN STRUCTURE
SCALE: 1/4" = 1'-0"

1-20-26

DESIGN
 CREATIVE COLLABORATIVE

WWW.TKHOMEDESIGN.COM
 40200 GRAND RIVER AVE
 SUITE 300
 NOVI, MI 48375
 PHONE: (248)-446-1960
 FAX: (248)-446-1961

COPYRIGHT 2025 TK DESIGN AND ASSOCIATES
 DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.
 CONTRACTOR TO VERIFY ALL DRAWING ASPECTS BEFORE
 CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
 REPORTED TO THE DESIGNER IN WRITTEN FORM IMMEDIATELY.
 CALL 482-6348-4848 TO 1-248-1961 FOR ANY REVISIONS.
 CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER.

CLIENT / PROJECT
 GREAT LAKE
 REALTY
 DUPLEX
 301 JACKSON AVE,
 GRAND HAVEN,
 MI-49417

JOB No. 25-195
DRAWN: SP
CHECKED: AG
FRAMED: PAP
REVIEW: 8-27-25
FINAL: 10-9-25
 ▲ PORCH REV 1-20-26

SCALE:
 PER PLAN

SHEET #
S-3

NOTE:
 PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

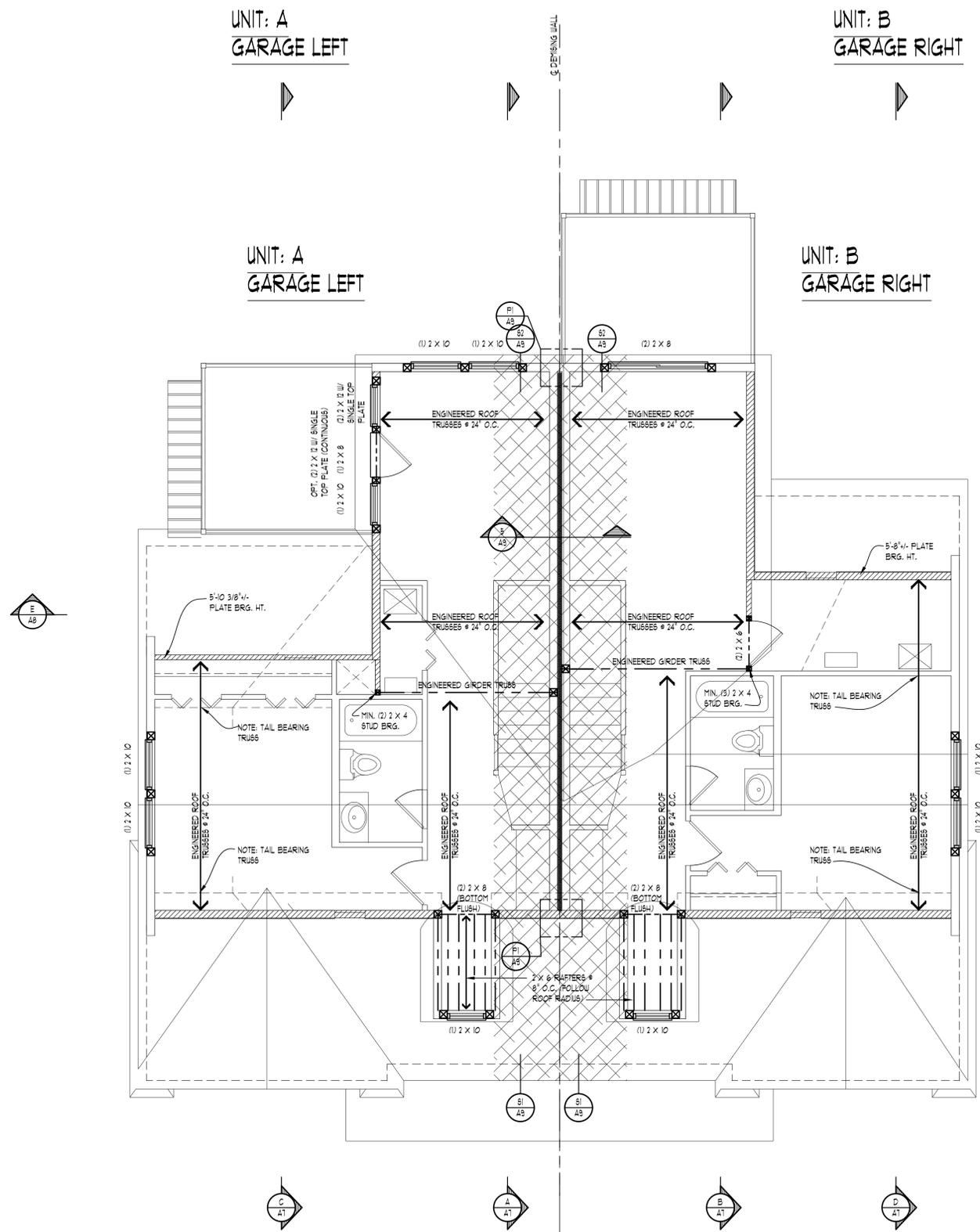
NOTE:
 PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
 PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:
 GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE:
 WOOD BEAM
 STEEL BEAM
 BRG. WALL
 BRG. WALL ABOVE
 BRG. WALL & BRG. WALL ABOVE
 POINT LOAD
 POINT LOAD FROM ABOVE

- STRUCTURAL SHEATHING NOTES:**
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 115 M.P.H. OR LESS
 - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 IRC CODE
 - BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.13
 - EXTERIOR BRACED WALL PANELS (BWPP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-UBP METHOD AS PRESCRIBED IN SECTION R602.10.4 (I.N.O.)
 - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
 - LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-UBP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5
- PROVIDE 6d COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
 - R403.1.6. WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.3(1)
 - SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-PF) SHEET GN-3 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 3" X 11 1/4" SOLID SAUN OR LAMINATED VENEER LUMBER (L.V.L.)



1-20-26

DESIGN
 CREATIVE COLLABORATIVE

WWW.TKHOMEDESIGN.COM
 40200 GRAND RIVER AVE
 SUITE 300
 NOVI, MI 48375
 PHONE: (248)-446-1960
 FAX: (248)-446-1961

COPYRIGHT 2025 BY DESIGN AND ASSOCIATES
 DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.
 CONTRACTOR TO VERIFY ALL DRAWING ASPECTS BEFORE
 CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
 REPORTED TO THE DESIGNER IN WRITTEN FORM IMMEDIATELY.
 CALL (248) 446-1961 TO VERIFY PRIOR TO ANY REVISION.
 CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER.

CLIENT / PROJECT
 GREAT LAKE
 REALTY
 DUPLEX
 301 JACKSON AVE,
 GRAND HAVEN,
 MI-49417

JOB No.	25-195
DRAWN:	SP
CHECKED:	AG
FRAMED:	PAP
REVIEW:	8-27-25
FINAL:	10-9-25
△ PORCH REV	1-20-26

SCALE:
 PER PLAN

SHEET #
S-4

BRACED WALL PANEL LEGEND:

- EXTERIOR WALLS WITH STRUCTURAL SHEATHING (CS-WSP METHOD)
- STRUCTURAL SHEATHING NOTES:
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 115 M.P.H. OR LESS
 - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 IBC CODE
 - BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3(1)
 - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-WSP METHOD AS PRESCRIBED IN TABLE R602.10.4 (U.N.O.)
 - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
 - LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-WSP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5
 - PROVIDE 6d COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

- BRACED WALL WITH CONTINUOUS PORTAL FRAME (CS-PF METHOD)
- CONTINUOUS PORTAL FRAME NOTES:
- HEADER PROVIDED MUST BE MINIMUM 2" X 11 1/4" SOLID SAUN OR LAMINATED VENEER LUMBER (L.V.L.) SEE SHEET GN-1 FOR CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL.

NOTE:
R403.1.6 WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.3(1)

- BRACING METHOD LIB PER IBC R602.10
- BRACING METHOD GB PER IBC R602.10

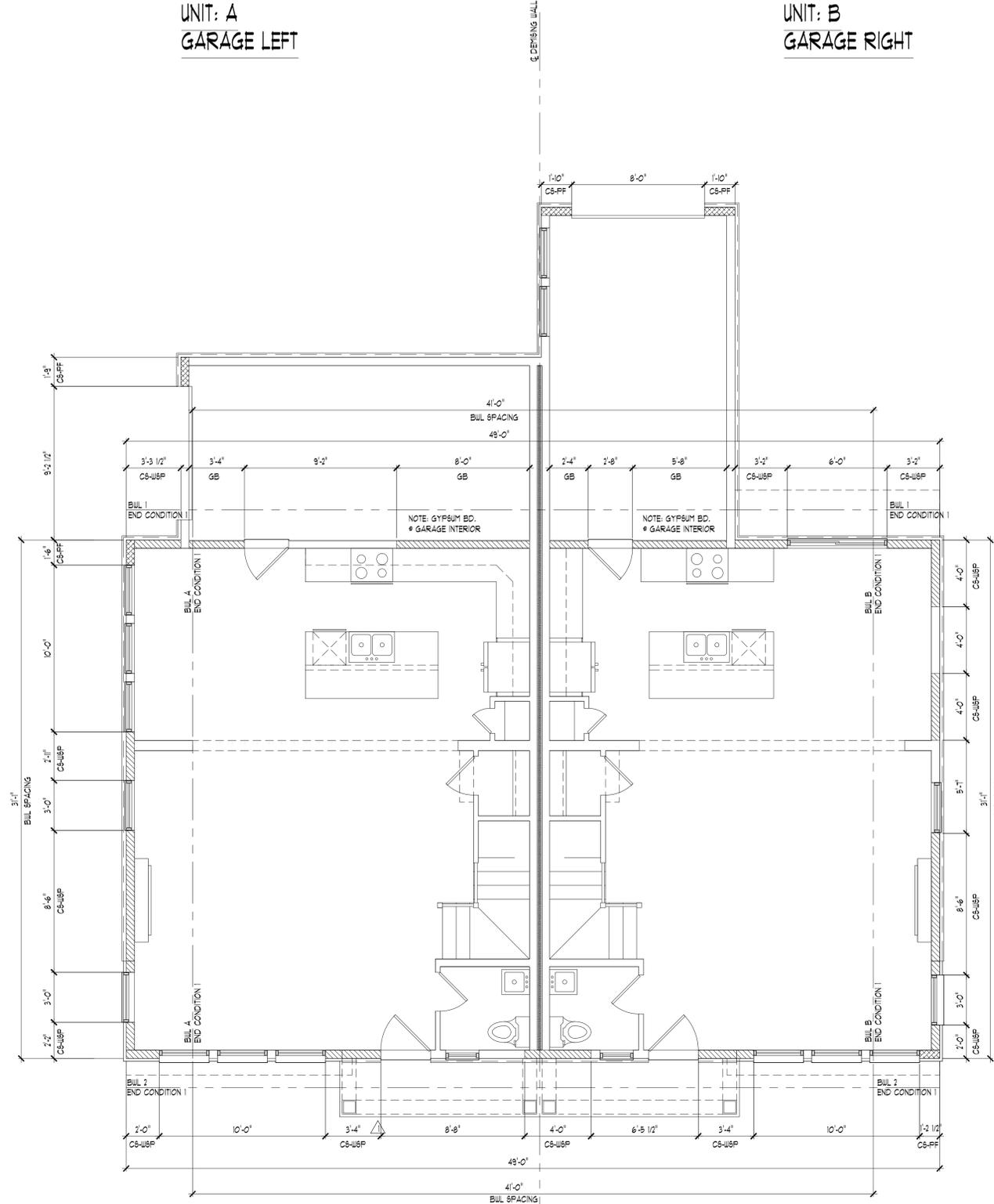
CONTINUOUS METHOD NOTE:

END CONNECTIONS FOR CONTINUOUS METHOD OF BRACING SHALL COMPLY WITH IBC SECTION R602.10.7. REFER TO DETAIL AND NOTES ON BW SHEETS

WALL BRACING PLAN														
PER TABLE R602.10.3(2)														
ULTIMATE DESIGN WIND SPEED: 115 MPH														
WIND ADJUSTMENT FACTORS TO THE REQUIRED LENGTH OF WALL BRACING														
BWL	AVERAGE SPACING	STORY LOCATION	EXPOSURE			ROOF EAVE TO RIDGE HT.	WALL HEIGHT	NUMBER OF BWLS PER DIRECTION	ADDITIONAL BOOM HOLD DOWN DEVICE	INTERIOR GYPSUM BD. FINISH	MINIMUM BRACING REQUIRED	TOTAL WALL BRACING REQUIRED	TOTAL WALL BRACING PROVIDED	
			B	C	D									
A	41		1.0	x	1.07	x	.90	x	1.0	x	x	17.4	= 16.75	18.47
B	41		1.0	x	1.07	x	.90	x	1.0	x	x	17.4	= 16.75	18.5
C	49		1.0	x	1.07	x	.90	x	1.0	x	x	13.75	= 13.24	16.54
D	49		1.0	x	1.07	x	.90	x	1.0	x	x	13.75	= 13.24	15.08
E	49		1.0	x	1.07	x	.90	x	1.0	x	x	7.35	= 7.08	8.25
F	49		1.0	x	1.07	x	.90	x	1.0	x	x	7.35	= 7.08	8.25
1	31.08		1.0	x	1.07	x	.90	x	1.0	x	x	27.86	= 26.83	28.96
2	31.08		1.0	x	1.07	x	.90	x	1.0	x	x	13.43	= 12.94	14.48
3	39.04		1.0	x	1.07	x	.90	x	1.0	x	x	11.25	= 10.83	12.75
4	39.04		1.0	x	1.07	x	.90	x	1.0	x	x	11.25	= 10.83	20.0
5	33.33		1.0	x	1.07	x	.90	x	1.0	x	x	5.0	= 4.82	5.18
6	33.33		1.0	x	1.07	x	.90	x	1.0	x	x	10.5	= 10.12	12.02

UNIT: A
GARAGE LEFT

UNIT: B
GARAGE RIGHT



FIRST FLOOR BRACED WALL PLAN

SCALE: 1/4" = 1'-0"



1-20-26



DESIGN
CREATIVE COLLABORATIVE

WWW.TKHOMEDESIGN.COM
40200 GRAND RIVER AVE
SUITE 300
NOVI, MI 48375
PHONE: (248)-446-1960
FAX: (248)-446-1961

COPYRIGHT 2017 TK DESIGN AND ASSOCIATES
DO NOT SCALE DRAWINGS OR CALCULATE DIMENSIONS ONLY
CONSTRUCTION TO BE VERIFIED BY ALL BRACING ASPECTS BEFORE
CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
REPORTED TO THE DESIGNER IN WRITING IMMEDIATELY.
CALL MSJ.DOC AT 800.482.7271 3 DAYS PRIOR TO ANY EXCAVATION
CONSTRUCTION. THE SOLE RESPONSIBILITY OF THE PRIME CONTRACTOR.

CLIENT / PROJECT
GREAT LAKE
REALITY
DUPLEX
301 JACKSON AVE,
GRAND HAVEN,
MI-49417

JOB No. 25-195

DRAWN: SP
CHECKED: AG
FRAMED: PAP

REVIEW: 8-27-25
FINAL: 10-9-25

△ PORCH REV 1-20-26

SCALE:
PER PLAN

SHEET #
BW-1

BRACED WALL PANEL LEGEND:

EXTERIOR WALLS WITH STRUCTURAL SHEATHING (CS-USP METHOD)

STRUCTURAL SHEATHING NOTES:

- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 115 M.P.H. OR LESS
- WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 IRC CODE
- BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3(1)
- EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-USP METHOD AS PRESCRIBED IN TABLE R602.10.4 (U.N.O.)
- ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6D COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
- LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-USP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5
- PROVIDE 6D COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

BRACED WALL WITH CONTINUOUS PORTAL FRAME (CS-PF METHOD)

CONTINUOUS PORTAL FRAME NOTES:

- HEADER PROVIDED MUST BE MINIMUM 2" x 11/4" SOLID SAUN OR LAMINATED VENEER LUMBER (L.V.L.) SEE SHEET GN-1 FOR CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL.

NOTE:
R403.1.6 WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.3(1)

BRACING METHOD LIB PER IRC R602.10

BRACING METHOD GB PER IRC R602.10

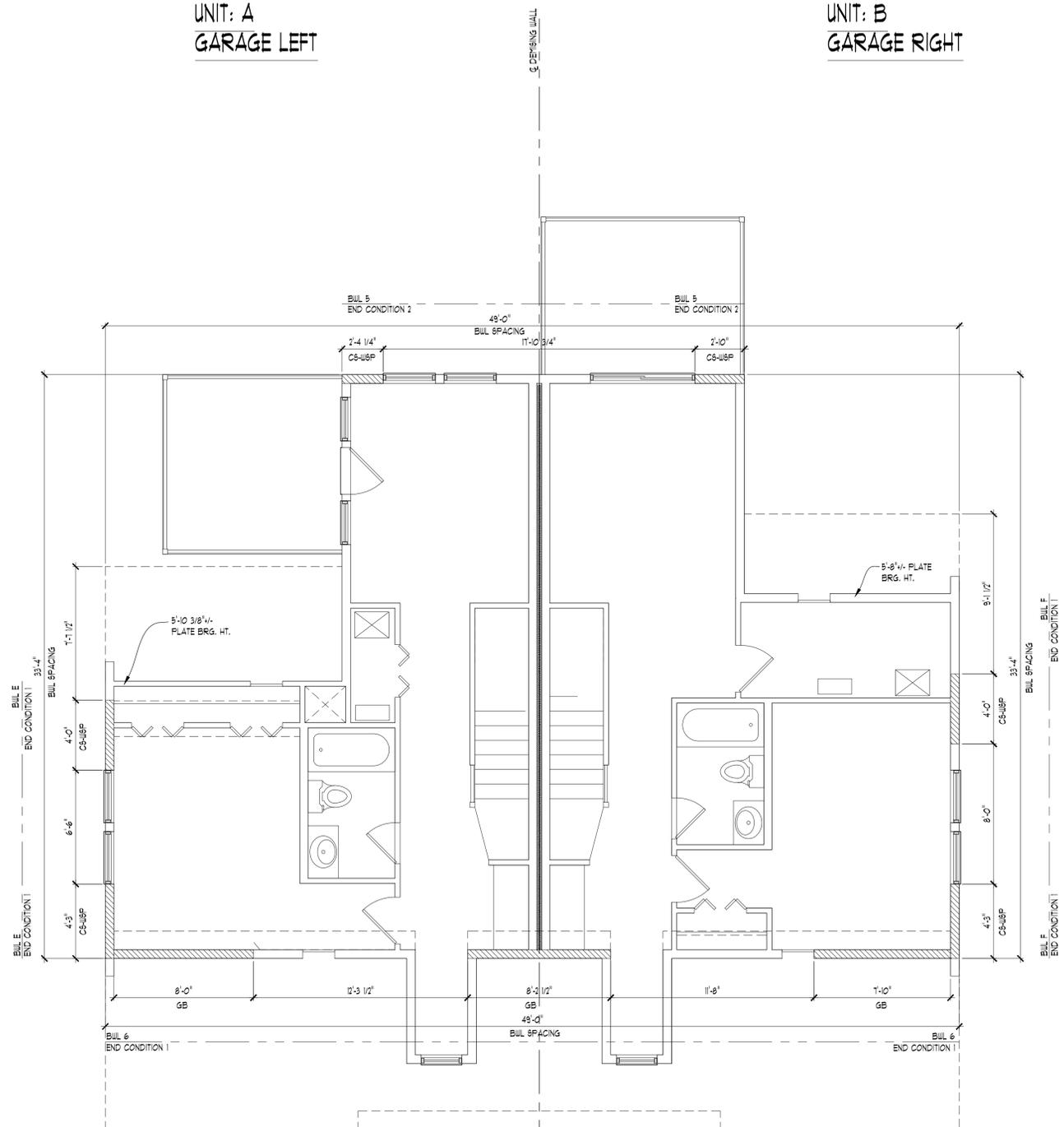
CONTINUOUS METHOD NOTE:

END CONNECTIONS FOR CONTINUOUS METHOD OF BRACING SHALL COMPLY WITH IRC SECTION R602.10.7. REFER TO DETAIL AND NOTES ON BW SHEETS

WALL BRACING PLAN												PER TABLE R602.10.3(2)			
ULTIMATE DESIGN WIND SPEED: 115 MPH															
WIND ADJUSTMENT FACTORS TO THE REQUIRED LENGTH OF WALL BRACING															
BWL	AVERAGE SPACING	STORY LOCATION	EXPOSURE			ROOF EAVE TO RIDGE HT.	WALL HEIGHT	NUMBER OF BWL'S PER DIRECTION	ADDITIONAL 800# HOLD DOWN DEVICE	INTERIOR GYPSUM BD. FINISH	MINIMUM BRACING REQUIRED	TOTAL WALL BRACING REQUIRED	TOTAL WALL BRACING PROVIDED		
			B	C	D										
A	41		1.0	x	1.07	x	.90	x	1.0	x	x	17.4	=	16.75	18.47
B	41		1.0	x	1.07	x	.90	x	1.0	x	x	17.4	=	16.75	18.5
C	49		1.0	x	1.07	x	.90	x	1.0	x	x	13.75	=	13.24	16.54
D	49		1.0	x	1.07	x	.90	x	1.0	x	x	13.75	=	13.24	15.08
E	49		1.0	x	1.07	x	.90	x	1.0	x	x	7.35	=	7.08	8.25
F	49		1.0	x	1.07	x	.90	x	1.0	x	x	7.35	=	7.08	8.25
1	31.08		1.0	x	1.07	x	.90	x	1.0	x	x	27.86	=	26.83	28.96
2	31.08		1.0	x	1.07	x	.90	x	1.0	x	x	13.43	=	12.94	14.48
3	39.04		1.0	x	1.07	x	.90	x	1.0	x	x	11.25	=	10.83	12.75
4	39.04		1.0	x	1.07	x	.90	x	1.0	x	x	11.25	=	10.83	20.0
5	33.33		1.0	x	1.07	x	.90	x	1.0	x	x	5.0	=	4.82	5.18
6	33.33		1.0	x	1.07	x	.90	x	1.0	x	x	10.5	=	10.12	12.02

UNIT: A
GARAGE LEFT

UNIT: B
GARAGE RIGHT



THIRD FLOOR BRACED WALL PLAN

SCALE: 1/4" = 1'-0"



1-20-26



DESIGN
CREATIVE COLLABORATIVE

WWW.TKHOMEDESIGN.COM
40200 GRAND RIVER AVE
SUITE 300
NOVI, MI 48375
PHONE: (248)-446-1960
FAX: (248)-446-1961

COPYRIGHT 2015 TK DESIGN AND ASSOCIATES
DO NOT SCALE DRAWINGS OR CALCULATE DIMENSIONS ONLY
CONSTRUCTION DIMENSIONS SHALL BE SHOWN IN WRITING
CONSTRUCTION DISCREPANCIES AND DESIGN CHANGES SHALL BE
REPORTED TO THE DESIGNER IN WRITING IMMEDIATELY
CALL 482.9271 3 DAYS PRIOR TO ANY EXCAVATION
CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PROFESSIONAL

CLIENT / PROJECT
GREAT LAKE
REALTY
DUPLEX
301 JACKSON AVE,
GRAND HAVEN,
MI-49417

JOB No. 25-195

DRAWN: SP
CHECKED: AG
FRAMED: PAP

REVIEW: 8-27-25
FINAL: 10-9-25

△ PORCH REV 1-20-26

SCALE:
PER PLAN

SHEET #
BW-3



GREATLAKE CONSTRUCTION

SPECIAL LAND USE NARRATIVE

301 Jackson Avenue – Proposed Duplex

City of Grand Haven, OT – Old Town District

Applicant: Great Lakes Michigan Construction LLC

Property Owner: Great Lakes Michigan Holding, LLC

Representative: Mike Kalis

Parcel: 700-320-282-002

Zoning: OT – Old Town

1. Project Description

The applicant proposes construction of one duplex residential building at 301 Jackson Avenue in the OT (Old Town) zoning district. A duplex is permitted in the OT district subject to Special Land Use approval under Sec. 40-526 and compliance with Sec. 40-116.03.

The proposed structure consists of:

- Two dwelling units
- Total building footprint: 2,070 sq ft
- Lot size: 5,940 sq ft
- Lot coverage: 34.84% (within 35% maximum)

GHO001 - Blueprint

- Building height: 35 feet (meets OT maximum)

GHO001 - Blueprint

- Front porch: 80 sq ft (meets required porch standard)

GHO001 - Blueprint

- Parking: Two 1-car garages plus three additional off-street parking spaces
- Each unit includes five bedrooms and three bathrooms

The structure is designed to meet all dimensional standards of the OT district including setbacks (Front 10', Rear 15', Side 6' / 16' total)

GHO001 - Blueprint

2. Compliance with Section 40-116.03

General Special Land Use Review Standards

A. Compatibility with Adjacent Uses

The proposed duplex is consistent with the surrounding neighborhood character. Immediately:

- A duplex has been approved and is under construction to the south.
- Multifamily residential has been approved to the north.

The proposed use therefore represents a continuation of established and approved residential density patterns within the immediate area. The scale, massing, and architectural detailing (board and batten siding, stone accents, articulated rooflines) are residential in character and compatible with adjacent structures

(See Proposed Blue Print)

B. Compliance with Zoning District Regulations (Sec. 40-526)

The proposed development complies with OT district standards:

Requirement	Required	Proposed	Status
Front Setback	10'	10'	Complies
Rear Setback	15'	15'	Complies
Side Setback	6' / 16' total	Meets requirement	Complies
Lot Coverage	35% max	34.84%	Complies
Height	35' max	35'	Complies
Porch	Required	80 sq ft provided	Complies

The design adheres to the dimensional and design parameters of the OT district and has been custom designed with TK Design to meet these needs and requirements.

C. Public Health, Safety and Welfare

The project promotes residential housing opportunities within walking distance to downtown and services, consistent with the intent of the Old Town district.

The building is fully code-compliant under the Michigan Residential Code and incorporates:

- Required fire separation between units
- Code-compliant egress windows
- Fire-rated demising wall construction
- Required insulation and energy standards (Climate Zone 6A)

There are no hazardous operational characteristics associated with the use.

D. Traffic Safety and Circulation

Traffic impacts are minimal due to:

- Only two residential units
- Standard residential occupancy levels

To proactively address potential parking or congestion concerns:

- Two enclosed garages are provided (1 per unit)
- Three additional driveway parking spaces are provided
- Driveway width and layout allow adequate maneuvering without reliance on street parking

The site plan demonstrates sufficient paved area to prevent overflow parking impacts to Jackson Avenue or 3rd Street.

Given the small scale (two units), traffic generation will be comparable to two single-family homes.

E. Utilities and Infrastructure

The project connects to existing municipal water and sanitary sewer systems. No extension of infrastructure is required.

Stormwater will be managed in compliance with City engineering requirements. The relatively small footprint (34.84% coverage) preserves pervious surface area consistent with residential standards .

F. Environmental Impacts

The property is an existing platted residential lot

. There are:

- No dunes
- No shoreline
- No wetlands
- No protected natural features identified

A soil erosion control plan will be implemented during construction, including:

- Protective silt fencing around the perimeter of the disturbed area
- Stabilization of disturbed soils
- Compliance with Ottawa County Soil Erosion and Sedimentation Control requirements

No excessive noise, glare, odor, or environmental impact is anticipated beyond typical residential construction.

3. Compliance with Section 40-526

Specific Standards for Duplex in OT District

The proposed duplex:

1. Meets all dimensional requirements.
2. Maintains required porch frontage (80 sq ft provided).
3. Meets height limitation of 35 feet.
4. Meets maximum lot coverage of 35% (proposed 34.84%).
5. Provides adequate off-street parking (5 total spaces).
6. Maintains architectural compatibility with the district.

The massing, façade articulation, and material selections reflect residential architectural character appropriate for Old Town.

4. Required Impact Statement

A. Emergency Services

The addition of two dwelling units will not materially impact emergency services demand. Access is direct from existing public streets, and building design complies with fire separation standards

GHO001 - Blueprint

B. Schools

Two dwelling units represent a negligible impact on local school enrollment. The expected demographic profile is consistent with urban infill housing and comparable to two single-family homes.

C. Stormwater Systems

The lot coverage remains under 35%

GHO001 - Blueprint

, preserving pervious surface area. Stormwater will be managed in accordance with City engineering requirements. No unusual runoff conditions are anticipated.

D. Sanitary Sewer Facilities

The duplex will connect to existing municipal sanitary sewer. The incremental increase of two residential units is minimal and consistent with typical residential density.

E. Automobile and Truck Circulation Patterns

Construction traffic will be temporary. Long-term traffic generation will be limited to residential trips typical of two dwelling units.

The site provides:

- 2 enclosed garage spaces
- 3 driveway spaces

This exceeds minimum parking needs and reduces reliance on on-street parking.

F. Local Traffic Volumes

Traffic generation from two units is comparable to two single-family residences and will not materially increase local traffic volumes.

5. Additional Information

- Soil erosion protection will include silt fencing and stabilization measures.

- No dune, shoreline, or view protection issues are applicable.
 - Construction will comply with all applicable building and engineering codes.
 - No excessive noise or adverse impacts are anticipated beyond normal residential use.
-

6. Summary

The proposed duplex at 301 Jackson Avenue:

- Complies with OT district dimensional standards
- Meets Section 40-116.03 review criteria
- Provides compatible infill housing
- Minimizes traffic and infrastructure impact
- Enhances residential housing opportunities in proximity to downtown
- Is consistent with adjacent approved multifamily development

The applicant respectfully requests approval of the Special Land Use Permit.

DATE: March 6, 2026
TO: Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 26-06:** Site Plan Review of personal storage building – 1130 Jackson Ave.

Current Zoning: TI, Transitional Industrial
Existing Use: Vacant building and boat trailer storage
Proposed Use: Personal storage building

1.0 Request

Max Nykerk of *Lakewood Construction/Lakewood Architecture*, on behalf of property owner Robett Meeuwesen, submitted a site plan application for demolishing the existing vacant block building and constructing a personal storage building at 1130 Jackson Ave. (parcel #70-03-21-415-002). A personal storage building could be considered a warehouse and is a permitted use in the TI – Transitional Industrial District.

2.0 Site Plan Review

Removals

The applicant is proposing to demolish the building and all driveways and concrete parking on the parcel.

Building and Use

1130 Jackson Ave. sits on 0.98 acres. Much of the land is being used for boat trailer storage. The building dimensions are 65 ft. x 225 ft., for a total of 14,625 sq. ft. The building height is 30 ft., with a main floor and mezzanine level. The northwest corner will be cladding with clear glass windows, providing transparency for the main storage and private office. All setbacks in the TI district are met.

The south and north walls each have one 20 ft. x 26 ft. overhead door. The door size is intended to accommodate the storage of large boats. The east and west walls will have windows spaced periodically along the wall to satisfy the building articulation requirement in the TI district. The exterior finish and color will be denoted on the exterior finish schedule.

Sheet A121 denotes a 957 sq. ft. private office with a 63 sq. ft. restroom. It should be important to note this space should not be used as a dwelling unit or sleeping quarters. If the property owner elects to change the use, the necessary site plan and change of use approval would be required.

Site Access and Parking

The two existing driveways currently serving the site will be removed. The curb cut will be modified for a 26 ft. wide single drive. The asphalt drive will wrap around the west side of the building and to the rear allow for space for loading and unloading.

As a private storage unit, no parking is required. The site plan application states all parking spaces will be inside the building. The paved area located in front of the main door can serve as parking for those entering the private storage space in the northwest corner of the building.

Loading spaces

No loading space is required for the 14,625 sq. ft. building. However, one 10 ft. x 25 ft. loading space is located along the rear wall.



Street View

Stormwater Management

Sheet 2 of 3 denotes that stormwater will be directed to the 48 in. drywell located in the SE corner of the property and 24 in. yard drain located in the NW corner.

Landscaping and screening

With adjacent parcels zoned TI, there is no landscape screen requirement. However, street trees shall be planted every 25 ft., pursuant to Sec. 40-801. Per Sec. 40-322, all ground mechanical equipment shall be fenced or screened. All disturbed areas will be replaced with turfgrass and irrigated accordingly. A landscape plan should be submitted to provide planting location and detail.

Lighting and signage

The building will have wall pack lighting mounted at entry locations. The photometric plan provides lumen level details.

Dumpster

No dumpster will be located on site. All trash receptacles will remain inside the building

Signs

No signage is proposed.

Snow removal and storage

It is anticipated the applicant will remove and store snow in the rear portion of the paved area.

Water and Sewer

The building will utilize the existing sanitary and water service off Jackson Ave. for the proposed sanitary and water service lines to the building.



Aerial View

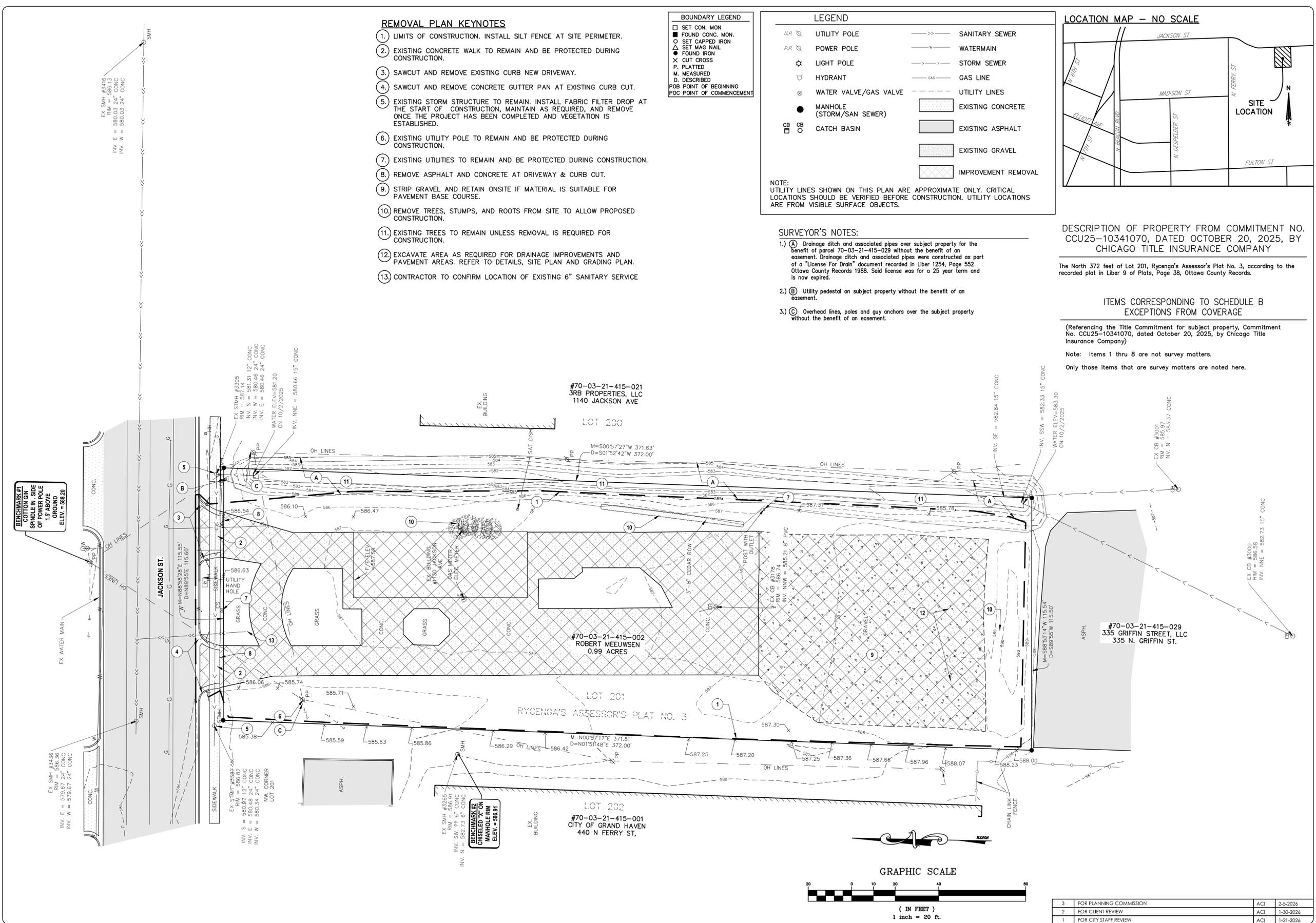
3.0 Sample Motion

Motion to APPROVE Case 26-06, a site plan review for a personal storage building at 1130 Jackson Ave. (parcel #70-03-21-415-002) with the following conditions:

1. *All conditions of the BLP, DPW and Fire Marshal shall be met.*
2. *Applicant shall submit a landscape plan to the City Planner for approval.*
3. *(Insert any additional conditions as necessary)*

Attachments:

- A. Site Plan Review application dated 2-09-2026
- B. Site Plan (3 sheets)
- C. Floor Plan and elevation plans (4 sheets)
- D. Site Photometric plan (2 sheets)



- ### REMOVAL PLAN KEYNOTES
- LIMITS OF CONSTRUCTION. INSTALL SILT FENCE AT SITE PERIMETER.
 - EXISTING CONCRETE WALK TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - SAWCUT AND REMOVE EXISTING CURB NEW DRIVEWAY.
 - SAWCUT AND REMOVE CONCRETE GUTTER PAN AT EXISTING CURB CUT.
 - EXISTING STORM STRUCTURE TO REMAIN. INSTALL FABRIC FILTER DROP AT THE START OF CONSTRUCTION, MAINTAIN AS REQUIRED, AND REMOVE ONCE THE PROJECT HAS BEEN COMPLETED AND VEGETATION IS ESTABLISHED.
 - EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - EXISTING UTILITIES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - REMOVE ASPHALT AND CONCRETE AT DRIVEWAY & CURB CUT.
 - STRIP GRAVEL AND RETAIN ONSITE IF MATERIAL IS SUITABLE FOR PAVEMENT BASE COURSE.
 - REMOVE TREES, STUMPS, AND ROOTS FROM SITE TO ALLOW PROPOSED CONSTRUCTION.
 - EXISTING TREES TO REMAIN UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION.
 - EXCAVATE AREA AS REQUIRED FOR DRAINAGE IMPROVEMENTS AND PAVEMENT AREAS. REFER TO DETAILS, SITE PLAN AND GRADING PLAN.
 - CONTRACTOR TO CONFIRM LOCATION OF EXISTING 6" SANITARY SERVICE

BOUNDARY LEGEND

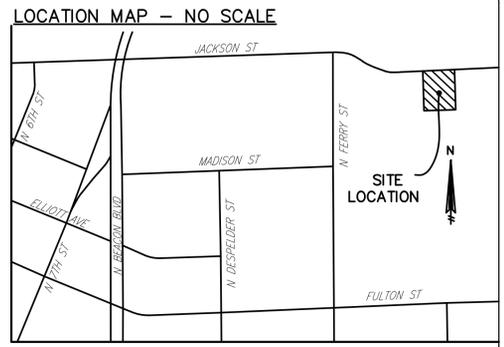
□	SET CON. MON.
■	FOUND CONC. MON.
○	SET CAPPED IRON
△	SET MAG NAIL
●	FOUND IRON
×	CUT CROSS
P.	PLATTED
M.	MEASURED
D.	DESCRIBED
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT

LEGEND

U.P.	UTILITY POLE	—>—>	SANITARY SEWER
P.P.	POWER POLE	— —	WATERMAIN
☆	LIGHT POLE	— —	STORM SEWER
⊕	HYDRANT	— —	GAS LINE
⊗	WATER VALVE/GAS VALVE	---	UTILITY LINES
●	MANHOLE (STORM/SAN SEWER)	▨	EXISTING CONCRETE
□	CATCH BASIN	▩	EXISTING ASPHALT
		▩	EXISTING GRAVEL
		▩	IMPROVEMENT REMOVAL

NOTE:
UTILITY LINES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. CRITICAL LOCATIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION. UTILITY LOCATIONS ARE FROM VISIBLE SURFACE OBJECTS.

- ### SURVEYOR'S NOTES:
- Drainage ditch and associated pipes over subject property for the benefit of parcel 70-03-21-415-029 without the benefit of an easement. Drainage ditch and associated pipes were constructed as part of a "License For Drain" document recorded in Liber 1254, Page 552 Ottawa County Records 1988. Said license was for a 25 year term and is now expired.
 - Utility pedestal on subject property without the benefit of an easement.
 - Overhead lines, poles and guy anchors over the subject property without the benefit of an easement.



DESCRIPTION OF PROPERTY FROM COMMITMENT NO. CCU25-10341070, DATED OCTOBER 20, 2025, BY CHICAGO TITLE INSURANCE COMPANY

The North 372 feet of Lot 201, Rycenga's Assessor's Plat No. 3, according to the recorded plat in Liber 9 of Plats, Page 38, Ottawa County Records.

ITEMS CORRESPONDING TO SCHEDULE B EXCEPTIONS FROM COVERAGE

(Referencing the Title Commitment for subject property, Commitment No. CCU25-10341070, dated October 20, 2025, by Chicago Title Insurance Company)
Note: Items 1 thru 8 are not survey matters.
Only those items that are survey matters are noted here.

ABONMACHE

South Bend
Cochran
Volcanario
Fl. Wayne
abonmache.com

Benton Harbor
Grand Haven
Grand Rapids
Lafayette

Engineering - Architecture - Land Surveying

GRAND HAVEN PRIVATE STORAGE

1130 JACKSON STREET
GRAND HAVEN, MI

EXISTING CONDITIONS AND REMOVALS PLAN

NOT FOR CONSTRUCTION

PROJECT: GRAND HAVEN PRIVATE STORAGE

SHEET TITLE: EXISTING CONDITIONS AND REMOVALS PLAN

DRAWN BY: TMV

DESIGNED BY: DM

PM REVIEW: []

QA/QC REVIEW: []

DATE: FEBRUARY 2026

SEAL: []

SIGNATURE: []

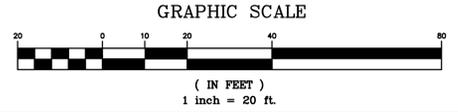
DATE: []

SCALE: HORZ: 1"=20' VERT: N/A

ACI JOB # 25-1621

SHEET NO. 1 of 3

3	FOR PLANNING COMMISSION	ACI	2-5-2026
2	FOR CLIENT REVIEW	ACI	1-30-2026
1	FOR CITY STAFF REVIEW	ACI	1-21-2026



SITE PLAN KEYNOTES

1. LIMITS OF CONSTRUCTION.
2. ASPHALT PAVEMENT (SEE DETAIL).
3. PROPOSED 35' WIDE DRIVEWAY WITH CONCRETE CURB AND GUTTER PER CITY R.O.W. PERMIT, BY CONTRACTOR.
4. INSTALL 2 PVC SLEEVES BURIED 36"-48" BELOW GRADE. ONE 4" CONDUIT FOR BLP ELECTRICAL LINE AND ONE CONDUIT FOR CHARTER COMMUNICATIONS. COORDINATE SIZE AND LOCATION OF PVC SLEEVES WITH UTILITY PROVIDERS.
5. UNDERGROUND ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE SIZE AND LOCATION OF PVC SLEEVE WITH ELECTRICAL PERMIT
6. REMOVE EXISTING WATER SERVICE AND REPLACE WITH 2" COPPER SERVICE.
7. CONCRETE APRON
8. INSTALL NEW 6" FIRE PROTECTION WATER SERVICE.
9. FIRE DEPARTMENT CONNECTION, COORDINATE WITH BUILDING MECHANICAL.
10. PROPOSED 4" PVC BUILDING SEWER, CONNECT TO EXISTING 6" SEWER SERVICE WITH CLEANOUT. CONNECT PROPOSED BUILDING TO EXISTING SANITARY SEWER SERVICE.
11. HEAVY TRAFFIC COMPATIBLE OIL-WATER SEPARATOR. COORDINATE SIZE AND INVERT ELEVATION WITH BUILDING MECHANICAL PLANS.
12. CONCRETE PAD FOR GROUND-MOUNTED HVAC - SCREENED PER ARCHITECTURAL PLANS.
13. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND WORK WITHIN THE RIGHT OF WAY WITH GRAND HAVEN DEPARTMENT OF PUBLIC WORKS.
14. ROOF DRAIN OUTLET.
15. LOADING SPACE.
16. FUTURE PARKING.

LEGEND

	PROPOSED GRADE		UTILITY POLE		SANITARY SEWER
	EXISTING GRADE		POWER POLE		WATERMAIN
	PROPOSED ASPHALT PAVEMENT		LIGHT POLE		STORM SEWER
	PROPOSED CONCRETE PAVEMENT		HYDRANT		GAS LINE
	EXISTING CONTOUR		WATER VALVE/GAS VALVE		UTILITY LINES
	PROPOSED CONTOUR		MANHOLE (STORM/SAN SEWER)		EXISTING CONCRETE
			CATCH BASIN		EXISTING ASPHALT
					EXISTING GRAVEL

NOTE: UTILITY LINES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. CRITICAL LOCATIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION. UTILITY LOCATIONS ARE FROM VISIBLE SURFACE OBJECTS.

Yard Drain Inlet Calculations		
Area	15504 Sq Ft	
	0.356 Acre	
MAXIMUM PIPE FLOW		
Manning's Equation		
Q	2.02 cfs	
V	2.57 fps	
A	0.79 sqft	
R	0.25 ft	
n	0.013	
k	1.49	
s	0.0032 ft/ft	
diameter	1.00 ft	
length	10 ft	
drop	0.032 ft	

1.47 < 2.02, DRAIN OUTLET CAN CONVEY 100-YEAR FLOW

PROPERTY INFORMATION

PROPERTY INFORMATION
 ADDRESS: 1130 JACKSON AVE, GRAND HAVEN, MI 49417
 PARCEL: #70-03-21-415-002
 AREA: 42,922 SFT = 0.985 ACRES
 CURRENT USE: EXISTING WAREHOUSE

APPLICANT
 LAKEWOOD ARCHITECTURE
 MAX NYKERK, ARCHITECTURAL PRACTICE LEADER
 11253 JAMES STREET
 HOLLAND, MI 49424
 616-392-6923

PROPERTY OWNER
 ROBERT MUELLSEN
 908 S HARBOR DRIVE
 GRAND HAVEN, MI 49417

EXISTING ZONING
 THE EXISTING ZONING OF THE SUBJECT PROPERTY IS TRANSITIONAL INDUSTRIAL. THE PARCEL IS NOT LOCATED ON ANY KEY STREET SEGMENT OR WITHIN AN OVERLAY DISTRICT. THE EXISTING ZONING OF ALL ADJUTING PROPERTIES IS TRANSITIONAL INDUSTRIAL.

PROPOSED USE
 PRIVATE STORAGE
 PROPOSED BUILDING SIZE = 14,625 SFT

ZONING REGULATIONS FOR THE T-1 DISTRICT

- 1.) MINIMUM LOT AREA = N.A.
 - 2.) MINIMUM LOT WIDTH = N.A.
 - 3.) MAXIMUM BUILDING HEIGHT = 40 FT
 - 4.) MINIMUM FRONT YARD SETBACK = 25 FT.
 - 5.) MINIMUM SIDE YARD SETBACK = 10 FT.
 - 6.) MINIMUM REAR YARD SETBACK = 10 FT.
- SETBACK DIMENSIONS ARE SHOWN ON THE PLAN.

LOT COVERAGE
 1.) LOT AREA = 42,922 SFT
 2.) AS EXISTING BUILDINGS & IMPERVIOUS SURFACES = 13,477 SF (31%)
 3.) AS PROPOSED BUILDINGS & IMPERVIOUS SURFACES = 31,360 SF (73%)

REQUIRED LOADING AND UNLOADING SPACE:
 ONE 10'X25' (250 SF) LOADING SPACE IS PROVIDED AS REQUIRED FOR BUILDINGS BETWEEN 5,001 & 20,000 SFT.

SITE ACCESS
 TWO EXISTING DRIVEWAYS CURRENTLY SERVE THE SITE FROM JACKSON STREET. THE EXISTING WEST DRIVEWAY WILL BE REMOVED. A MODIFIED CURB CUT AND DRIVEWAY WILL BE CONSTRUCTED ON THE AS SHOWN ON THIS SHEET. CONSTRUCTION OF THE NEW DRIVEWAY SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF GRAND HAVEN.

SITE SIGNAGE
 NO SIGNS ARE PROPOSED.

SITE LIGHTING
 BUILDING MOUNTED WALL PACKS WILL BE MOUNTED AT ENTRY LOCATIONS, SEE PHOTOMETRIC PLAN FOR FIXTURE DETAILS AND ILLUMINATION LEVELS.

MUNICIPAL SANITARY SEWER AND WATER SERVICE
 THE BUILDING WILL UTILIZE THE EXISTING AND PROPOSED SERVICES FROM THE MUNICIPAL SANITARY SEWER AND WATER IN THE JACKSON STREET RIGHT-OF-WAY.

STORM WATER MANAGEMENT
 ALL STORM WATER WILL BE MANAGED AS SHOWN ON THIS SHEET AND BE SUBJECT TO REVIEW AND APPROVAL BY THE GRAND HAVEN DEPARTMENT OF PUBLIC WORKS.

OTHER UTILITIES
 THE BUILDING WILL BE SERVICED BY EXISTING GAS, ELECTRIC, AND COMMUNICATIONS FACILITIES LOCATED ON SITE OR WITHIN THE NORTH JACKSON STREET RIGHT-OF-WAY.

LANDSCAPING
 THE LANDSCAPING WILL INCLUDE RESTORATION OF DISTURBED AREAS WITH TOPSOIL AND TURF GRASS.

SCHEDULE
 CONSTRUCTION TO BEGIN IN SPRING 2026 WITH PLANNED OCCUPANCY IN THE FALL OF 2026.

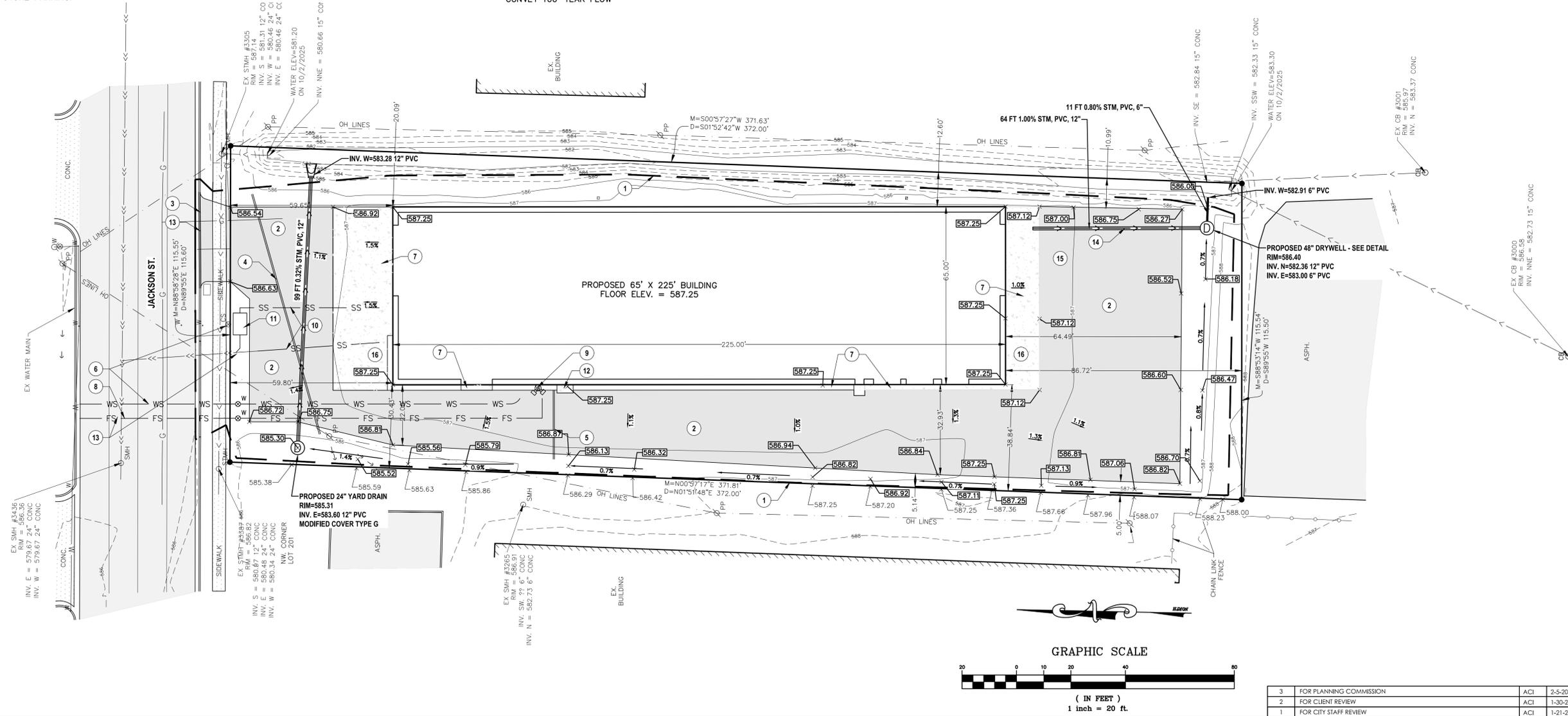
SOIL EROSION AND SEDIMENTATION CONTROL
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A SOIL EROSION AND SEDIMENTATION CONTROL FROM THE OTTAWA COUNTY WATER RESOURCES COMMISSIONER PRIOR TO BEGINNING ANY SITE CONSTRUCTION.

ABONMARCHÉ
 South Bend
 Cochen
 Valparaiso
 Ft. Wayne
 Benton Harbor
 Grand Haven
 Grand Rapids
 Holland
 Kalamazoo
 Lakeland
 Leland
 North Haven
 Okemos
 Oshtemo
 Spring Lake
 Zeeland

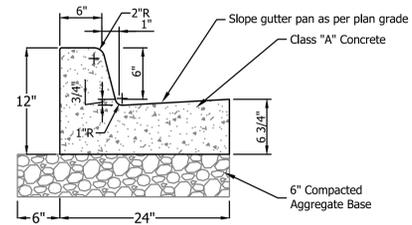
**GRAND HAVEN PRIVATE STORAGE
 1130 JACKSON STREET
 GRAND HAVEN, MI**

**PROPOSED SITE PLAN
 NOT FOR CONSTRUCTION**

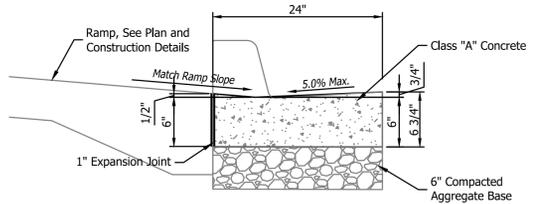
SHEET TITLE: **PROPOSED SITE PLAN**
 DRAWN BY: **TMV**
 DESIGNED BY: **DM**
 PM REVIEW:
 QA/QC REVIEW:
 DATE: **FEBRUARY 2026**
 SEAL:
 SIGNATURE:
 DATE:
 SCALE:
 HOR: 1"=20'
 VERT: VERT
 ACI JOB # **25-1621**
 SHEET NO. **2 of 3**



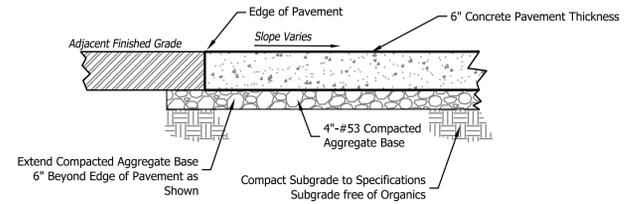
3	FOR PLANNING COMMISSION	ACI	2-5-2026
2	FOR CLIENT REVIEW	ACI	1-30-2026
1	FOR CITY STAFF REVIEW	ACI	1-21-2026



CURB AND GUTTER, 6"
(NOT TO SCALE)



CURB AND GUTTER AT CURB RAMP OPENING
(NOT TO SCALE)



CONCRETE DRIVE SECTION
(NOT TO SCALE)

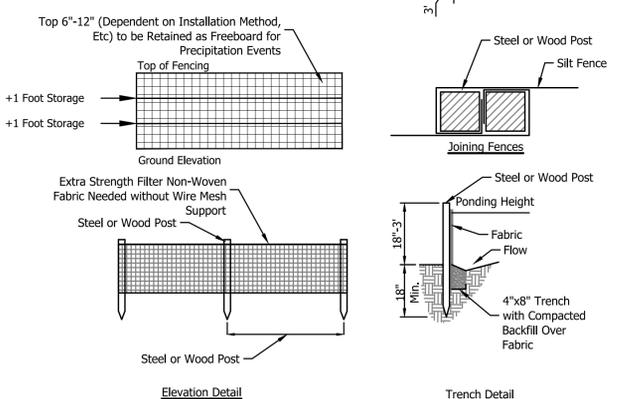
INSTALLATION NOTES

- Lay Out the Location of the Fence so that it is Parallel to the Contour of the Slope and at Least 10 feet Beyond the Toe of the Slope to Provide a Sediment Storage Area. Turn the Ends of the Fence up Slope such that the Point of Contact Between the Ground and the Bottom of the Fence end Terminates at a Higher Elevation than the Top of the Fence at its Lowest Point.
- Excavate an 8-inch Deep by 4-inch Wide Trench Along the Entire Length of the Fence. (Installation by Plowing is Acceptable)
- Install Silt Fence with the Filter Fabric Located on the Up-slope Side of the Excavated Trench and the Support Posts on the Down-slope Side of the Trench.
- Drive the Support Posts at Least 18 inches into the Ground, Tightly Stretching the Fabric Between the Posts as each is Driven into the Soil. A Minimum of 12 inches of the Filter Fabric should Extend into the Trench.
- Lay the Lower 4 inches of Fabric on the Bottom of the Trench and Extend it Toward the Up-slope Side of the Trench.
- Backfill the Trench with Soil Material and Compact it in Place.

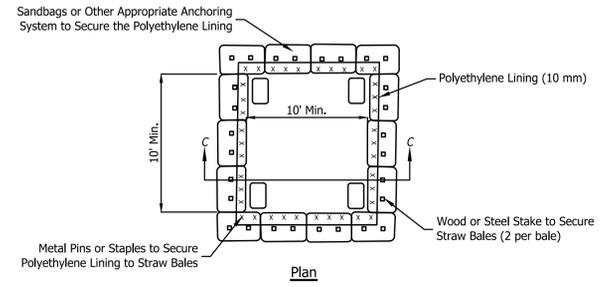
NOTE:

If the Silt Fence is Being Constructed on Site, Attach the Filter Fabric to the Support Posts and Attach Wooden Lathe to Secure the Fabric to the Posts. Allow for at Least 12 inches of Fabric Below Ground Level. Complete the Silt Fence Installation, Following Steps 1 Through 6 Above.

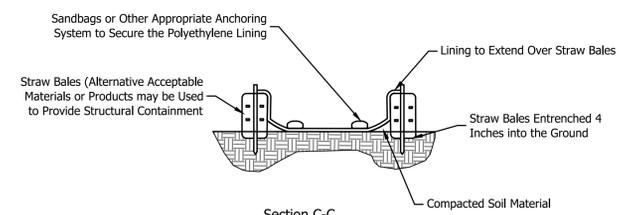
Two Sections of Silt Fencing (Offset 3 foot for Secondary Containment and Secondary Filtration) are Required.



SILT FENCE
(NOT TO SCALE)



Plan



Section C-C

Note:

Contractor Must Install a Secure and Highly Visible "Concrete Washout Area" Sign Adjacent to each Concrete Washout Facility to Inform Concrete Workers of its Location.

CONCRETE WASHOUT STRUCTURE - ABOVE GRADE

(NOT TO SCALE)

Installation Notes:

Dependent upon the type of system, either excavate the pit or install the containment system. For prefabricated containers, locate, and install according to the manufacturer's recommendations. A base shall be constructed and prepared that is free of rocks and other debris that may cause tears/punctures in the polyethylene lining. Install the polyethylene lining. For excavated systems, the lining should extend over the entire excavation. The lining for bermed systems should be installed over the pooling area with enough material to extend the lining over the berm or containment system. The lining should be secured with pins, staples, or other fasteners. Place flags, safety fencing, or equivalent to provide a barrier to construction equipment and other traffic. Place a non-collapsing, non-water holding cover over the washout facility prior to a predicted rainfall event to prevent accumulation of water and possible overflow of the system (optional). Install signage that identifies concrete washout areas and post signs directing contractors and suppliers to designated locations. Where necessary, provide stable ingress and egress or alternative approach pad for concrete washout systems. **Maintenance:** Inspect daily - Inspect the integrity of the overall structure and containment system where applicable. Inspect the system for leaks, spills, and tracking of soil by equipment, and the polyethylene lining for failure, including tears and punctures. Once concrete wastes harden, remove and dispose of the material. Excess concrete should be removed when the washout system reaches 50 percent of the design capacity. Use of the system should be discontinued until appropriate measures can be initiated to clean the structure. Prefabricated systems should also utilize this criterion, unless the manufacturer has alternate specifications. Upon removal of the solids, inspect the structure. Repair the structure as needed or construct a new system. Dispose of all the concrete in a legal manner. Reuse the material on site, recycle, or haul the material to an approved construction/demolition landfill site. Recycling of material is encouraged. The waste material can be used for multiple applications including but not limited to roadbeds and building. The availability for recycling should be checked locally. The plastic liner should be replaced after every cleaning; the removal of material will usually damage the lining. The concrete washout system should be repaired or enlarged as necessary to maintain capacity for concrete waste.

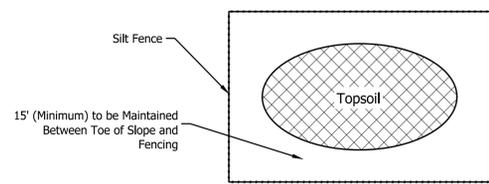
Concrete washout systems are designed to promote evaporation. However, if the liquids do not evaporate and the system is near capacity it may be necessary to vacuum or remove the liquids and dispose of them in an acceptable method. Disposal may be allowed at the local sanitary sewer authority provided their national pollutant discharge elimination system permits allow for acceptance of this material. Another option would be to utilize a secondary containment system or basin for further dewatering. Prefabricated units are often pumped and the company supplying the unit provides this service. Inspect construction activities on a regular basis to ensure suppliers, contractors, and others are utilizing designated washout areas. If concrete waste is being disposed of improperly, identify violators and take appropriate action. When concrete washout systems are no longer required, the concrete washout system shall be closed. Dispose of all hardened concrete and other materials used to construct the system. Holes, depressions and other land disturbances associated with the system should be backfilled, graded, and stabilized.

CONCRETE WASHOUT STRUCTURE NOTES

(NOT TO SCALE)

Note:

If Straw Bales are Utilized Instead of Silt Fence, the Bales Shall be Placed a Minimum of 10 feet from the Toe of Slope. Each Bale Shall Entrenched a Minimum of 4 inches into Subsoil and Shall be Anchored with (2) 36-inch Long Steel Rebar or 2x2 inch Wood Stakes Driven Through the Bale. The Minimum Bale Size Shall be 14"x18"x36".



TEMPORARY TOPSOIL STOCKPILE

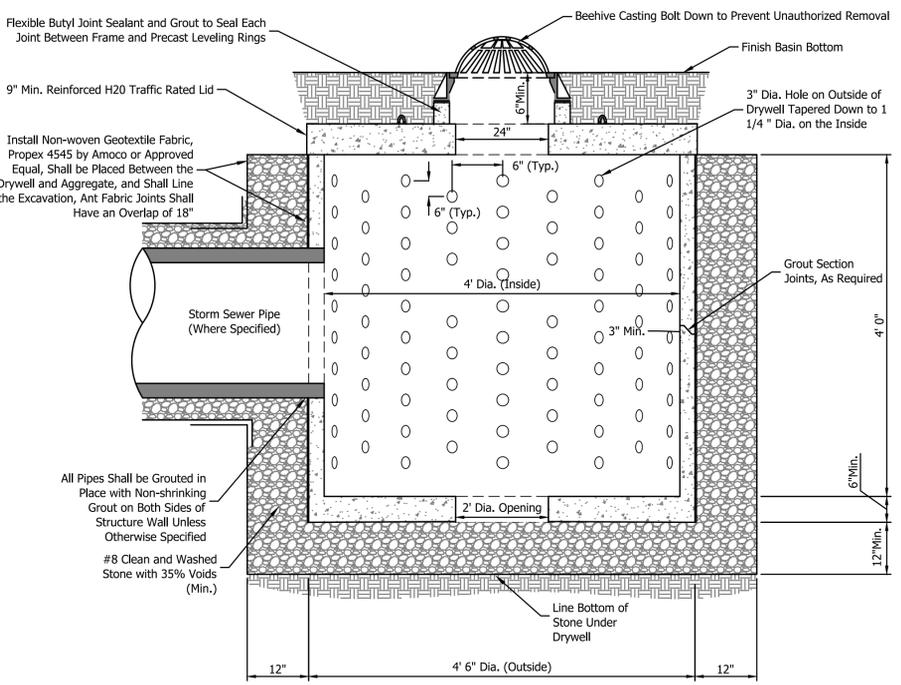
(NOT TO SCALE)

Proposed Drywells

Site Contractor Shall have an Experienced Geotechnical Firm Verify the #8 Stone is Clean, Washed, and Untampered by Undesirable Soils Prior to Placement, and have the Geotechnical Firm Perform Two Separate Site Inspection Checks of the Stone Around the Drywells for Proper Placement per the Detail on this Sheet.

Contractor Shall Ensure All Geotextile Fabric Surrounding the Drywells, Overlaps, and All Joints are Properly Installed to Create a Barrier from Infiltration of Soil.

Contact Engineer if Topsoil, Organic, Clay, or Low Permeable Material is Encountered During Excavation for the Drywells so that Revised Locations may be Evaluated by the Developer, Engineer, and Geotechnical Firm.

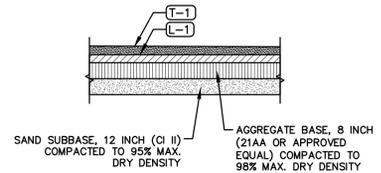


TYPICAL PRECAST 4"Ø DRYWELL

(NOT TO SCALE)

GENERAL NOTES:

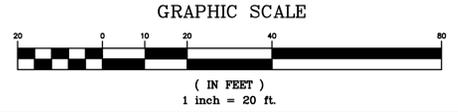
- MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION SHALL PREVAIL, UNLESS INDICATED OTHERWISE. ALL WORK AND MATERIALS SHALL BE CONSTRUCTED PER CITY OF GRAND HAVEN STANDARDS.
- THREE WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST THE LOCATIONS OF ALL UTILITIES BY CALLING MISS DIG. REGARDLESS OF DURATION, NO SUBSURFACE WORK SHALL COMMENCE UNTIL ALL UTILITIES HAVE CLEARED THE MISS DIG REQUEST.
- ANY EXCESS/UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND THEY SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF THIS MATERIAL.
- ALL EXISTING FEATURES AND IMPROVEMENTS (INCLUDING TREES, LANDSCAPING, ETC.) NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED BY THE CONTRACTOR. DAMAGED ITEMS SHALL BE RESTORED TO OWNER'S SATISFACTION OR REPLACED AT THE CONTRACTORS EXPENSE. ALL TREES DAMAGED BEYOND SAVING AS DETERMINED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH A NURSERY GROWN TREE AS SPECIFIED BY THE ENGINEER.
- WHERE CONCRETE SIDEWALK IS ADJACENT TO THE BACK OF CURB, A 1/2" EXPANSION JOINT SHALL BE PLACED BETWEEN THE CURB AND SIDEWALK. PAYMENT IS INCLUDED IN CONCRETE SIDEWALK.
- BACKFILL MATERIAL SHALL BE MDOT CLASS II SAND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY IN 12" MAXIMUM LIFTS UNLESS OTHERWISE SPECIFIED.
- PAVEMENT DESIGNATED FOR REMOVAL SHALL BE SAWCUT FULL DEPTH AT REMOVAL LIMITS PRIOR TO REMOVAL. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY RAMPS AND/OR SECONDARY SAWCUTS IN ORDER TO PROVIDE A NEAT JOINT BETWEEN EXISTING AND PROPOSED PAVEMENT. NO EXTRA PAYMENT WILL BE MADE FOR ADDITIONAL SAWCUTTING WORK OR PAVEMENT REMOVAL BEYOND THE REMOVAL LIMITS IN ORDER TO ADDRESS DETERIORATION OF EXISTING PAVEMENT DUE TO THE CONTRACTOR'S OPERATIONS.



PROPOSED HMA PARKING LOT CROSS SECTION
(NOT TO SCALE)

HMA APPLICATION TABLE					
PAY ITEM	IDENT. NO.	MIXTURE	RATE (LBS/SYD)	PERFORMANCE GRADE	TYPE
HMA, 5EML	T-1	5 EL	165	58 - 28	WEARING COURSE (AW=220)
HMA, 4EML	L-1	4 EL	165	58 - 28	LEVELING COURSE

NOTE: APPLY HMA BOND COAT BETWEEN HMA LIFTS AT A RATE OF 0.05 TO 0.15 GAL/SYD (NOT A PAY ITEM)



3	FOR PLANNING COMMISSION	ACI	2-5-2026
2	FOR CLIENT REVIEW	ACI	1-30-2026
1	FOR CITY STAFF REVIEW	ACI	1-21-2026

ABONMARCHÉ
 11 North 6th Street
 South Bend, IN 46417
 T 616.847.4070
 abonmarche.com

Benton Harbor
 Grand Haven
 Grand Rapids
 Holland
 Kalamazoo
 Portage
 St. Joseph
 Westland

Engineering - Architecture - Land Surveying

PROJECT:
GRAND HAVEN PRIVATE STORAGE
 1130 JACKSON STREET
 GRAND HAVEN, MI

NOTES AND DETAILS
NOT FOR CONSTRUCTION

SHEET TITLE:
DRAWN BY: DM
DESIGNED BY: DM
PM REVIEW:
QA/QC REVIEW:
DATE: FEBRUARY 2026
SEAL:
SIGNATURE:
DATE:
SCALE:
HORIZ: N/A
VERT: N/A
ACI JOB #
25-1621
SHEET NO.
3 of 3

ELECTRICAL SYMBOL LEGEND

LIGHTING

	FIXTURE - RECTANGULAR RECESSED
	FIXTURE - RECTANGULAR SURFACE
	FIXTURE - RECTANGULAR SUSPENDED
	FIXTURE - RECTANGULAR WALL WASH
	FIXTURE - ROUND PENDANT
	FIXTURE - ROUND RECESSED
	FIXTURE - ROUND SURFACE
	FIXTURE - ROUND WALL WASH
	FIXTURE - WALL STRIP LIGHT
	FIXTURE - WALL MOUNTED
	FIXTURE - TRACK
	FIXTURE - TRACK SPOT LIGHT
	FIXTURE - STRIP LIGHT
	FIXTURE - SITE BOLLARD
	FIXTURE - SITE POLE ARM MOUNT
	FIXTURE - SITE POLE POST TOP (SQUARE, ROUND)
	LAMP HOLDER WITH PULL STRING (WALL, CEILING)
	FAN OUTLET (CEILING)
	PADDLE CEILING FAN
	ELU - CEILING (SINGLE, DUAL)
	ELU - REMOTE HEAT CEILING (SINGLE, DUAL)
	EXIT SIGN CEILING (1-FACE, 2-FACE)
	EXIT SIGN WALL (1-FACE, 2-FACE)
	EXIT SIGN / ELU (CEILING, WALL)

LIGHTING CONTROLS

	LIGHTING CONTACTOR
	LIGHTING CONTROL PANEL
	LIGHTING SYSTEM CONTROLLER
	RELAY PACK - AUTOMATIC LOAD CONTROL RELAY
	RELAY PACK - AUXILIARY RELAY
	RELAY PACK - POWER PACK
	RELAY PACK - LOAD CONTROLLER
	BLANK = LIGHTING W/ 0-10V DIMMING
	"EM" = EMERGENCY
	"PD" = PHASE DIMMING
	"PL" = PLUG LOAD
	SWITCH
	BLANK = 1-POLE
	"2" = 2-POLE
	"3" = 3-WAY
	"4" = 4-WAY
	"D" = DIMMER
	"K" = KEY
	"LV" = LOW-VOLTAGE
	"LVD" = LOW-VOLTAGE - DIMMING
	"LVK" = LOW-VOLTAGE - KEYED
	"N" = NETWORK (REF. TO SWITCH SCHEDULE)
	"OS" = OCCUPANCY SENSOR
	"OS2" = OCCUPANCY SENSOR - 2-ZONE
	"OSD" = OCCUPANCY SENSOR - DIMMING
	"P" = PILOT LIGHT
	"T" = TIMER - COUNTDOWN
	"TA" = TIMER - ASTRONOMICAL & 24-HR/7-DAY
	"TH" = TIMER - 24-HR/7-DAY
	"WP" = WEATHERPROOF
	SENSOR - OCCUPANCY CEILING
	BLANK = INDOOR
	"EXT" = EXTERIOR
	"HB" = HIGHBAY
	"LT" = LOW TEMPERATURE
	"WG" = WIREGUARD
	"WL" = WET LOCATION
	SENSOR - OCCUPANCY WALL
	SENSOR - PARTITION CEILING
	SENSOR - PHOTOCELL (CEILING, WALL)
	SENSOR - PHOTOSENSOR (CEILING, WALL)
	TIME SWITCH - ELECTRONIC
	TOUCHPANEL

	POWER DISTRIBUTION EQUIPMENT
	PANELBOARD
	AUTOMATIC TRANSFER SWITCH
	GENERATOR DOCKING STATION
	MANUAL TRANSFER SWITCH
	NON-AUTOMATIC TRANSFER SWITCH
	GENERATOR
	TRANSFORMER
	SWITCHBOARD SECTION
	MOTOR CONTROL CENTER (TWO SECTION)

LEGEND NOTES:

- NOT ALL SYMBOLS SHOWN ARE NECESSARILY USED IN THIS PROJECT.
- SYMBOLS THAT HAVE A DARK LINE WEIGHT REPRESENT NEW. SYMBOLS THAT HAVE A LIGHT LINE WEIGHT REPRESENT EXISTING. SYMBOLS THAT ARE DASHED REPRESENT ITEMS FOR DEMOLITION.
- EMERGENCY FIXTURES ARE INDICATED BY PARTIAL SHADING AS SHOWN:



POWER DEVICES

	BLANKED OUTLET
	CONTACTOR
	CONTACTOR RECESSED
	DIRECT CONNECTION
	DISCONNECT SWITCH
	DISCONNECT SWITCH FUSED
	EMERGENCY POWER OFF SWITCH
	JUNCTION BOX
	JUNCTION BOX CEILING
	JUNCTION BOX FLOOR
	METER WITH SOCKET ENCLOSURE
	MOTOR (W/ HP INDICATED)
	MOTORIZED DAMPER
	MOTOR CONTROLLER
	MOTOR CONTROLLER WITH DISCONNECT SWITCH
	MULTI-OUTLET ASSEMBLY
	MULTI-OUTLET SURFACE RACEWAY (VERTICAL)
	POWER POLE
	PULL BOX
	RECEPTACLE - DUPLEX WALL
	"X-X" = MOUNTING HEIGHT TO CENTERLINE
	"AC" = ABOVE COUNTER
	"C" = CONTROLLED
	"IG" = ISOLATED GROUND
	"NL" = NIGHT LIGHT
	"RGF" = PROTECTED BY REMOTE GFCI DEVICE
	"SPD" = SURGE PROTECTIVE DEVICE
	"TH" = 24-HR/7-DAY TIMER
	"TR" = TAMPER RESISTANT
	"USB" = USB
	"WP" = WEATHERPROOF
	"WR" = WEATHER RESISTANT
	RECEPTACLE - DUPLEX GFCI
	RECEPTACLE - DUPLEX SPLIT-CIRCUIT
	RECEPTACLE - DUPLEX ON EMERGENCY CIRCUIT
	RECEPTACLE - DUPLEX CEILING
	RECEPTACLE - CORD REEL
	RECEPTACLE - DROP CORD ON JBOX
	RECEPTACLE - DUPLEX FLOOR
	BLANK = RECESSED
	"FURN." = FURNITURE FEED
	"PED." = PEDESTAL
	RECEPTACLE - COUNTERTOP
	RECEPTACLE - QUADRUPLEX
	RECEPTACLE - SINGLE WALL
	RECEPTACLE - SPECIAL WALL
	"#R" = NEMA CONFIGURATION
	SWITCH
	BLANK = 1-POLE
	"F" = FUSED
	"FS" = FAN SPEED CONTROL
	"FSD" = FAN SPEED CONTROL AND DIMMER
	"HS" = HUMIDITY SENSOR
	"HS2" = HUMIDITY SENSOR - W/ LIGHT SWITCH
	"M" = MANUAL MOTOR STARTER
	"RTS" = REMOTE TEST SWITCH
	"T" = TIMER - VENTILATION FAN AIR CYCLE
	STATIC GROUND RECEPTACLE
	UTILITY SERVICE POWER POLE

POWER DISTRIBUTION EQUIPMENT

	PANELBOARD
	AUTOMATIC TRANSFER SWITCH
	GENERATOR DOCKING STATION
	MANUAL TRANSFER SWITCH
	NON-AUTOMATIC TRANSFER SWITCH
	GENERATOR
	TRANSFORMER
	SWITCHBOARD SECTION
	MOTOR CONTROL CENTER (TWO SECTION)

NOTES:

- COORDINATE MOUNTING HEIGHTS WITH ARCHITECTURAL DRAWINGS. WHERE MOUNTING HEIGHTS CONFLICT, COMPLY WITH ARCHITECTURAL DETAILS.
- VISUAL NOTIFICATION APPLIANCES IN SLEEPING ROOMS:
 - FOR SLEEPING ROOMS WITH LINEAR DIMENSION GREATER THAN 16 FT, INSTALL WITHIN 16 FT OF THE PILLOW.
 - SMOKE AND CARBON MONOXIDE DETECTORS AND ALARMS:
 - IN HIGH CEILING AREAS, INSTALL SMOKE DETECTORS FOR ELEVATOR RECALL WITHIN 5 FT FROM THE TOP OF THE ELEVATOR DOOR AND SMOKE DETECTORS FOR FACU PROTECTION WITHIN 5 FT FROM THE TOP OF THE FACU ENCLOSURE.
 - DO NOT INSTALL PHOTOELECTRIC SMOKE ALARMS WITHIN 10 FT OF COOKING APPLIANCES AND IONIZATION SMOKE ALARMS OR DETECTORS WITHIN 20 FT OF COOKING APPLIANCES.
 - DO NOT INSTALL SMOKE ALARMS WITHIN 3 FT FROM A DOOR TO A BATHROOM CONTAINING A SHOWER OR TUB.
 - DO NOT INSTALL SMOKE ALARMS WITHIN 3 FT FROM A FORCED AIR HVAC SUPPLY REGISTER.
 - DO NOT INSTALL SMOKE ALARMS WITHIN 3 FT FROM THE TIP OF THE BLADE OF A CEILING FAN.
 - WHERE REQUIRED OUTSIDE OF A SLEEPING ROOM, INSTALL WITHIN 21 FT OF DOOR TO SLEEPING ROOM.

DATA & TELEPHONE

	OUTLET - DATA WALL
	OUTLET - DATA CEILING
	OUTLET - DATA FLOOR
	OUTLET - DATA AND TELEPHONE
	OUTLET - TELEPHONE
	TELECOM RACK - FLOOR MOUNTED
	TELECOM RACK - WALL MOUNTED
	TELEPHONE BOARD (T, BRD.)
	WIRELESS ACCESS POINT (AP)
	BELL
	CALL STATION
	CATV OUTLET
	CLOCK
	SPEAKER - CEILING, WALL
	MICROPHONE OUTLET
	TV OUTLET
	VOLUME CONTROL
	ELAPSED TIMER

COMMUNICATION SYSTEMS

	ACCESS CONTROL - CARD READER
	ACCESS CONTROL - DOOR CONTACT
	ACCESS CONTROL - ELECTRIC PANIC HARDWARE
	ACCESS CONTROL - ELECTRIC STRIKE
	CAMERA
	DOOR BELL
	DOOR CHIME
	ENTRY INTERCOM - DOOR STATION
	ENTRY INTERCOM - ENTRY STATION
	ENTRY INTERCOM - GUARD STATION
	ENTRY INTERCOM - MASTER STATION
	ENTRY INTERCOM - SUBMASTER STATION
	ENTRY INTERCOM - TENANT STATION
	KEYPAD
	PUSHBUTTON SINGLE WALL
	MOTION DETECTOR CEILING
	MOTION DETECTOR WALL
	REQUEST-TO-EXIT
	SIREN
	SIREN STROBE
	STROBE LIGHT
	UNDERCOUNTER PUSHBUTTON

SECURITY

	ACCESS CONTROL - CARD READER
	ACCESS CONTROL - DOOR CONTACT
	ACCESS CONTROL - ELECTRIC PANIC HARDWARE
	ACCESS CONTROL - ELECTRIC STRIKE
	CAMERA
	DOOR BELL
	DOOR CHIME
	ENTRY INTERCOM - DOOR STATION
	ENTRY INTERCOM - ENTRY STATION
	ENTRY INTERCOM - GUARD STATION
	ENTRY INTERCOM - MASTER STATION
	ENTRY INTERCOM - SUBMASTER STATION
	ENTRY INTERCOM - TENANT STATION
	KEYPAD
	PUSHBUTTON SINGLE WALL
	MOTION DETECTOR CEILING
	MOTION DETECTOR WALL
	REQUEST-TO-EXIT
	SIREN
	SIREN STROBE
	STROBE LIGHT
	UNDERCOUNTER PUSHBUTTON

FIRE ALARM & MASS NOTIFICATION

	ADDRESSABLE INPUT MODULE
	ADDRESSABLE OUTPUT MODULE
	FIRE ALARM BELL
	DETECTOR: CARBON MONOXIDE
	DETECTOR: DUCT SMOKE
	DETECTOR: HEAT
	DETECTOR: SMOKE
	"MSA" = MULTI-STATION ALARM
	"SSA" = SINGLE-STATION ALARM
	DETECTOR: SMOKE AND CARBON MONOXIDE
	DOOR HOLDER
	MANUAL PULL STATION
	NOTIFICATION: HORN (CEILING, WALL)
	"LF" = LOW-FREQUENCY (520 HZ)
	NOTIFICATION: HORN-STROBE (CEILING, WALL)
	NOTIFICATION: SPEAKER-STROBE (CEILING, WALL)
	NOTIFICATION: STROBE (CEILING, WALL)

NURSE CALL

	CODE BLUE STATION
	DUTY STATION
	EMERGENCY STATION "PC" = PULL CORD
	PATIENT STATION
	STAFF STATION
	DOME LIGHT CEILING - 1-COLOR
	DOME LIGHT WALL - 1-COLOR

FIRE PROTECTION (REFERENCE ONLY)

	SPRINKLER FLOW SWITCH (FS)
	SPRINKLER POST INDICATOR VALVE (PIV)
	SPRINKLER TAMPER SWITCH (TS)

MECHANICAL DEVICES (REFERENCE ONLY)

	HUMIDISTAT
	HUMIDITY SENSOR
	THERMOSTAT
	TEMPERATURE & HUMIDITY SENSOR
	TEMPERATURE SENSOR

WIRE & PATHWAYS

	CABLE TRAY
	CIRCUIT HOMERUN
	CONDUIT (VERTICAL)
	CONDUIT JUNCTION BOX

MISCELLANEOUS

	TAG - ARCHITECTURAL EQUIPMENT
	TAG - DOOR
	TAG - DRAWING REVISION
	TAG - KEYNOTE
	TAG - LIGHTING CONTROL RELAY
	TAG - MECHANICAL EQUIPMENT
	TAG - ROOM
	SPOT ELEVATION
	NUMBER OF DETAIL ON SHEET
	NUMBER OF SHEET WHERE DETAIL APPEARS
	SECTION HEAD
	ELEVATION MARK
	VIEW NAME
	GRAPHIC SCALE

LINES

	PHASE - NEW
	PHASE - EXISTING
	PHASE - DEMOLITION
	CLEARANCE

FILLED REGIONS

	AREA OF DEMOLITION
--	--------------------

ABBREVIATIONS & ACRONYMS

AC	ALTERNATING CURRENT	LRA	LOCKED ROTOR AMPERES
ACS	ACCESS CONTROL SYSTEM	LRS	LEGALLY REQUIRED STANDBY
ADJ	ADJACENT	LTG	LIGHTING
AF	AMP FRAME	LTS	LIGHTS
AFB	AVAILABLE FAULT CURRENT	LV	LOW VOLTAGE
AFD	ABOVE FINISHED FLOOR	MAN	MANUAL
AFG	ABOVE FINISHED GRADE	MAX	MAXIMUM
AFI	ARC FAULT CIRCUIT INTERRUPTER	MCA	MINIMUM CIRCUIT AMPACITY
AHJ	AUTHORITY HAVING JURISDICTION	MCC	MAIN CIRCUIT BREAKER
AIC	AMPERE INTERRUPTING CAPACITY	MCC	MOTOR CONTROL CENTER
AL	ALUMINUM	MCP	MOTOR CIRCUIT PROTECTION
AL ALUM	ALUMINUM	MDF	MAIN DISTRIBUTION FRAME
ALT	ALTERNATE	MEZ	MECHANICAL
AMPL	AMPLIFIER	MEZZ	MEZZANINE
ANNUN	ANNUNCIATOR	MFR	MANUFACTURER
APPROX	APPROXIMATELY	MH	MAN-HOLE
ARCH	ARCHITECT, ARCHITECTURAL	MIC	MICROPHONE
AS	AMP SWITCH	MIN	MINIMUM
AT	ATMOSPHERIC	MISC	MISCELLANEOUS
ATS	AUTOMATIC TRANSFER SWITCH	MLO	MAIN LUGS ONLY
AUTO	AUTOMATIC	MNS	MASS NOTIFICATION SYSTEM
AUX	AUXILIARY	MOC	MULTI-OUTLET ASSEMBLY
AV	AUDIO VISUAL	MOM	MAXIMUM OVERCURRENT PROTECTION
AWG	AMERICAN WIRE GAUGE	MS	MOTOR STARTER
BATT	BATTERY	MTD	MOUNTED

DIVISION 26:

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section. In cases of conflicting requirements, comply with the Division 1 requirements.

1.2 SCOPE OF WORK

- Furnish and install materials and equipment and provide labor, tools, transportation, superintendence, and services as required to complete the work indicated in the drawings and/or specifications herein. Include all work required for furnishing, installing, and testing a complete and operable system.
- Secure and pay for licenses, permits, inspections, and fees for this work as required by the authority having jurisdiction.
- Installer shall be responsible for safe job site conditions for personnel and property during performance of work. No act, service, drawing review, or construction review by the Owner, Architect, or Engineer is intended to include review of the adequacy of the Installers' safety measures in, on, or near the job site.
- Work of this Division shown anywhere herein shall be furnished under this Division, unless otherwise indicated.
- Drawings are diagrammatic in nature, indicating the general arrangement of equipment and wiring, and do not represent exact locations routing of raceway, wire, and cable, unless otherwise noted. Exact locations of equipment and routing of raceway, wire, and cable shall governed by job site conditions. Consult other related drawings and specifications prior to bid. Extra lengths of wiring or additional of pull or junction boxes, etc. necessitated by such conditions shall be included in the bid.
- Include cutting and patching required for work of this Division herein. Coordinate with General Contractor and other applicable trades. Installer shall bear the responsibility for and the adverse expense of adjusting for improper holes, supports, etc.

1.3 COORDINATION

- Coordinate work with applicable trades.
- Work shall be performed in an efficient and orderly manner. Coordinate construction operations with applicable trades for proper installation, connection, and operation.
- Furnish and install rough-ins and connections for equipment furnished and installed by other trades which require electrical connections.
- Inform applicable trades of access and clearance requirements for electrical equipment as required to maintain serviceability and comply with code.
- Notify Construction Manager of discrepancies or omissions in the drawings and/or specifications. Consult Construction Manager for clarification of design intent.
- Submit significant changes to the Construction Manager for approval before proceeding with work.
- Architect/Engineer and/or Construction Manager reserves the right to make minor location adjustments of piping and equipment, prior to rough-in, without additional cost.
- Field verify existing conditions related to the scope of work prior to bid. Consult Engineer for resolution of conflicts.

1.4 ACTION SUBMITTALS

- Submit product data and shop drawings to Architect/Engineer for review prior to installation. Installer shall be responsible for errors, omissions or other deficiencies or deviations in the submittals from the contract drawings or specifications.
- Submit product data and shop drawings for the following:
 - Power distribution equipment.
 - Safety switches, enclosed circuit breakers, and motor controls.
 - Wiring devices including switches, receptacles, cover plates, and hoods.
 - Lighting, lighting controls, and poles.

1.5 INFORMATIONAL SUBMITTALS

- Submit test and inspection reports to the Construction Manager upon completion of testing and inspecting.
- Submit manufacturer installation instructions to Construction Manager prior to installation.
- Submit manufacturer storage instructions to Construction Manager prior to receiving material.

1.6 CLOSEOUT SUBMITTALS

- Upon project closeout, submit closedout submittals to Owner including operation and maintenance manuals, software, warranty documentation, and record documentation.
- Record drawings indicating as-built conditions shall include, but not be limited to, the following:
 - Revisions to drawing details and one-line diagrams.
 - Dimensional changes.
 - Locations and depths of underground electrical.
 - Revisions to electrical circuitry.
 - Actual equipment locations.
 - Locations of concealed internal utilities.

1.7 REGULATORY AND STANDARDS REQUIREMENTS

- Comply with applicable laws, codes, standards, and standards of the Authority Having Jurisdiction (AHJ).
- Comply with applicable codes and standards as amended and adopted by the AHJ including, but not limited to, the following:
 - OSHA Standards.
 - ADA Standards.
 - IEC, IBC, IEEE, IECOC, IFC, and IRC.
 - NFPA: 70, 70E, 72, and 101.
 - ASHRAE: 90.1 and 90.4.
- Comply with requirements of the applicable utilities.
- Consult Engineer for resolution of conflicts.

1.8 REGULATORY AND STANDARDS REQUIREMENTS

- Store materials in accordance with manufacturer storage instructions.
- Store in warm, dry, and temperature-stable locations. Protect from exposure to dirt, fumes, water, corrosive substances, and physical damage.
- Deliver and store products in manufacturer's unopened packaging labeled with brand name and manufacturer's identification, product model names, catalog numbers, and related information, until ready for installation.

1.9 WARRANTY

- Installer Warranty: Installer warrants that fabricated and installed electrical equipment and components shall be free from defects of workmanship and material for a period of one (1) year after the Date of Certification of final payment and agrees to repair or replace during the warranty period without cost to the owner.
- Remove, replace, patch, and repair materials and surfaces cut or damaged during selective demolition, by methods and with materials and using approved contractors so as not to void existing warranties. Notify warrantor before proceeding.

PART 2 - PRODUCTS

2.1 GENERAL REQUIREMENTS

- Equipment, components, and accessories shall be new, undamaged, and the manufacturers' current make and model, unless otherwise indicated. Notify Engineer of products indicated in bid documents which have been discontinued.
- Electrical components, devices, and accessories shall be listed and labeled, as defined in NFPA 70, by a qualified testing agency recognized by the Authority Having Jurisdiction, and marked for the intended location and use.
- Provide products comply with accessories, trim, finish, fasteners, and other items needed for a complete installation and indicated use and effect.

2.2 SUBSTITUTIONS

- Substitutions shall be submitted to the Architect/Engineer for review and include product data and shop drawings as necessary to indicate compliance with contract documents and compatibility with other portions of work.
- Obtain approval from Owner before proceeding with work.

2.3 LOW-VOLTAGE CONDUCTORS AND CABLE

- Comply with wire and cable marking according to UL's "Wire and Cable Marking and Application Guide."
- Building Wire: UL 83 listed (UL CCN ZLGR) THHN/THWN-2 or UL 44 (UL CCN ZKST) listed XHHW-2; marked "Gasoline and Oil Resistant II".
- SE Cable: UL 854 listed (UL CCN TYLZ); UL 83 listed THHN/THWN-2 or UL44 listed XHHW-2; marked sunlight resistant; 90 deg C temperature rating.
- NM Cable: UL 83 and UL 719 listed (UL CCN PWXX).
- UF Cable: UL 83 and UL 493 listed (UL CCN YDUZ).
- VF Cable: Type TC-ER; UL 1277 listed (UL CCN QPOR); UL 44 XHHW-2 or RHH/RHW-2 listed; NEMA W/CEA S-95-658 compliant; 90 deg C temperature rating; marked sunlight resistant and oil resistant II; insulated ground conductor; 100% coverage foil plus 85% coverage braided shield with drain wire; extra-flexible stranded.
- MC Cable: UL 1569 listed (UL CCN PJAZ); UL 83 listed THHN/THWN-2 or UL 44 listed XHHW-2; insulated ground conductor.
- Wire Connectors: UL listed.

2.4 CONTROL VOLTAGE ELECTRICAL POWER CABLES

- Manufacturer List: Belden, General Cable, Genesis Cable, Hitachi Cable, Hubbell, LAPP, Leviton, Panduit, Siemon, Superior Essex, Southwire.
- Balanced Twisted Pair Cable: UL 444 listed, UL CCN DUZX; NEMA WC 66, ICEA S-116-732, TIA-568-C-2 compliant; unshielded twisted pair; CAT6, unless otherwise indicated or recommended by manufacturer; gray jacket.
- Serial Cable: UL 444 listed, UL CCN DUZ; TIA-232, TIA-422, or TIA-485 compliant; low-capacitance; shielded with tinned copper drain wire.
- Control Cable: UL 444 listed, UL CCN DUZX.

2.5 CONDUIT

- Minimum Conduit Size: 3/4-inch. 1/2 inch permitted for indoor branch circuits not concealed in walls, floors, or ceilings.
- Type EMT (Steel): UL 797 listed, UL CCN FJMX; ANSI C80.3 compliant, hot dip galvanized with organic top coat.
- Type ENT: UL 1653 listed, UL CCN PFKH; marked for use with 90 deg C wire.
- Type HDPE: UL 615A listed, UL CCN EAKZ; schedule 40 or 80.
- Type IMC (Steel): UL 1242 listed, UL CCN DYBY; ANSI C80.6 compliant; hot dip galvanized with organic top coat.
- Type RMC (Steel): UL 6 listed, UL CCN DYIX; ANSI C80.1 compliant; hot dip galvanized with organic top coat.
- Type FMC (Steel): UL 1 listed, UL CCN DXUZ.
- Type FMT: UL 1652 listed, UL ILJW.
- Type LFMC (Steel): UL 360 listed, UL CCN DXHR; marked for 80 deg C dry, 60 deg wet, 70 deg C oil resistant.
- Type LFNC: UL 1660 listed, UL CCN DXOQ; marked for 90 deg C dry, 60 deg C wet, 70 deg C oil resistant.
- Type PVC: UL 651 listed, UL CCN DZ7Y; marked for use with 90 deg C wire; schedule 40 or 80.
- Type RTRC: UL 2515, UL 2515A, and/or UL 2420 listed as where applicable. UL CCN DZKT.
- Fittings, Cements, and Threaded Conduit Compounds: UL listed; comply with NEMA FB 1 where applicable

1. Coupling Method: Compression.

2.6 BOXES AND COVERS

- Metallic Boxes: UL 514A listed, UL CCN QCIT; NEMA OS 1 compliant.
 - Outlet Boxes (Steel): Galvanized; 4-inch square; minimum 2-inch depth.
 - Data Outlet Boxes (Steel): Galvanized; 4-1/16-inch square; minimum 2-1/8-inch depth.
 - Device Boxes (Steel): Galvanized; minimum 2-inch depth.
 - Nonmetallic Boxes: UL 514C listed, UL CCN QCMZ; NEMA OS 2 compliant, NEMA OS 4 compliant for airtight boxes.
- Junction Boxes and Pull Boxes: UL 50 and UL 50E listed, UL CCN BGUZ.
- Cover Plates: UL 514D listed, UL CCN QCIT (metallic) or UL QCMZ (nonmetallic); metal screws with head color matching wall plate finish.
- Hoods for Outlet Boxes: UL 514D listed, UL CCN QCIT (metallic) or UL CCN QCMZ (non-metallic); extra-duty, while-in-use, self-closing.
- Stainless steel fasteners for outdoor, wet, and corrosive locations.
- Underground Handholes and Boxes: Precast or polymer concrete. ASTM C858 and SCTE 77 compliant.
- Floorboxes and Poke-Thrus:
 - Manufacturers: ABB, Eaton, FSR, Hubbell, Legrand, Leviton, Panduit, Schneider Electric
 - UL 514A or UL514C listed. UL 514D listed for cover plates.
 - On-Grade Floorboxes: On-grade box type; steel or cast iron.

2.7 SURFACE RACEWAY

- Manufacturers: FSR, Hubbell, Legrand, Panduit
- Metallic: UL 5 listed, UL CCN RJBT; galvanized steel; ivory finish.

2.8 WIRING DEVICES

- Manufacturers: Eaton (Arrow-Hart), Hubbell (Bryant Electric, Wiring Device-Kellems), Legrand (Pass & Seymour), Leviton
- Cord Reels: Hubbell (Bryant, Gleason Reels, Wiring Device-Kellems), Legrand (Pass & Seymour)
- Color: Coordinate with Architect.
- General-Use Receptacles: UL listed (UL CCN RTRT); NEMA WD 1, NEMA WD 6, and Fed. Spec. W-C-596 compliant; heavy-duty specification grade (commercial grade permitted for dwelling units; back and side wired; NEMA 5-20R (NEMA 5-15R permitted for dwelling units).
- USB Receptacles: Combination type A/C; minimum S output current.
- General-Use Switches: UL 20 listed, UL CCN WMLZ; NEMA WD 1 and Fed. Spec. W-S-896 compliant; heavy-duty specification grade (commercial grade permitted for dwelling units); 20 A rated (15 rated permitted for 15 A branch circuits in dwelling units).
- Keyed: Forked-Key; toggle switch profile.
- Cord Reels: UL 355 listed (UL CCN SBCV); spring-driven; No. 12 AWG conductors; 45 ft cord length; double duplex 5-20R outlet, ball stop.

2.9 ENCLOSED SWITCHES AND CIRCUIT BREAKERS

- Manufacturers: ABB, Eaton, Schneider Electric, Siemens
- Safety Switches: UL 98 listed; NEMA KS 1 compliant; 600 VAC rated; heavy duty; listed for 60 / 75 deg C conductors; horsepower rated; lockable handle with minimum capacity for three padlocks; interlocked with cover in closed position.
- Circuit Breakers Enclosures: UL 489 listed; directly operable from front for NEMA 1 or externally operable with operating mechanism; padlockable in the closed position.

2.10 MOTOR CONTROLLERS

- Manufacturer List: ABB, Eaton, Emerson (Appleton), Legrand (Pass & Seymour), Leviton, Siemens, Rockwell Automation (Allen-Bradley), Schneider Electrical (Square D), Siemens
- Manual Motor Controllers: UL 60947-4-1 listed; NEMA ICS 2 general purpose Class A; non-reversing; red pilot light; flush mounting.
- Combination Full-Voltage Magnetic Motor Controllers: UL 60947-4-1 listed; NEMA ICS 2 general purpose Class A; non-reversing; across-the-line start; 600 VAC rated; red and green light LED lights; hand-off-auto selector switch; reset button; solid-state overload relay class 10/20; heavy-duty, NEMA KS 1, disconnecting means with lockable handle with space for three padlocks and interlocking cover in closed position; (2) NO and (2) NC auxiliary contacts.

2.11 PANELBOARDS

- Manufacturer List: ABB, Eaton, Schneider Electric (Square D), Siemens
- Panelboards:
 - UL 67 listed, UL CCN QEUJ; UL 899A listed for service entrance equipment; Fed Spec W-P-115 Type 1 Class 1, NEMA PB 1 compliant.
 - Enclosures (Steel): Flush and surface mount; dead-front; key-locking; door-in-door-trim; galvanized steel; minimum 20-inch width.
 - Busess: Tin-plated aluminum or hard-drawn copper; full-sized neutral electrically isolated from enclosure; equipment ground bus for feeder and branch circuit grounding conductors, bonded to box.
 - Connectors: Tin-plated aluminum or hard-drawn copper; listed for use with 75 deg C conductors; mechanical type lugs.
 - Circuit Breakers: UL 489 listed; molded-case; accepts plug-in and bolt-on breakers. Provide multi-pole units with common trip element.
 - Surge Protection: UL 1449 listed Type 2; IEEE C62.41 and C62.45 compliant; EMI/RFI filtering; minimum 200 kA SCRR; 20 kA nominal discharge current rating; integral, unless otherwise indicated; surge counter. Provide where indicated in drawings.

2.12 LOW-VOLTAGE DISTRIBUTION TRANSFORMERS

- Manufacturers: ABB, Eaton, Emerson, Federal Pacific, Hammond, Hubbell, Jefferson, Maddox, Rockwell Automation, Schneider Electric, Siemens
- Dry Type Distribution Transformers: UL 1561 listed, UL CCN XGNX; NEMA ST 20, ANSI C57.12, 10 CFR 431 compliant; aluminum or copper; ventilated; minimum (2) 2.5% percent taps above and below; 220 deg C insulation system; 150 deg C temperature rise.

2.13 ELECTRICITY METERING

- Manufacturers: ABB, Eaton, Honeywell, Leviton, Milbank, Schneider Electric, Siemens, Xykem (Sensu)
- Current Transformer Cabinets: Comply with requirements of the electrical power utility company.
- Meter Sockets: Comply with requirements of the electrical power utility company.
- Modular Meter Centers: Comply with requirements of the electrical power utility company.

2.14 FUSES

- Manufacturers: Eaton (Bussman), Littelfuse, Mersen
- Cartridge Fuses: UL listed (UL CCN JDZ); NEMA BI 50009 compliant; current limiting, nonrenewable, time delay, rejection style, blow indicator.
- Services, Feeders, Branch CKTs: Class RK5 for 0 to 600 A (RK1 for motors), Class L for 601A to 6000A.

2.15 LIGHTING

- Manufacturers and Products: Refer to light fixture schedule.
- Light Fixtures:
 - LED light source.
 - UL damp location listed for indoor lighting and wet location for outdoor lighting, unless otherwise indicated.
 - Minimum 32 to 104 deg F operating temperature range.
 - Maximum 3-step MacAdam Ellipse for indoor lighting, 4-step for dwelling unit lighting, and 7-step for exterior lighting.
 - Minimum 0.125-inch lens.
 - Minimum 80 CRI for indoor lighting, minimum 90 CRI for dwelling unit lighting, and 70 CRI for outdoor lighting, unless otherwise indicated.
 - Minimum Lumen Maintenance for Luminaires: 40,000 hours to L90, 50,000 hours to L80, and/or 50,000 hours to L70.
- Emergency Lighting: UL 924 listed; LED; test pushbutton; indicator light; integral self-test.
- Emergency Lighting Inverters: UL 924 listed; self-testing.
- Exit Signs: UL 924 listed; LED, dual voltage 120 / 277 V.
- Supports: Proper supports and mounting accessories, such as hangers, stems, yokes, and plaster frames, shall be provided as required for the type of ceiling installed.

2.16 LIGHTING CONTROLS

- Manufacturers:
 - Lighting Control Devices: Acuity, Crestron, Current, Cooper Lighting Solutions, Eaton, ETC, Functional Devices, Hubbell, Intermatic, Leviton, Legrand, Lutron, NSI-Tork, Schneider Electric, SensorWorX
 - Additional Manufacturers for Emergency Lighting Controls: Ausimere, Everelite, Isolite, LVS, Myers EFS, Sure-Lites
 - Additional Manufacturers for Lighting Contactors: ABB, Rockwell Automation, Siemens
 - Network Lighting Controls: Acuity (Fresco, nLight), Cooper Lighting Solutions (iLC, Wavelink), Crestron (Green Light, Zim), Current (NX), ETC (Echo, Paradigm), Legrand (Encelium, Watsopper), Leviton (GreenMAX, GreenMAX DRC), Lutron (Athena), Philips (Dyralite)
- Time Switches: 120-277 VAC; holiday schedule; automatic DST adjustment; 365-day operation mode; astronomical time schedule.
- Outdoor Photocells: Comply with UL 773; 120-277 VAC; 1.5 to 10 to 10 fc monitoring range; Fail On failure mode; 1.5 ft turn on level; -40 to 140 deg F operating temperature.
- Occupancy Sensors: 12-24 VDC; dual-technology (PIR and ultrasonic or microphonic); NEMA WD 7 compliant.
- Photosensors: 12-24 VDC; open or closed loop; 1-100 fc range; remote calibration; continuous dimming.
- Lighting Controls: Comply with NEMA ICS 2; 120-480 VAC; Hand-Off-Auto selector switch; electrically operated, electrically held; pilot light; NO auxiliary contacts.
- Wallbox Occupancy Sensor Switches: 120-277VAC; dual-technology (PIR and ultrasonic or microphonic); 800 VA electronic ballast rating; white.
- Timers: Comply with UL 20; 120-277 VAC; 800 VA electronic ballast rated; 1/4 HP motor rated; interval countdown type; white.
- Dimmers: Comply with UL 1472; 120-277 VAC; NEMA SSL 7A compliant for phase dimming loads; 800 VA electronic ballast load rating for 0-10V dimmers; decora profile; white.
- Power Pasks: UL 2043 plenum rated; 120-277VAC; mounts to 12-inch knockout; supports Auto On/Auto Off sequence of operations and Manual On/Auto Off where indicated.
- Automatic Load Control Relays: UL 924 listed; plenum rated; 120-277 VAC; integral test switch; fire alarm override contacts; 0-10V override for dimming loads; 16 A electronic ballast load rating.
- Network Lighting Controls:
 - Network: Wired.
 - Lighting Control Panels: Support UL 924 listed relays; network interface; 14 kA minimum SCCR; alarm override contact; 16 A load rating; supports 1-, 2-, and 3-pole switch legs; hinged door; voltage barriers between different voltages and between emergency and normal power.
 - Load Controllers: Plenum rated; network interface; 120-277 VAC; 16 A load rating; mounts to 1/2-inch knockout or surface mount.
 - Switches: Decorator profile; network interface; gangable; ON/OFF status LEDs; pushbutton; white.
 - Touchscreens: Full-color capacitive touchscreen; network interface; auto screen shutoff; password option; single-gang vertical 3-inch screen for up to 16 channels; 2-3 gang horizontal screen for more than 16 channels and for 3-color control.

PART 3 - EXECUTION

3.1 EXAMINATION

- Before beginning sitework, investigate and verify the existence and location of underground utilities and electrical systems, and their construction affecting the Work.
- Before proceeding with each component of the Work, examine substructures, areas, and conditions for compliance with requirements for installation tolerances and other tolerances affecting performance. Verify space requirements and dimensions of items shown diagrammatically on Drawings.
- Notify Engineer of conflicts between existing conditions and requirements of the electrical drawings and specifications.

3.2 SELECTIVE DEMOLITION

- Demolish and remove existing construction only to the extent required by new construction and as indicated.
- For items indicated for removal and reinstallation, clean and repair items to functional condition adequate for intended reuse. Protect items from damage during transport and storage. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.
- Remove abandoned conductors and cables. Abandoned conductors and cables are those installed that are not terminated at equipment and are not identified with a tag for future use.
- Remove abandoned conduit in exposed locations, crawl spaces, or above accessible ceiling. Cap or plug abandoned conduit extending through floors.
- Remove abandoned surface mounted boxes and raceway.
- Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Engineer, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.

3.3 TEMPORARY POWER AND LIGHTING

- Furnish and install temporary electrical power and lighting adequate for construction operations. Comply with NECA, NEMA, and L standards and NFPA 70 for temporary electrical services.

3.4 SELECTION OF CONDUCTORS AND CABLES

- Low Voltage Power Conductors and Cables
 - Material:
 - Services and Feeders: Aluminum or copper; stranded.
 - Branch Circuits:
 - Dwelling Units: Copper; solid for No. 10 AWG or less and stranded for No. 8 AWG and larger.
 - Non-Dwelling Units: Copper; stranded.
 - Minimum Conductor Sizes:
 - Copper: No. 12 AWG. No. 10 AWG permitted for dwelling units.
 - Aluminum: No. 8 AWG.
 - Type NM and UF Cable: Permitted in concealed locations where permitted by applicable codes.
 - Type USE and SE Cable: Permitted in concealed locations where permitted by applicable codes.
 - Type MC Cable: Permitted in concealed locations where permitted by applicable codes.
- Control Circuit Conductors Sizes: Comply with NFPA 70 and manufacturer's instructions.

3.5 SELECTION OF CONDUIT

- Aluminum not permitted.
- Conduit Types:
 - Outdoors, Aboveground, Exposed: RMC, IMC.
 - Outdoors, Aboveground, Concealed: RMC, IMC, PVC, RTRC.
 - Outdoors, Belowground: PVC, HDPE, RTRC.
 - Outdoors, Connections to Vibrating Equipment: LFMC.
- Underground Sub-Ups: RMC, IMC.
- Underground Elbows: RMC, IMC, RTRC.
- Indoors, Not Subject to Severe Physical Damage: RMC, IMC, EMT.
- Indoors, Subject to Severe Physical Damage: RMC, IMC.
- Indoors, Damp or Wet Locations: RMC, IMC, stainless steel EMT, Schedule-80 PVC, RTRC.
- Indoors, Corrosive Environments: 316 stainless RMC and IMC, PVC-coated RMC and IMC, Schedule 80 PVC, RTRC.
- Indoors, Connections to Vibrating Equipment:
 - Dry Locations: LFMC and FMC.
 - Damp and Wet Locations: LFMC.

3.6 SELECTION OF BOXES AND COVERS

- Material: Metallic.
 - Wet Locations: FSI/FD galvanized cast metal, 302/304 or 316 stainless steel, PVC-coated metallic, PVC, or fiberglass.
 - Corrosive Locations: 316 stainless steel, PVC-coated metallic, PVC, or fiberglass.
- Cover Plates: 302/304 stainless steel.
- Dwelling Units: Nylon. Coordinate finish with architect.
- Hoods: Metallic.
- Dwelling Units: Nonmetallic permitted.
 - Underground Handhole and Box Load Ratings:
 - Units in Roadways and Other Deliberate Traffic Paths: AASHTO HB 17, H-20
 - Driveway, Parking Lot, and Off-Roadway Locations: Subject to Occasional, NonDeliberate Loading by Heavy Vehicles: SCTE 77, Tier 22.
 - Sidewalk and Similar Applications with Safety Factors for Nondeliberate Loading by Vehicles: SCTE 77, Tier 8.
 - Subject to Light-Duty Pedestrian Traffic Only: SCTE 77 with 3000 lb-ft vertical loading.

3.7 SELECTION OF HANGERS AND SUPPORTS

- Material: Steel.
 - Wet Locations: 304 stainless steel, PVC-coated metallic, PVC, or fiberglass.
 - Corrosive Environments: 316 stainless steel, PVC-coated metallic, PVC, or fiberglass.

3.8 INSTALLATION GENERAL REQUIREMENTS

- Install electrical equipment and components in a neat and workmanlike manner in accordance with NECA 1 and other accepted industry best practices.
- Use and install equipment in accordance with any instructions included in the listing, labeling, or identification.
- Comply with manufacturer installation instructions and recommendations.
- Avoid cutting or boring holes through structure where possible. Obtain prior approval of Owner and conform to structural requirements when cutting or boring the structure is necessary and permitted.
- Provide blocking and attachment plates and anchors and fasteners of adequate size and number to securely anchor each component in place, accurately located and aligned with other portions of the Work. Where size and type of attachments are not indicated, verify size and type required for load conditions with manufacturer.
- Locate the Work and components of the Work accurately, in correct alignment and elevation, as indicated. Make vertical work plumb and make horizontal work level. Where space is limited, install components to maximize space available for maintenance and ease of removal for replacement.
- Backboards: Install backboards with 96-inch dimension vertical. Butt adjacent sheets tightly and form smooth gap-free corners and joints.
- Concrete Bases:
 - Construct concrete bases of dimensions indicated, but not less than 4 inch larger in both directions than supported unit, and so anchors will be a minimum of 10 bolt diameters from edge of the base.
 - Use 3000 psi, 28-day compressive-strength concrete.
 - Place and secure anchorage devices. Use supported equipment manufacturer's setting drawings, templates, diagrams, instructions, and directions furnished with items to be embedded. Install anchor bolts to elevations required for proper attachment to supported equipment. Install anchor bolts according to anchor-bolt manufacturer's written instructions.
- Install SPDs are close as practicable to the equipment served.

3.9 INSTALLATION OF CONDUCTORS AND CABLES

- Comply with NEMA RV 1 (MC cable), RV 2 (NM/UF cable), RV 4 (SE cable), and FB 2.20 (fittings).
- Conceal cables in finished walls, ceilings, and floors unless otherwise indicated.
- Install exposed cables parallel and perpendicular to surfaces of exposed structural members and follow surface contours where possible.
- Make splices, terminations, and taps that are compatible with conductor material and that possess equivalent or better mechanical strength and insulation ratings than un-spliced conductors.
- Wiring at Outlets: Install conductors at outlets with at least 6 inches of slack. Pigtail connections.
- For MC cable terminations, furnish and install anti-shock bushings.
- Install sleeves and sleeve seals at penetrations of exterior floor and wall assemblies. Apply firestopping to electrical penetrations of fire-rated floor and wall assemblies to restore original fire-resistance rating of assembly.
- Comply with TIA-569 for pull box sizing, length of conduit, and number of bends for control voltage cable.
- Comply with TIA-569 and BICSI TDDM for separation of communications cable from EMI sources.
- Control Voltage Open-Cable: Suspend copper cable not in a wireway or pathway a minimum of 8 inch above ceilings by cable supports not more than 30 inches apart.

3.10 INSTALLATION OF CONDUITS

- Comply with STI "Guidelines for Installing Steel Conduit/Tubing".
- Comply with FB 2.40 for expansion fittings, NEMA FB 2.20 for FMC fittings, and NEMA FB 2.10 for metal conduit fittings.
- Install expansion fittings for lengths no more than 25 ft for PVC, 100 ft for EMT, IMC, or RMC, and at locations where conduit cross building or structure expansion joints.
- Conceal conduit within finished walls, ceilings, and floors unless otherwise indicated. Surface conduit permitted in electrical and mechanical rooms and in exposed ceilings.
- Install conduits parallel or perpendicular to building lines.
- Do not install conduit within 2 inches of metal deck roof.
- Install pull wires in empty duct raceways. Provide polypropylene or monofilament plastic line with not less than 200 lb tensile strength. Leave at least 12 inches of slack at both ends of pull wire. Cap underground duct raceways designated as spare above grade alongside duct raceways in use.
- Where nonmetallic conduits are used in or under floor slabs or concrete pours, change to steel conduit prior to exiting the floor or slab.
- Seal interior of conduits at exterior walls, refrigerated space wall, pressurized space wall, underground service ducts, and where required by NEC.
- Apply secondary corrosion protection, such as compounds, tape wraps, or shrink wraps, to steel conduit in contact with soil and for a minimum of 4-inches where the conduit emerges from the soil. Where raceway emerges from concrete into soil, provide a minimum of 4-inches of protection on either side of the point where the raceway emerges.
- Threaded Conduit Joints: Exposed to Wet, Damp, Corrosive, or Outdoor Conditions: Apply listed compound that maintains electrical conductivity to threads of duct raceway and fittings before making up joints. Follow compound manufacturer's published instructions.
- FMC, LFMC, and LFNC: Comply with NEMA RV 3. Provide a maximum of 72 inch of flexible conduit for recessed and semi-recessed luminaires, equipment subject to vibration, noise transmission, or movement; and for transformers and motors.
- Duct Raceway Terminations at Locations Subject to Moisture or Vibration: Provide insulating bushings to protect conductors. Install insulated throat metal grounding bushings on service conduits.
- Fire Wall Penetrations: Seal fire wall penetrations with firestopping.
- Acoustic Wall Penetrations: Seal penetrations through wall with acoustic requirements with acoustically rated putty or firestopping on both sides of wall.
- Sub-Ups Above Ceilings: Provide EMT, IMC, or RMC for duct raceways. Provide conduit bushing or insulated fittings to terminate sub-ups not terminated in hubs or enclosures.

3.11 INSTALLATION OF UNDERGROUND DUCTS AND RACEWAYS

- Comply with NEMA TCB 2.
- Restore areas disturbed by trenching, storing of dirt, cable laying, and other work. Restore vegetation and include necessary topsoiling, fertilizing, liming, seeding, sodding, sprigging, and mulching.
- Install 200 lb test nylon cord in empty ducts.
- Direct Buried:
 - Install top of duct at least 36 inch below finished grade unless otherwise indicated.
 - Place minimum 3 inch of sand as bed for duct. Place sand to minimum of 6 inch above top level of duct.
 - Install duct with minimum of 3 inch between ducts for like services and 6 inches between power and communications duct
 - Bury conducting underground line no less than 12 inch above concrete-encased duct and duct banks and approximately 12 inch below grade. Align tape parallel to and within 3 inches of centerline of duct bank. Provide additional warning tape for each 12-inch increment of duct-bank width over nominal 18 inch. Space additional tapes 12 inch apart, horizontally across width of ducts.
- Handholes and Boxes (Non-Precast):
 - Unless otherwise indicated, support units on level bed of crushed stone or gravel, graded from 1/2-inch sieve to No. 4 sieve and compacted to same density as adjacent undisturbed earth.
 - Elevation: In paved areas and trafficways, set cover flush with finished grade. Set covers of other handholes 1 inch above finished grade.
 - For enclosures installed in asphalt paving and subject to occasional, nondeliberate, heavy-vehicle loading, form and pour concrete ring encircling, and in contact with enclosure entry, and with top surface screeded to top of box cover. Bottom of ring must rest on compacted earth.
 - Concrete: 3000 psi, 28-day strength.
- Dimensions: 10 inch wide by 12 inch deep.

3.12 INSTALLATION OF BOXES

- Comply with NEMA OS 3.
- Horizontally separate boxes mounted on opposite sides of walls, so they are not in the same vertical channel.
- Support boxes in recessed ceilings independent of ceiling tiles and ceiling grid.
- Support boxes of three gangs or more from more than one side by spanning two framing members or mounting on brackets specifically designed for purpose.
- Boxes and Enclosures in Areas or Walls with Acoustical Requirements: Seal openings and knockouts in back and side of boxes and enclosures with acoustically rated putty. Provide gaskets for wallplates and covers.
- Paint fire-alarm system junction boxes and covers red.
- Hoods: Metallic.
- Install voltage barriers between switches and other switches, receptacles, or similar devices with voltage between devices exceeding 300V.

3.13 INSTALLATION OF SLEEVES AND SLEEVE SALS

- Wall Sleeves: Use circular metal sleeves unless penetration arrangement requires rectangular sleeved opening.
- Floor-Penetration Sleeves: Extend sleeves installed in floors 2 inch above finished floor level.
- Roof-Penetration Sleeves: Seal penetration of individual raceways and cables with flexible boot-type flashing units applied in coordination with roofing work.

3.14 INSTALLATION OF EQUIPMENT CONNECTIONS

- Furnish and install conductors and raceways for electrical powered equipment.
- Furnish and install a disconnect switch immediately ahead of and adjacent to each magnetic motor starter or appliance unless the motor appliance is located adjacent and within sight of the serving panelboard, circuit breaker or switch. Verify all equipment nameplate current ratings prior to installation.
- Install all rough-in work for equipment from approved shop drawings to suit the specific requirements of the equipment.
- Furnish and install manual thermal protection for all motors not integrally equipped with thermal protection.
- Furnish 120 Volt power to each control panel and time switch requiring a source of power to operate.

3.15 INSTALLATION OF ELECTRICAL EQUIPMENT

- Panelboards:
 - Comply with NEMA PB 1 and PB 1.1.
 - For damp, wet, or dirty location, mount surface mounted panelboards to steel slotted supports 1-1/4 inch

DATE: March 6, 2026
TO: City of Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: Case 26-08: Amendment to South Village Preliminary PD

1.0 Background

City Council approved the preliminary development plan and Planned Development rezoning of 700 and 724 Robbins Rd. (parcels #70-03-33-100-073 and #70-03-33-100-072) at the June 2, 2025 meeting. The preliminary development plan was approved with conditions. Since receiving approval, the development team has been steadfast in their efforts to comply with the conditions of approval, most notably the EGLE Permit and Traffic Impact Study. During this time, the developer determined the approved preliminary plan would require modifications based on findings to reduce the overall density. Please see the conditions below with comments:

1. South Village will comply with all applicable federal, state, county, and City laws and ordinances.
2. A departure from the building separation standard of 20 feet is approved to allow for building separations of 14 feet, two inches between units 4 and 5 in building area D; 16 feet, five inches between units 4 and 5 in building area E; and 16 feet, six inches between units 17 and 18 in building area G, all as shown on the preliminary development plan. **Comment:** Should now read: Allow for building separation of 14.9 ft. between units 21 and 20, 19 ft. between units 27 and 28, 17.5 ft. between units 36 and 35 in building area D, 18.5 ft. between units 25 and 26, and 19.7 ft. between units 12 and 13 in building area E.
3. A lot split application shall be submitted by the developer for the lot split of Parcel Number 70-03-33-100-072 and subsequent combination with Parcel Number 07-03-100-073 as a condition of preliminary development plan approval. **Comment:** This is met. Lot split application approved May 2025.
4. The street trees in the South Village along Robbins Road will be replanted by the developer per specifications of and approval by the City's Public Works Department. **Comment:** This will carry over to final development plan.
5. Landscaping around the perimeter of the South Village should be preserved by the developer to the greatest extent possible, to the satisfaction of the City, to soften and screen the site and to provide the greatest buffer from the residential properties to the south and west and the railroad tracks to the east. **Comment:** Final development plan will clearly provide landscape screening details.
6. A sensitive area overlay application acceptable to the City shall be submitted by the developer with the final development plan for South Village. **Comment:** Will be submitted with final development plan.
7. A sanitary sewer agreement shall be negotiated with and approved by Grand Haven Charter Township and the City for South Village. **Comment:** GHCT has been made aware, but no sanitary sewer agreement has been drafts at this time.
8. Signage for South Village shall conform to the Multiple-Family Residential District standards in the Zoning Ordinance. **Comment:** Final development plan will detail signage.
9. Exterior cladding materials for all buildings in the South Village shall meet the standards of the Multiple-Family Residential District in the Zoning Ordinance. **Comment:** Renderings are included in the amended plan, but full architectural details are not specified. Final development plan shall confirm cladding details.
10. A traffic impact study shall be submitted by the developer prior to final development plan approval for South Village. The traffic impact study shall identify any solutions to any adverse impacts on public roadways resulting from the development, and who shall be responsible for implementing and paying for such solutions. **Comment:** A traffic impact study was submitted in November 2025. The



findings revealed there would be no adverse impacts on public roadways as a result of the proposed development.

- 11. A utility plan prepared by the developer and acceptable to the City shall be included in the final development plan for South Village. **Comment: Carry over to final development plan.**
- 12. An EGLE permit shall be obtained by the developer for any portion of the South Village development located within any identified wetland area. **Comment: EGLE Permit issued on February 12, 2026.**

2.0 Request

South Village team presented the reduction of total housing units from 189 to 118. The primary change is the removal of stacked flats entirely and replaced with townhouse units. Total figures:

Type	# units (original)	# units (proposed)
Row house	8	16
Stacked Flats	108	0
Townhouse	44	102
Single-family attached	29	0
Total	189	118
Gross Density	8.1 units/acre	5.1 units/acre

Housing Type

Of the 118 total units, 20% of the units are proposed to be affordable, set at 80% of the AMI. This equates to 24 total units, an increase from 11 units of the original development plan.

Site Amenities

The original PD included a clubhouse, pickleball court, and concept landscape area. The proposed PD removed the clubhouse, relocated the pickleball court and dog park, and added a playground and pavilion/bathroom building and social commons. The amended plan also depicts sidewalk installed along Robbins Rd. and entry walks to Rowhouse A, units 9-12. Also added a pathway towards the wetland viewing platform located west and south of units 22-25, townhouse E. Due to the wetland location, grading and compliance with EGLE permit, the sidewalk north of the main drive serving single-family homes G in the original plan has been removed.

Access Drive

The amended plan still depicts two curb cuts off Robbins Rd., but the primary drive has been amended to remove the boulevard design and traffic circle, in favor of a 24 ft. wide drive, with full crosswalk markings at the primary intersections. These changes were made on requests from the Fire Marshal.

Open Space

With less units, the open spaces have increased from 9.3 acres (40%) to 10.5. acres (45%).

Parking

The total parking spaces has been reduced from 533 spaces to 300 spaces. Driveway parking spaces are not included in the 300-space count.

Public Benefit

The applicant cites the preservation of woodlands, wetlands, open space, and increase of affordable housing and increase in housing stock, and innovation of building design and configuration, provides a direct and indirect public benefit, complying with Sec. 40-421.02



3.0 Process

The primary purpose of this meeting is to provide feedback on the amended plan, and to decide on whether the amendment is minor or major. Should the Planning Commission confirm the proposed amendment is major, Sec 40-421.11.C would require the major changes to be processed in accordance with the original approval procedures for a PD. Staff would direct the applicant to submit the appropriate paperwork and fees.

At a subsequent meeting, a public hearing would be held to consider amendments to the Planned Development. The Planning Commission will make a recommendation to the City Council concerning the PD amendment, and then the City Council will approve or deny the PD amendment. If it is approved, the applicant will return to the Planning Commission for a final development plan approval and sensitive areas overlay review.

It shall be important to consider the preliminary plan modifications will result in less dwelling units, lessened traffic impact, reduced impact on public utilities and services, all while increasing open space and increase in affordable housing units. There is no change in uses, setbacks, and access drives. A preliminary development plan by nature is different than a site plan, allowing for flexibility in the design and deliverables, particularly for a project of this scope and size. If approved as a minor amendment, a motion should state that no action will be taken to modify the conditions of approval imposed by City Council.

4.0 Sample Motions

Motion to approve CASE 26-08, a minor amendment to the preliminary development plan for South Village, with the conditions of approval from Case 25-12.

Motion to determine CASE 26-08 and proposed changes are considered MAJOR and therefore will require re-consideration of the preliminary development plan, which will include public hearings at both the Planning Commission and City Council level.

Attachments:

- A. Project narrative
- B. Amended Preliminary Development Plan
- C. Project renderings
- D. Sec. 40-421.11
- E. April 22, 2025 Planning Commission meeting minutes
- F. Wetland Delineation Report
- G. Traffic Study
- H. EGLE Permit

SOUTH VILLAGE

City of Grand Haven

Preliminary Development Plan Amendment



PROJECT NARRATIVE

Updated March 3, 2026

OVERVIEW

IMD Capital in cooperation with T. Bosgraaf Homes, LLC proposes a new residential community at the former Dake Corporation site on Robbins Road just west of US-31. **South Village** will offer rowhouses and townhomes with mix of rental and “for sale”, owner-occupied housing. The site is carefully designed to achieve the goals and vision articulated in the Master Plan of the City of Grand Haven, offering a mix of residential housing types and providing a sensible transition from the neighboring single-family homes to the west and the commercial areas to the east. The project will be an environmental asset to the community, eliminating a lifeless industrial facility and preserving wetland resources.

In conformance with Chapter 40 of the City of Grand Haven Zoning Ordinance, the applicant received a rezone to the Planned Development (PD) district on May 19, 2025. Planned Developments allow for site design, layout flexibility, and innovation that cannot be achieved within conventionally structured zoning districts.

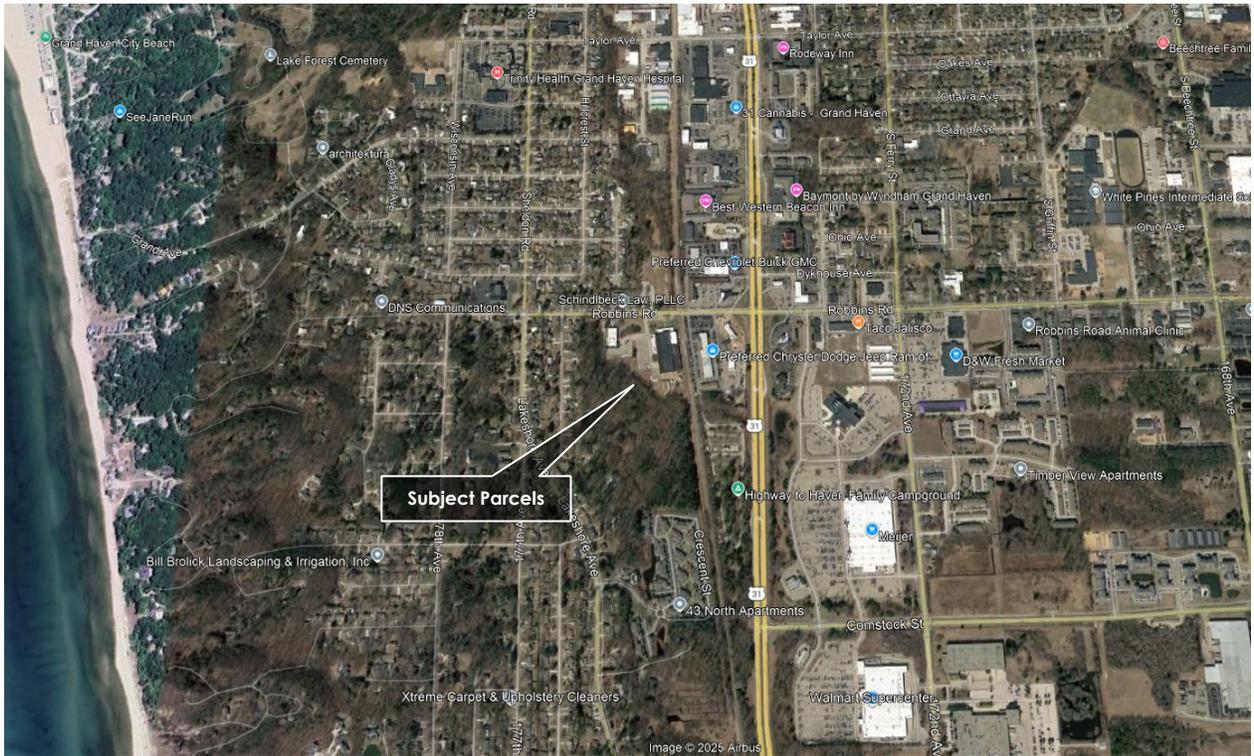
After additional project investigation, the applicant seeks to amend the Preliminary Development Plan associated with the approved PD. The new unit count and overall density of the project are reduced as the larger multiple family buildings are now proposed to be replaced with townhouse units.

South Village is now proposed to feature 16 rowhouse units and 102 townhouse units of various sizes and configurations. With 118 units on 23.3 acres, the density is 5.1 units per acre. Proposed amenities include a dog park, pickleball courts, playground, pavilion with restrooms, social commons and a robust network of sidewalks and paths.

In summary, the amended Planned Development provides a vibrant community with an emphasis on desirable quality of life characteristics including walkability, activities, amenities, quality living units, and a strong sense of community.

PARCEL INFORMATION

The subject properties are located at 724 Robbins Road.



The property currently hosts an old manufacturing facility with several accessory buildings. These structures will all be razed and the ground cleaned up according to a Brownfield Work Plan with the State.

In 2025 the land to the northwest with the office building (700 Robbins Road) was split from the subject property by way of land division. This parcel is now home to Esox Engineering and is no longer part of the subject property. It is not proposed as part of the PD and upon construction of South Village the drive connecting the parcels will be demolished.

The subject property includes two existing parcels as indicated below:

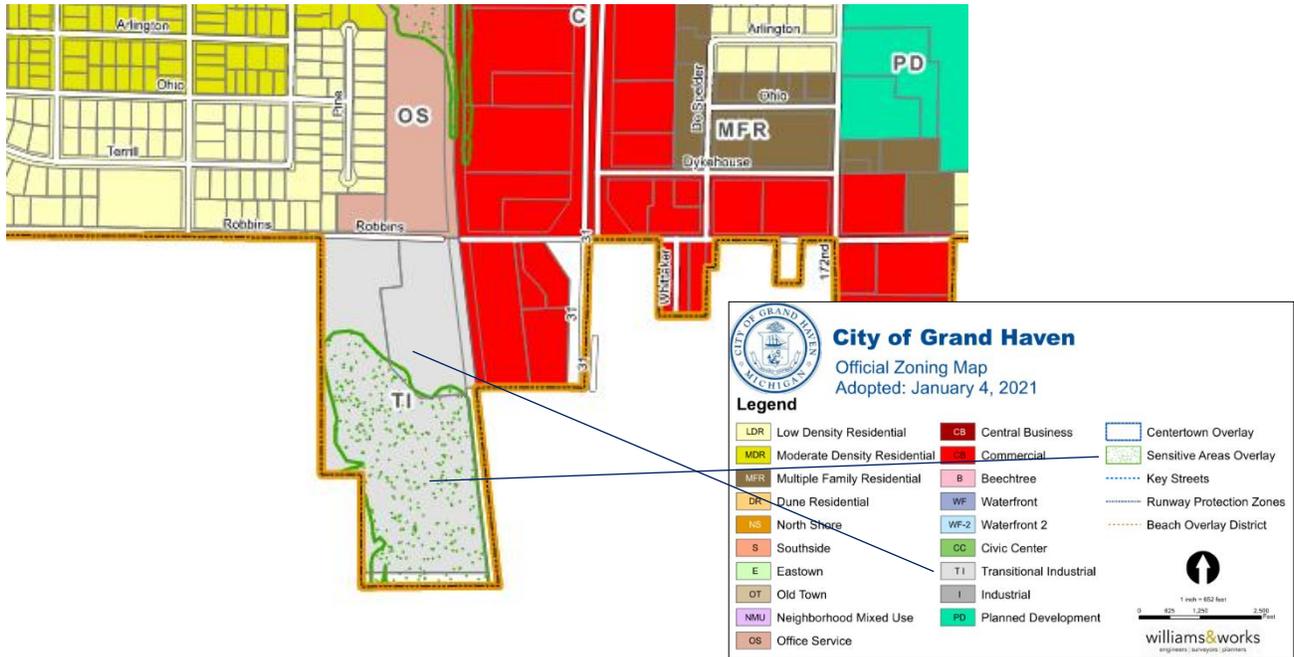
Address	Parcel number:	Size (acres)	Current Zoning:	Current Owner
Unaddressed Robbins Road	70-03-33-100-091	17.73 (GIS)	PD	JSJ Corporation
724 Robbins Road	70-03-33-100-073	5.81 (GIS)	PD	Dake Corporation
Total:		23.3 (survey)		



Please see site plan sheet C-201 for legal descriptions and other parcel details.

CURRENT ZONING

According to the City of Grand Haven Official Zoning Map adopted 1/4/2021, the subject parcels were previously zoned TI, Transitional Industrial. A portion of the southern area of the property falls within the Sensitive Areas Overlay district.



After receiving the Planning Commission's recommendation and conducting a public hearing, the City Council on May 19, 2025 acted to approve an introductory resolution granting a zoning change of the subject properties to PD.

25-094 Mayor Pro-tem **McLaughlin** moved, seconded by Council Member **Lowe**, to approve an introductory resolution to approve a zoning change request from TI, Transitional Industrial District to PD, Planned Development District, and associated Preliminary Development Plan for South Village PD located on what is commonly referred to as the Dake property at 700 & 724 Robbins Road (parcels #700-03-33-100-072 and #700-03-33-100-073).

Roll Call Vote:

This motion carried unanimously.

FUTURE LAND USE

The Future Land Use map included in the City of Grand Haven Master Plan Update adopted May 15, 2023 designates the subject parcels as Mixed Use Redevelopment. The property does not fall within any of the Sub Areas articulated in the Master Plan



FUTURE LAND USE MAP

LEGEND

-  Natural Area / Open Space
-  Low to Moderate Density Residential
-  Moderate to High Density Residential
-  Traditional Neighborhood Mixed Use
-  Service / Residential
-  Service / Commercial
-  Downtown
-  Industrial
-  Mixed Use Redevelopment
-  Sub Areas
-  Grand Haven City Boundary
-  Water Features
-  Highways
-  Roadways
-  Railroad

MASTER PLAN

The South Village PD has been designed to further the goals included in the 2023 Master Plan update. While the *Mixed Use Redevelopment* portion of the Master Plan (Chapter 13) speaks mostly to unrelated subareas, South Village does advance the goals for Housing and Neighborhoods articulated in Chapter 12.

Goal One of this section envisions communities with “a broad range of housing types, including detached and attached units, appropriate for all segments of the population.”

Goal 1. Dwellings in Grand Haven will include a broad range of housing types, including detached and attached units, appropriate for all segments of the population

a. Support a variety of housing types and densities and mixed use developments for all segments of the population that place users near daily services.

South Village proposes a variety of housing types and densities that places users near daily services.

The need for housing in the area is a growing concern. A Housing Needs Assessment was completed by Bowen National Research dated 2025 for Ottawa County. According to this housing report, in order to meet housing demand over the next 5-years between 2024-2029, the County requires 16,464 new housing units including 12,526 owner-occupied units and 3,938 renter-occupied units. The renter demand includes 997 units needed for households with income between 51% to 80% AMI and 400 units needed for households with income between 81% to 120% AMI. In Ottawa County, the share of renter-households that were cost burdened as of 2022 was 45.3%, including 32.2% of renter-households that were severely cost burdened.

Additionally, in this report, the Grand Haven area was included in the Northwest submarket analysis. In the Northwest market, the total number of households grew by 14.6% between 2010 to 2020, and is expected to grow by 4.2% between 2024-2029. This compares to State growth of 4.4% and 1.4%, respectively, over the same period. There is significant acute housing demand not only in Ottawa County, but in the Grand Haven submarket as well. This project will provide a unique array of housing options, including for-sale and for-rent options with affordable for-rent options, meeting many market segments identified with demand in this housing study.

Lakeshore Advantage, the regional economic development agency serving Allegan and Ottawa Counties, noted in its 2024 annual industry trends report that housing scarcity was a significant barrier to business growth and is a key decision gate for employers in their region as they evaluate expansion opportunities. Despite this, employment in Lakeshore Advantage’s region is projected to grow by 8,771 jobs over the next 5-years. In 2022, Gentex announced a \$200 million expansion that would create 500 new jobs in Zeeland. The creation of additional housing supply in the area is critical to supporting the expected job demand projected in the area.

Goal Two of this section seeks residential neighborhoods that are attractive, well maintained, safe, and inviting with convenient connections to recreation, employment, transportation, shops, services, and natural areas. South Village is ideally positioned geographically to accomplish these goals. While being close to the US-31 commercial corridor, it also is a short bike ride to the best recreation and natural areas Michigan has to offer. The nature of the housing proposed is an ideal transition from the commercial areas to the east to the residential areas to the west.

Goal 2. Residential neighborhoods will be attractive, well maintained, safe and inviting places with convenient connections to recreation facilities, employment, transportation, shops, services and natural areas.

Also included in Goal Two is the desire to activate brownfield sites for high quality mixed used redevelopment. This is precisely the type of redevelopment South Village proposes.

e. Continue to proactively use brownfield incentives to spur high quality redevelopment in mixed use areas.

Generally, Goals One and Two identify the Planned Development model as the pathway to foster these types of mixed use developments.

SUMMARY OF INTENT

The amended Preliminary Development Plan meets the **intent** of the Planned Development district described in Section 40-421.01

1. South Village proposes to use the land in accordance with its character and adaptability. The portions that are proposed to be redeveloped on the former industrial land will feature the higher densities, while the more natural areas to the south are proposed for lower density housing.
2. South Village promotes the conservation of natural features, fragile lands and the preservation of important and historic community resources. By providing housing stock in a brownfield area, more notable historic and greenfield areas can remain unaffected. The wetland areas to the south would be minimally impacted and the open spaces would be preserved as undisturbed condominium greenspace in perpetuity.
3. The proposed site plan features innovation in land use and design for the purpose of protecting the character of the community and enhancing the quality of life in the city. The arrangement of buildings with central amenities creates a harmonious, walkable community.
4. The South Village PD makes efficient use of land to facilitate a more economic arrangement of buildings, circulation systems, land uses and utilities. Lot lines and setbacks required under traditional zoning would make it difficult to provide a neighborhood that features efficient use of parking, sidewalks, and community amenities.
5. South Village will enhance the housing diversity and recreational opportunities for the people of the city. Multiple housing types at different price points will be available. The community will offer both passive and active recreational amenities to residents.
6. By proceeding with South Village as a Planned Development, it will ensure greater compatibility of design and use among the buildings in this area.

South Village also meets the PD **qualifying conditions** noted in Section 40-421.02 of the zoning ordinance.

The community will provide a host of recognizable and substantial benefits to the ultimate residents of the project and to the wider community, benefits unlikely under traditional zoning constraints.

The rationale for pursuing the PD zoning path was to utilize this zoning district's ability to work creatively to develop a plan that provides great benefit to the community and respects the site's unique characteristics.

The design of South Village provides significant public/community benefit in the following ways:

1. South Village takes a site that has a vacant, obsolete manufacturing/storage facility requiring some environmental remediation and transforms the site into a community-contributing neighborhood, bringing housing opportunities, including affordable housing (20% of the total units), to the Grand Haven community.
2. A significant portion of the site, over 30%, is an existing wooded wetland area. By utilizing the tools that the City has made available (i.e., flexible setbacks, building spacing, site utilization), we are able to essentially preserve these existing natural features with minimal impact.
3. South Village will offer a new neighborhood into the Grand Haven community, open for walking, socializing, exploring and enjoyment by both the South Village residents and the community at large.

4. Introduction of a walkable path network including sidewalks and pathways both along Robbins Road, but internal to the neighborhood. Our design introduces over 6,000 linear feet of walkable sidewalk.
5. Modification, by way of information and analysis from a Traffic Impact Study, to address the Robbins Road intersection with the introduction of a left-turn capability for improved traffic flow.
6. The project addresses a number of the City's objectives within its incentive policy:
 - a. The ownership of the development team resides within MEDC's Prosperity Region
 - b. The project will significantly impact the environment and natural resources through the cleanup and redevelopment of a contaminated site
 - c. Density is consistent with City Land Use regulations, zoning and planning policies
 - d. The project will demonstrate a financial need through a 3rd party proforma review.

South Village has also been designed to satisfy the **development requirements** listed in section 40-421.03 of the zoning ordinance.

A. The amended Preliminary Development Plan is in accord with the general standards.

1. The project will be designed, constructed, and maintained to be an integrated and harmonious development, appropriate in appearance with the character of the general vicinity. As a Planned Development with one development group, the project will have strong continuity of construction and design.
2. South Village will be served adequately by essential public facilities and services, such as highways, streets, pedestrian ways, police and fire protection, drainage structures, refuse disposal, water and sewer, and telecommunications.
3. South Village will be compatible with the capacities of public services and facilities it may affect.
4. As articulated above, the project will be developed in accordance with the intent for a planned development
5. South Village will conform to the Sensitive Area Overlay requirements per section 40-422 for portions of the project that fall within that area. A Sensitive Area Overlay application will be submitted with the final PD plan application. No impact to regulated wetland will be undertaken without first obtaining a Part 303 permit from the State of Michigan department of Environment, Great Lakes, and Energy (EGLE).

B. All proposed uses and features of South Village will be compatible and harmonious within the development and with the surrounding community. As noted above, housing types are positioned to be most harmonious with the community context.

C. The proposed development conforms to all the guidance standards noted in Section 40-421.03(c) with one requested exemption.

Ordinance	Current Requirement	Proposed Requirement	Requested Departure
Sec. 40-421.03(c) – Guidance Standards			
Building Separation	0 or not less than 20 ft..	0 or not less than 14 ft.	6 ft.

D. The proposed modification satisfies the intent of section 40-421.03(c) to allow flexibility. This departure will allow the building configuration to create sense of neighborhood in the subject area.

UTILITY NOTES

The project will be served by municipal water. Watermain will be extended southward from the existing main in Robbins Road.

The project is proposed to be serviced by sanitary sewer in coordination with Grand Haven Township. The sanitary sewer main would be extended northward from a stub just north of the existing 43 North Apartment community.

Stormwater will be collected via a network of storm pipes and detained in compliance with the standards set by the City Engineer. A large detention basin is proposed on the southeast corner of the property, an area of natural drainage. A low flow outlet to the adjacent Vincent Extension Drain is proposed.

Electric, gas, and telecommunications are readily available to be extend into the project.

A complete utility plan shall be submitted with the Final Development Plan application.

SUMMARY

An amendment of the PD Preliminary Development Plan will help the City realize the goals and objectives of its Master Plan, providing needed housing stock and an excellent transition from commercial to lower density residential uses in the area. South Village provides an attractive, connected, high-quality housing opportunity for many types of home buyers and will bring a vibrant new neighborhood to the City of Grand Haven.



LEGEND

- ① SITE ENTRANCE
- ② NEIGHBORHOOD IDENTIFICATION SIGN
- ③ RIGHT OF WAY
- ④ BUILDING SETBACK
- ⑤ PICKLEBALL COURTS
- ⑥ PAVILION & BATHROOMS / SOCIAL COMMONS
- ⑦ STORMWATER MANAGEMENT
- ⑧ TRASH & RECYCLING
- ⑨ CONCEPT LANDSCAPE
- ⑩ EXISTING WOODLANDS TO REMAIN

NOTES

Site Location:	724 Robbins Road Grand Haven, MI 49417
PD Parcel Acreage	= 23.3 ac. (excluding R.O.W.)
Existing Zoning	= PD Planned Development
PD Zoning Requirements	
Minimum Lot Area	= 1,000 sq.ft. per unit (Multi-Family)
Minimum Lot Width	= N/A
Maximum Building Height	= 52 ft.
Maximum Lot Coverage	= 50%
Setbacks	
Front Yard	= 25 ft.
Side Yard	= 20 ft.
Rear Yard	= 25 ft.
Building Separation	= 14 ft. (measured to foundation)
Unit Summary	
'A' Rowhouses	= 16 units
'C' Townhomes	= 18 units
'D' Townhomes	= 38 units
'E' Townhomes	= 33 units
'F' Townhomes	= 13 units
Unit Total	= 118 units
Total Parking Spaces Required (Based on City Requirements of 2/Unit)	= 236 spaces
Total Proposed Parking Spaces	= 300 spaces (2.5/unit)
On-Street /Surface Spaces	= 93 spaces
Garage Spaces*	= 207 spaces*
*Does not include driveway parking spaces in count.	



NEDERVELD
 www.nederveld.com
 800.222.1868

HOLLAND
 730 Chicago Dr.
 Holland, MI 49423
 Phone: 616.393.0449

GRAND RAPIDS
 217 Grandville Ave., Suite 302
 Grand Rapids, MI 49503
 Phone: 616.575.5190

ANN ARBOR
 3037 Miller Rd.
 Ann Arbor, MI 48103
 Phone: 734.926.6963

PREPARED FOR:
 Paramount Realty Partners
 Chad Koster

940 Floral Avenue SE
 Grand Rapids, MI 49506

REVISIONS:

Title: Preliminary PD Submittal	Checked: ED	Date: 2.17.25
Drawn: JM	Checked: ED	Date: 2.17.25
Title: Preliminary PD Resubmittal	Checked: ED	Date: 2.18.26
Drawn: JM	Checked: ED	Date: 2.18.26
Title: Preliminary PD Resubmittal	Checked: ED	Date: 3.4.26
Drawn: JM	Checked: ED	Date: 3.4.26

SOUTH VILLAGE

Existing Site Conditions Plan

724 Robbins Road
 PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
 CITY OF GRAND HAVEN, OTTAWA COUNTY, MICHIGAN

OVERALL DESCRIPTION

The Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 33, Town 8 North, Range 16 West

ALSO:
 All that part of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 33, Town 8 North, Range 16 West, lying West of The Chesapeake and Ohio Railway right of way.

ALSO:
 Part of the Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 33, Town 8 North, Range 16 West, described as: Commencing at the Northwest corner thereof and running thence East along the North line thereof 72.00 feet more or less to the Westerly line of The Chesapeake and Ohio Railway right of way, thence Southeast along the Westerly line of said right of way 75.00 feet, thence Northwest to the Place of Beginning.

ALSO:
 That part of the West 1/2 of the Northwest 1/4 of Section 33, Town 8 North, Range 16 West, described Commencing at the Northwest corner of the South 1/2 of the Northwest 1/4 of the Northwest 1/4 of said Section 33 and running thence South along the West line of said Section 33 a distance of 527.25 feet; thence East 200.00 feet; thence South to a point 900.00 feet North of the East and West 1/4 line and 200.00 feet East of the West line of said Section 33; thence East to The Chesapeake and Ohio Railway Company right of way; thence North along the Westerly line of said right of way to the North line of the South 1/2 of the Northwest 1/4 of the Northwest 1/4 of said Section 33; thence West along the North line of the South 1/2 of the Northwest 1/4 of the Northwest 1/4 of said Section 33 to the Place of Beginning, EXCEPT, part of the Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 33, Town 8 North, Range 16 West, described as: Commencing at the Northwest corner thereof and running thence East along the North line thereof 72.00 feet more or less to the Westerly line of The Chesapeake and Ohio Railway right of way, thence Southeast along the Westerly line of said right of way 75.00 feet thence Northwest to the Place of Beginning.

ALSO EXCEPT,
 part of the Northwest 1/4 of Section 33, Town 8 North, Range 16 West, Grand Haven City, Ottawa County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence North 01 degrees 00 minutes 48 seconds East 900.00 feet along the West line of said Section; thence South 89 degrees 10 minutes 26 seconds East 200.00 feet along the North line of the South 900.00 feet of the Northwest 1/4 of said Section to the Point of Beginning; thence South 89 degrees 10 minutes 26 seconds East 638.16 feet along said North line; thence North 05 degrees 30 minutes 59 seconds West 69.10 feet along the Westerly right of way line of the C&O Railroad; thence North 89 degrees 10 minutes 26 seconds West 630.30 feet; thence South 01 degree 00 minutes 48 seconds West 68.68 feet to the Point of Beginning.

PARCEL 'B' DESCRIPTION

Parcel "B"
 Part of the Northwest 1/4 of Section 33, Town 8 North, Range 16 West, City of Grand Haven, Ottawa County, Michigan, described as: Commencing at the Northwest corner of said Section; thence S90°00'00"E 245.00 feet along the North line of said Section to the Point of Beginning; thence continuing S90°00'00"E 144.09 feet along said North line; thence S02°07'55"E 79.04 feet; thence S05°27'48"E 162.47 feet; thence S03°38'37"W 109.35 feet; thence S06°48'13"E 389.61 feet; thence S43°02'16"E 216.81 feet; thence N85°02'55"E 242.16 feet; thence S06°57'30"E 893.67 feet along the West line of the Chesapeake and Ohio Railway Right of Way; thence S89°23'35"W 629.05 feet; thence N00°33'49"W 483.16 feet; thence S89°51'47"W 200.00 feet; thence N00°25'11"W 798.38 feet along the West line of said Section; thence N90°00'00"E 275.00 feet; thence N00°25'11"W 150.00 feet; thence N30°25'08"W 60.00 feet; thence N00°25'11"W 188.26 feet to the Point of Beginning. Contains 17.74 acres. Subject to easements, restrictions and rights-of-way of record. Also subject to highway right-of-way for Robbins Road over the most Northerly 33.00 feet thereof.

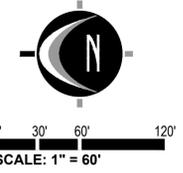
BENCHMARKS

BENCHMARK #224 ELEV. = 620.02 (NAVD88)
 Top of flange bolt under "E" on hydrant, located 28± North of the Centerline of Robbins Road and 516± West of the centerline of the railroad tracks

BENCHMARK #226 ELEV. = 611.86 (NAVD88)
 Railroad tie on south side of power pole located 170± South of the centerline of Robbins Road and 122± West of the northeasterly corner of existing building #724

LEGEND

	Catch Basin - Square		Stop Sign
	Deciduous Tree		Sanitary Manhole
	Evergreen Tree		Fence
	Fire Department Connection		Overhead Utility
	Guy Anchor		Sanitary
	Hydrant		Tree Line
	Light Pole		Asphalt
	Manhole		Existing Building
	Post		Concrete
	Utility Pole		
	Sign		



LOCATION MAP

NOT TO SCALE

PROJECT NO:
 24201135

SHEET NO:
C-201

PREPARED FOR:
 Paramount Realty Partners
 Chad Koster

940 Floral Avenue SE
 Grand Rapids, MI 49506

REVISIONS:

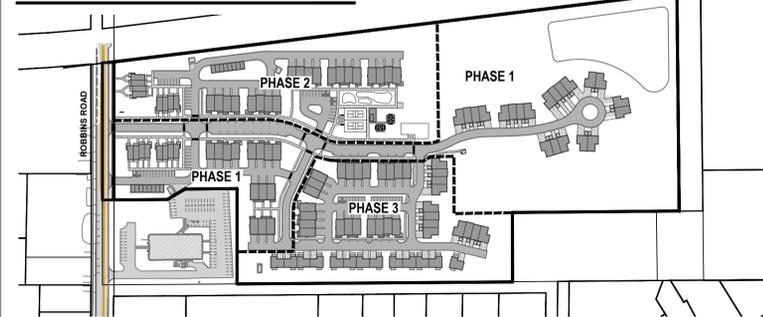
Title: Preliminary PD Submittal	Checked: ED	Date: 2.17.25
Drawn: JM	Checked: ED	Date: 2.17.25
Title: Preliminary PD Resubmittal	Checked: ED	Date: 2.18.26
Drawn: JM	Checked: ED	Date: 2.18.26
Title: Preliminary PD Resubmittal	Checked: ED	Date: 3.4.26
Drawn: JM	Checked: ED	Date: 3.4.26



GENERAL NOTES

- ZONING OF PROPERTY: PLANNED DEVELOPMENT (PD)
 PD ZONING REQUIREMENTS:
 A) MINIMUM LOT AREA = 1,000 SF PER UNIT - MULTIFAMILY
 B) MINIMUM LOT WIDTH = N/A
 C) MAXIMUM BUILDING HEIGHT = 52 FT OR 4 STORIES
 D) MAXIMUM LOT COVERAGE = 50%
 SETBACKS:
 A) FRONT YARD = 25 FT.
 B) SIDE YARD = 20 FT.
 C) REAR YARD = 25 FT.
 D) BUILDING SEPARATION = 14 FT. (MEASURED TO FOUNDATION)
- SUMMARY OF LAND USE:
 A) PD PARCEL TOTAL ACREAGE = 23.3 ACRES (1,015,636 SQ.FT.) (EXCLUDING R.O.W.)
 B) UNIT SUMMARY:
 'A' (TOWNHOMES) = 18 UNITS
 'B' (STACKED FLATS) = 0 UNITS
 'C' (TOWNHOMES) = 18 UNITS
 'D' (TOWNHOMES) = 38 UNITS
 'E' (TOWNHOMES) = 33 UNITS
 'F' (TOWNHOMES) = 13 UNITS
 UNITS TOTAL = 118 UNITS
 C) BUILDING AREA = 128,049 SQ.FT.
 D) LOT COVERAGE = 13%
 E) GROSS PAVEMENT AREA = APPROX. 161,985 SQ.FT.
 F) GROSS CONCRETE AREA = APPROX. 67,600 SQ.FT.
- PARKING REQUIREMENTS:
 A) MINIMUM REQUIRED SPACE PER TOWNSHIP = 9'x19' (22' AISLE)
 B) TYPICAL PARKING SPACE PROVIDED = 9'x19' (22' AISLE)
 C) TYPICAL VAN ACCESSIBLE PARKING SPACE = 11'x19' WITH 5' AISLE
 D) TYPICAL CAR ACCESSIBLE PARKING SPACE = 8'x19' WITH 5' AISLE
 E) NUMBER OF SPACES REQUIRED = 236 (BASED ON CITY REQUIREMENTS OF 2/UNIT)
 F) NUMBER OF SPACES PROVIDED TOTAL = 300 SPACES (2.5 / UNIT)
 - ON-STREET SURFACE SPACES = 63 SPACES (INCLUDING 6 ADA SPACES)
 - GARAGE SPACES = 207 SPACES
 * DOES NOT INCLUDE DRIVEWAY PARKING SPACES IN COUNT.
- THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT.

PROJECT PHASING

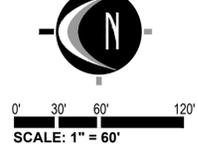


OPEN SPACE EXHIBIT



LEGEND

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED BITUMINOUS (STANDARD DUTY)
- PROPOSED CONCRETE (STANDARD DUTY)



SOUTH VILLAGE
 Site Layout Plan
 724 Robbins Road
 PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
 CITY OF GRAND HAVEN, OTTAWA COUNTY, MICHIGAN

STAMP:

PROJECT NO:
 24201135

SHEET NO:
C-205



www.nederveld.com
800.222.1868

HOLLAND
730 Chicago Dr.
Holland, MI 49423
Phone: 616.953.0449

GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190

ANN ARBOR
3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.925.6963

PREPARED FOR:
Paramount Realty Partners
Chad Koster

940 Floral Avenue SE
Grand Rapids, MI 49506

REVISIONS:

Title: Preliminary PD Submittal	Checked: ED	Date: 2.17.25
Drawn: JM	Checked: ED	Date: 2.17.25
Title: Preliminary PD Resubmittal	Checked: ED	Date: 2.18.26
Drawn: JM	Checked: ED	Date: 2.18.26
Title: Preliminary PD Resubmittal	Checked: ED	Date: 3.4.26
Drawn: JM	Checked: ED	Date: 3.4.26



PROP PD NOTES

- 1) SUMMARY OF LAND USE:
 A) PD PARCEL TOTAL ACREAGE = 23.3 ACRES (1,015,636 SQ. FT.) (EXCLUDING R.O.W.)
 B) UNIT SUMMARY:
 A' (ROWHOUSES) = 18 UNITS
 B' (STACKED FLATS) = 0 UNITS
 C' (TOWNHOMES) = 18 UNITS
 D' (TOWNHOMES) = 38 UNITS
 E' (TOWNHOMES) = 33 UNITS
 F' (TOWNHOMES) = 13 UNITS
 UNIT TOTAL = 118 UNITS
 C) BUILDING AREA = 128,049 SQ. FT.
 D) LOT COVERAGE = 13%

PROPOSED PD LAYOUT PLAN

SCALE: 1"=100'

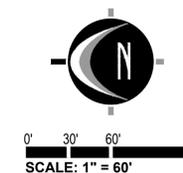


APPROVED PD NOTES

- 1) SUMMARY OF LAND USE:
 A) PD PARCEL TOTAL ACREAGE = 23.3 ACRES (1,016,752 SQ. FT.) (EXCLUDING R.O.W.)
 B) UNIT SUMMARY:
 A' (ROWHOUSE) = 8 UNITS
 B' (STACKED FLATS) = 108 UNITS
 C' (TOWNHOMES) = 6 UNITS
 D' (TOWNHOMES) = 18 UNITS
 E' (TOWNHOMES) = 8 UNITS
 F' (TOWNHOMES) = 12 UNITS
 G' (ATTACHED HOMES) = 29 UNITS
 UNIT TOTAL = 189 UNITS
 C) BUILDING AREA = 143,080 SQ. FT.
 D) LOT COVERAGE = 14%

APPROVED PD LAYOUT PLAN (APRIL 22, 2025)

SCALE: 1"=100'



LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)

SOUTH VILLAGE
PD Comparison Exhibit
 724 Robbins Road
 PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
 CITY OF GRAND HAVEN, OTTAWA COUNTY, MICHIGAN

STAMP:

PROJECT NO:
24201135

SHEET NO:
C-902



BUILDING TYPE | **A**



BUILDING TYPE | C/D

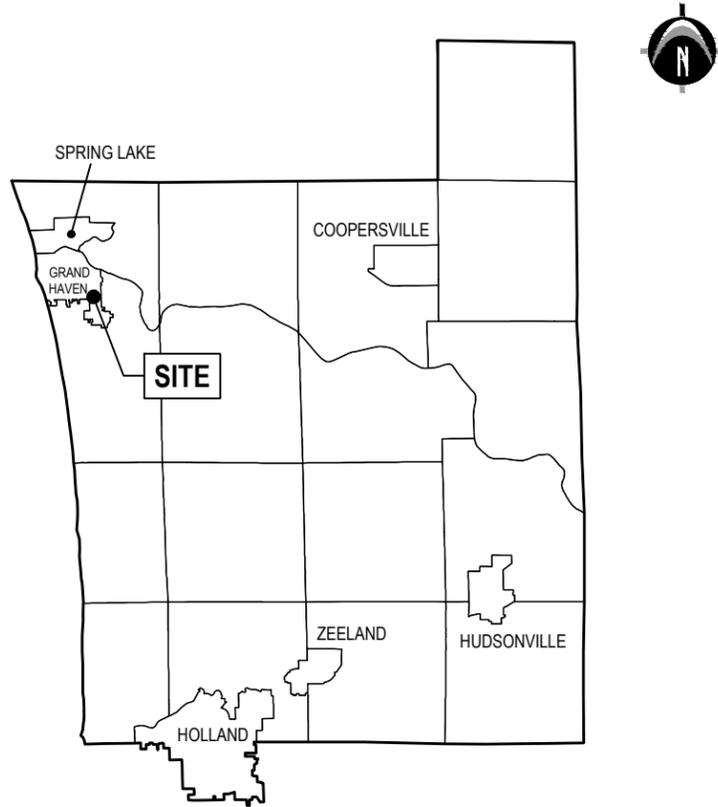


BUILDING TYPE | E



BUILDING TYPE | **F**

OTTAWA COUNTY MAP:

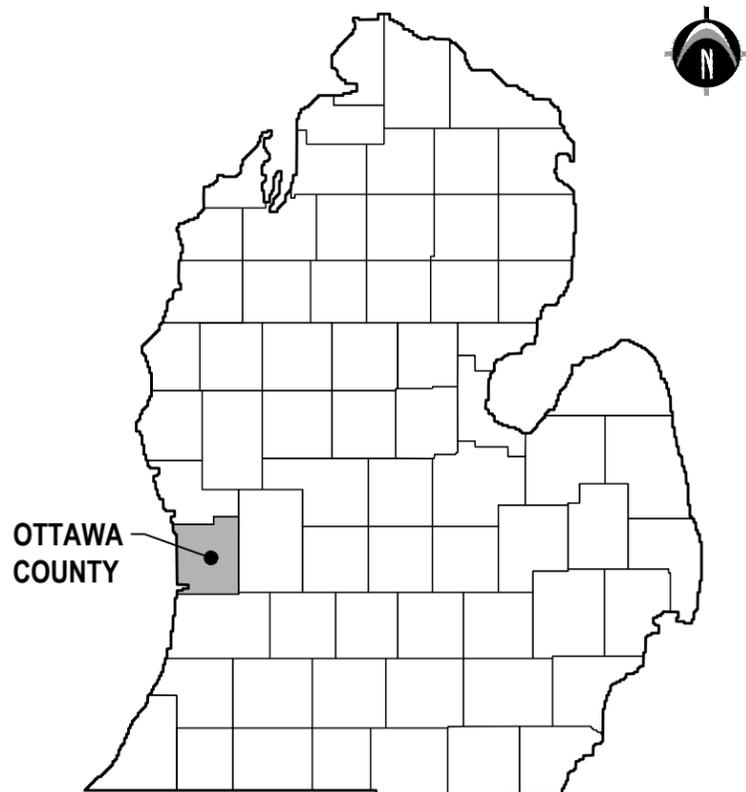


IMPACT SUMMARY:

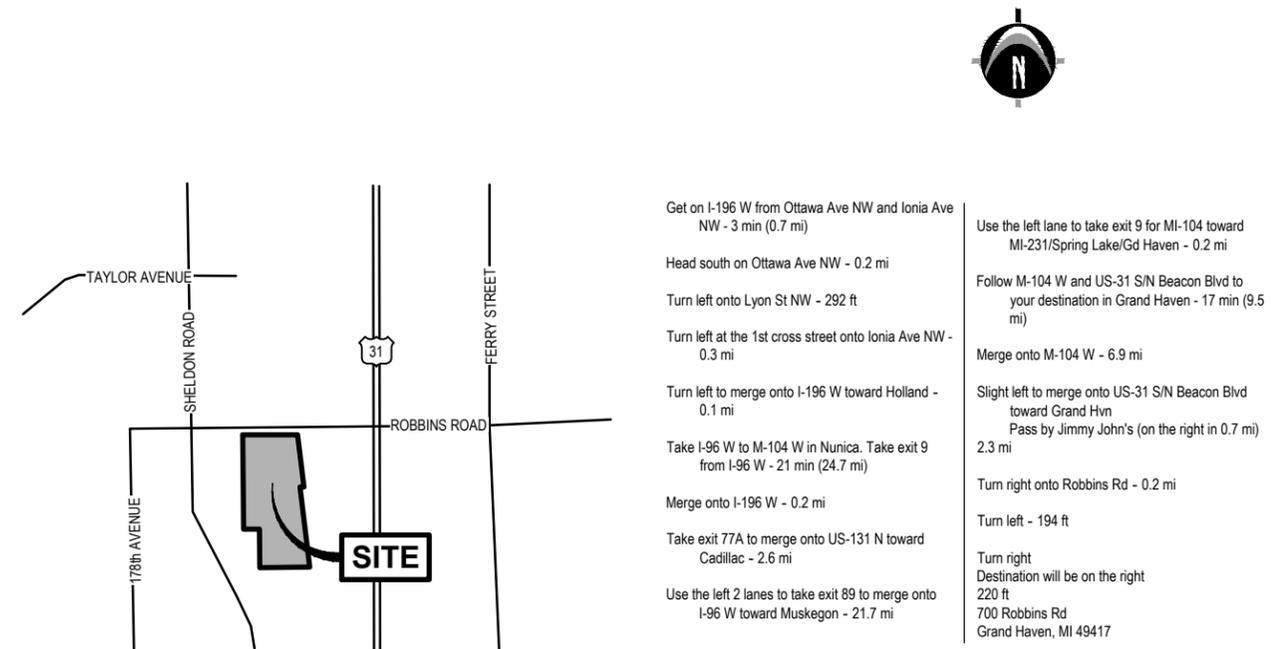
WETLAND FILL							AREA	
LOCATION	TYPE:	APPROX. MAX LENGTH (FEET)	APPROX. MAX WIDTH (FEET)	APPROX. MAX DEPTH (FEET)	APPROX. AVE DEPTH (FEET)	VOLUME (CUBIC YARDS)	SQUARE FEET	ACRES
AREA 'W-1C'	DETAIL AREA NO.1	112.5	41.0	3.9	3.4	252	4,060	0.093
AREA 'W-1D'	DETAIL AREA NO.1	123.3	41.4	9.2	7.5	1,068	3,800	0.087
TOTALS						1,320	7,860	0.180

WETLAND CUT							AREA	
LOCATION	TYPE:	APPROX. MAX LENGTH (FEET)	APPROX. MAX WIDTH (FEET)	APPROX. MAX DEPTH (FEET)	APPROX. AVE DEPTH (FEET)	VOLUME (CUBIC YARDS)	SQUARE FEET	ACRES
AREA 'W-1A'	DETAIL AREA NO.1	36.3	25.5	4.5	3.9	45	714	0.016
AREA 'W-1B'	DETAIL AREA NO.1	84.3	43.4	2.4	2.1	222	2,739	0.063
TOTALS						267	3,453	0.079

VICINITY MAP:



SITE LOCATION MAP:



SHEET INDEX

- 1 SITE LOCATION MAP
- 2 EXISTING CONDITIONS MAP
- 3 OVERALL SITE LAYOUT MAP
- 4 DETAIL AREA NO.1
- 5 DETAIL AREA NO.2
- 6 DETAIL AREA NO.3
- 7 PROFILES A1-A1 & A2-A2
- 8 PROFILES A3-A3 & A4-A4
- 9 OUTLET CONTROL STRUCTURE DETAIL

Permit Application Sketches For:

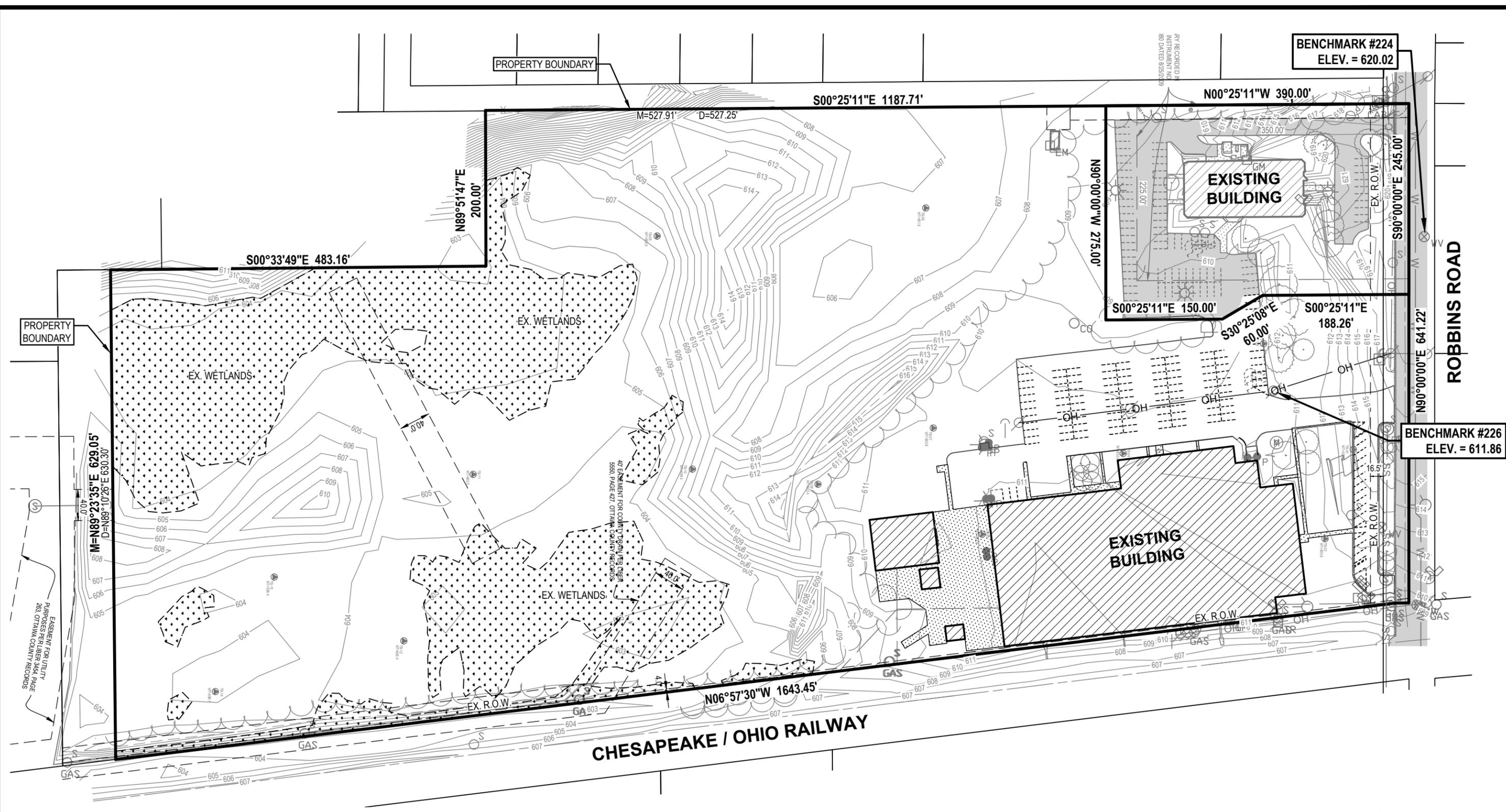
PROJECT: **SOUTH VILLAGE**
 700 & 724 Robbings Road, Grand Haven, MI 49417
 APPLICANT: **PARAMOUNT REALTY PARTNERS**

SITE LOCATION MAP

PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
 CITY OF GRAND HAVEN, OTTAWA COUNTY, MI

DRAWN BY: WDS DATE: 2025.12.16 PRJ NO: 24201135

CHECKED BY: LL 1 OF 9



LEGEND

	EXISTING CONTOURS
	EXISTING WETLANDS

SCALE: 1" = 120' 0' 60' 120'

SOUTH VILLAGE

EXISTING CONDITIONS MAP

PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
CITY OF GRAND HAVEN, OTTAWA COUNTY, MI

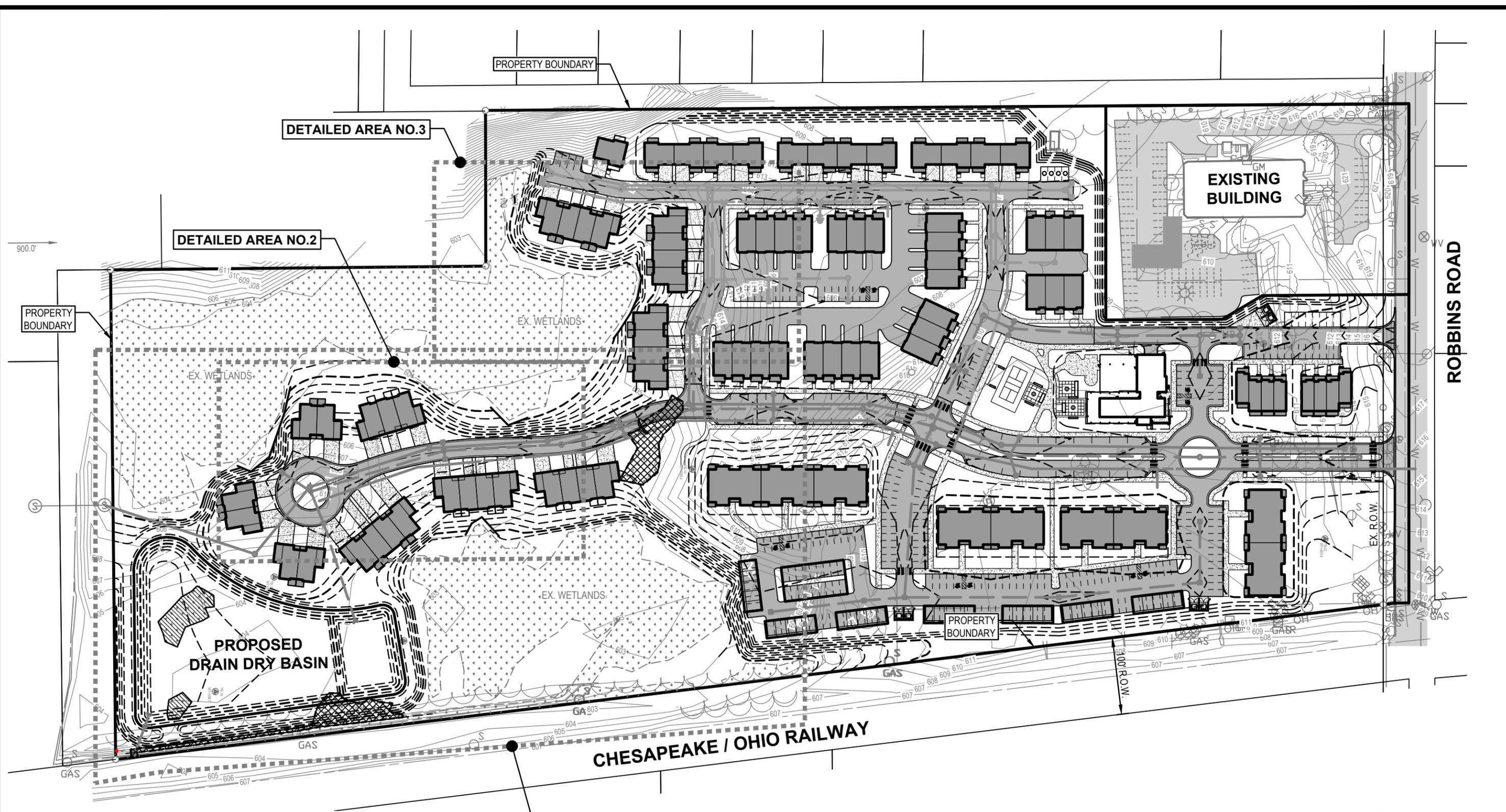
DRAWN BY: WDS DATE: 2025.12.16 PRJ NO: 24201135

CHECKED BY: LL 2 OF 9

NEDERVELD
www.nederveld.com • 800.222.1868
Holland
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449

24201135-EGLE1.dwg 12/16/2025 09:26

Issued On: 02/12/2026
Expires On: 02/12/2031



LEGEND

	EXISTING CONTOURS
	EXISTING WETLANDS

SCALE: 1" = 120' 0' 60' 120'

SOUTH VILLAGE

OVERALL SITE LAYOUT MAP

PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
CITY OF GRAND HAVEN, OTTAWA COUNTY, MI

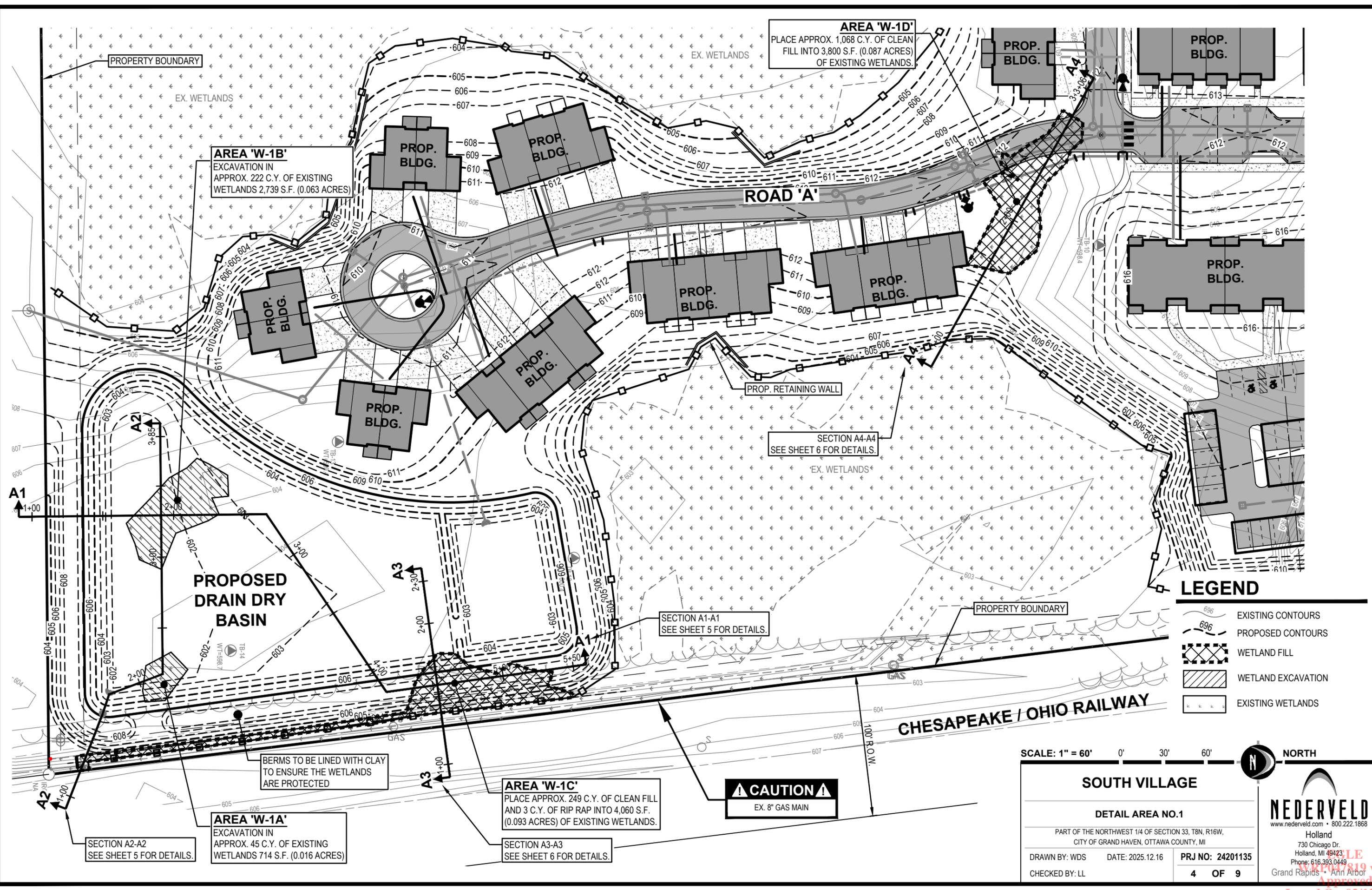
DRAWN BY: WDS DATE: 2025.12.16 PRJ NO: 24201135

CHECKED BY: LL 3 OF 9

NEDERVELD
www.nederveld.com • 800.222.1868
Holland
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449

24201135-EGLE1.dwg 12/16/2025 09:26

Issued On: 02/12/2026
Expires On: 02/12/2031



AREA 'W-1B'
EXCAVATION IN
APPROX. 222 C.Y. OF EXISTING
WETLANDS 2,739 S.F. (0.063 ACRES)

AREA 'W-1D'
PLACE APPROX. 1,068 C.Y. OF CLEAN
FILL INTO 3,800 S.F. (0.087 ACRES)
OF EXISTING WETLANDS.

**PROPOSED
DRAIN DRY
BASIN**

AREA 'W-1C'
PLACE APPROX. 249 C.Y. OF CLEAN FILL
AND 3 C.Y. OF RIP RAP INTO 4,060 S.F.
(0.093 ACRES) OF EXISTING WETLANDS.

AREA 'W-1A'
EXCAVATION IN
APPROX. 45 C.Y. OF EXISTING
WETLANDS 714 S.F. (0.016 ACRES)

SECTION A2-A2
SEE SHEET 5 FOR DETAILS.

SECTION A3-A3
SEE SHEET 6 FOR DETAILS.

SECTION A4-A4
SEE SHEET 6 FOR DETAILS.

SECTION A1-A1
SEE SHEET 5 FOR DETAILS.

BERMS TO BE LINED WITH CLAY
TO ENSURE THE WETLANDS
ARE PROTECTED

CAUTION
EX. 8" GAS MAIN

LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	WETLAND FILL
	WETLAND EXCAVATION
	EXISTING WETLANDS

SCALE: 1" = 60'

SOUTH VILLAGE

DETAIL AREA NO.1

PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
CITY OF GRAND HAVEN, OTTAWA COUNTY, MI

DRAWN BY: WDS DATE: 2025.12.16 PRJ NO: 24201135

CHECKED BY: LL 4 OF 9

NEDERVELD
www.nederveld.com • 800.222.1868
Holland
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449
Grand Rapids, MI 49503



LEGEND

-  EXISTING CONTOURS
-  EXISTING WETLANDS

SCALE: 1" = 30' 0' 15' 30'



SOUTH VILLAGE

DETAIL AREA NO.2

PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
CITY OF GRAND HAVEN, OTTAWA COUNTY, MI

DRAWN BY: WDS DATE: 2025.12.16

PRJ NO: 24201135

CHECKED BY: LL

5 OF 9



www.nederveld.com • 800.222.1868
Holland
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449
Grand Rapids • Ann Arbor

Issued On: 02/12/2026
Expires On: 02/12/2031

© 2025 Nederveld, Inc. 12/16/2025 09:26 24201135-EGLE1.dwg



PROPERTY BOUNDARY

PROPOSED SILT FENCE

PROPOSED RETAINING WALL (TYP.)

EX. WETLANDS

LEGEND

 EXISTING CONTOURS

 EXISTING WETLANDS

SCALE: 1" = 30' 0' 15' 30' NORTH

SOUTH VILLAGE

DETAIL AREA NO.3

PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
CITY OF GRAND HAVEN, OTTAWA COUNTY, MI

DRAWN BY: WDS DATE: 2025.12.16

PRJ NO: 24201135

CHECKED BY: LL

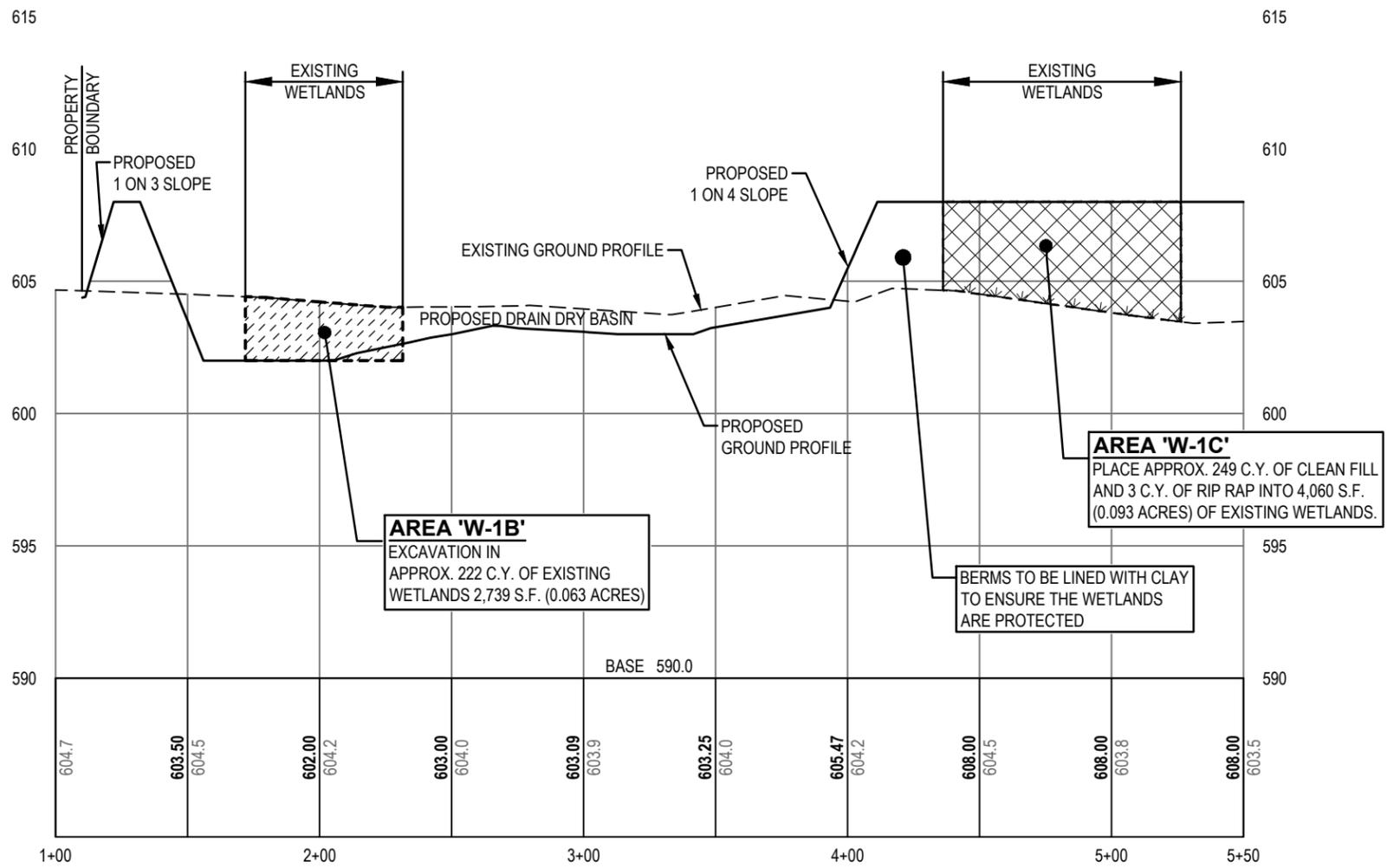
6 OF 9



24201135-EGLE1.dwg 12/16/2025 09:27
APPROVED
 12/16/2025 09:27

Issued On: 02/12/2026
 Expires On: 02/12/2031

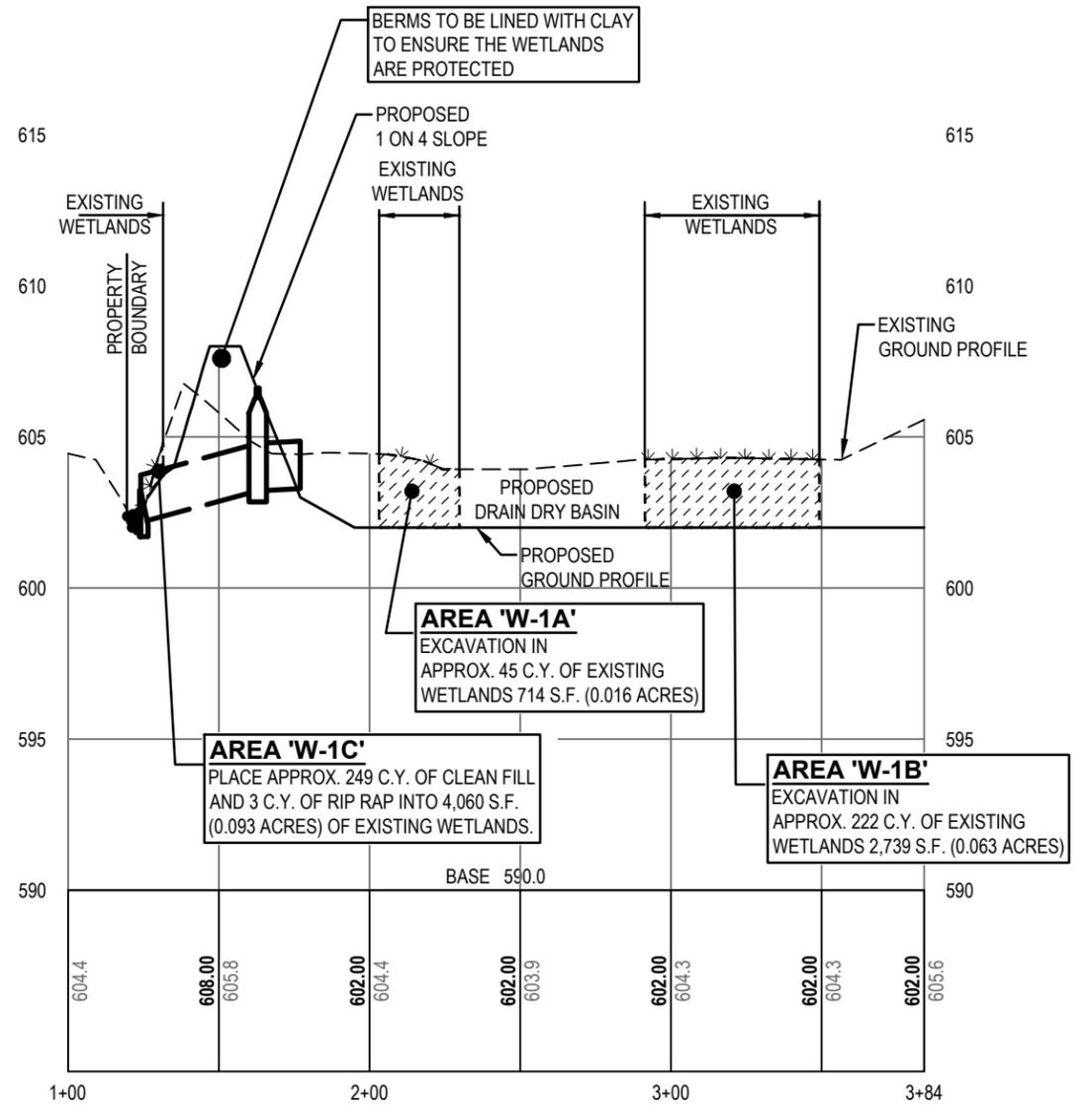
© 2025 Nederveld, Inc.



PROFILE A1-A1

SCALE: HORZ. 1" = 60'
VERT. 1" = 6'

SEE SHEET 4 FOR REFERENCE



PROFILE A2-A2

SCALE: HORZ. 1" = 60'
VERT. 1" = 6'

SEE SHEET 4 FOR REFERENCE

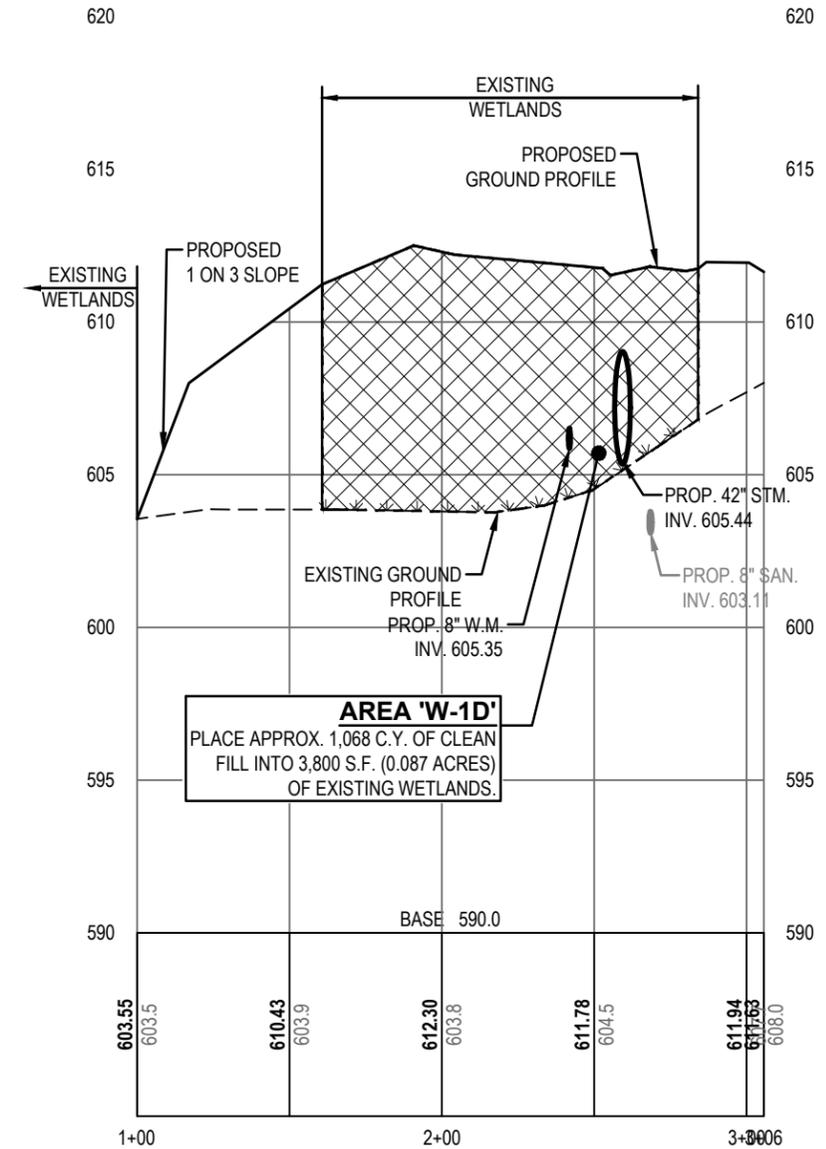
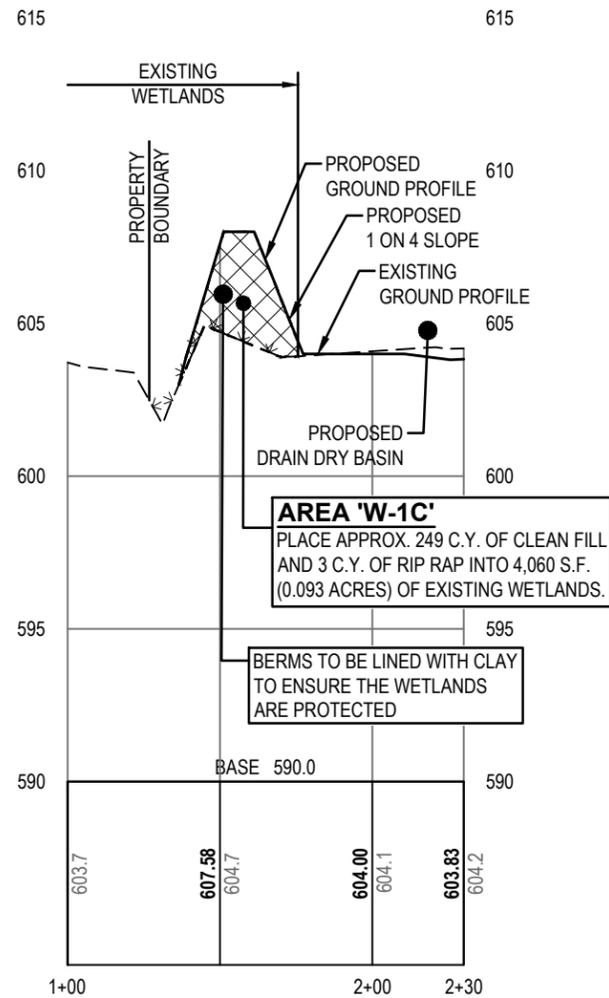
LEGEND

- WETLAND FILL
- WETLAND EXCAVATION

SCALE: 1" = 60' 0' 30' 60'

SOUTH VILLAGE	
PROFILES A1-A1 & A2-A2	
PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W, CITY OF GRAND HAVEN, OTTAWA COUNTY, MI	
DRAWN BY: WDS	DATE: 2025.12.16
CHECKED BY: LL	PRJ NO: 24201135
7 OF 9	

NEDERVELD
www.nederveld.com • 800.222.1868
Holland
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449
Grand Rapids • Ann Arbor



LEGEND

WETLAND FILL

SCALE: 1" = 60' 0' 30' 60'

SOUTH VILLAGE

PROFILES A3-A3 & A4-A4

PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
 CITY OF GRAND HAVEN, OTTAWA COUNTY, MI

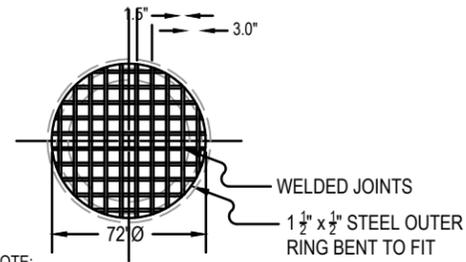
DRAWN BY: WDS DATE: 2025.12.16

PRJ NO: 24201135

CHECKED BY: LL

8 OF 9

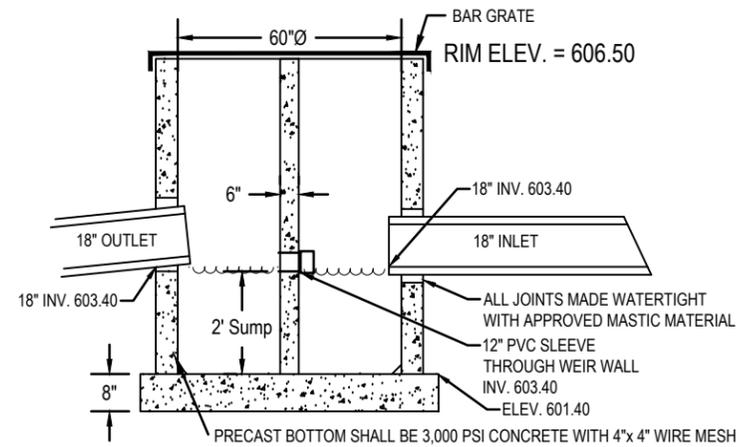
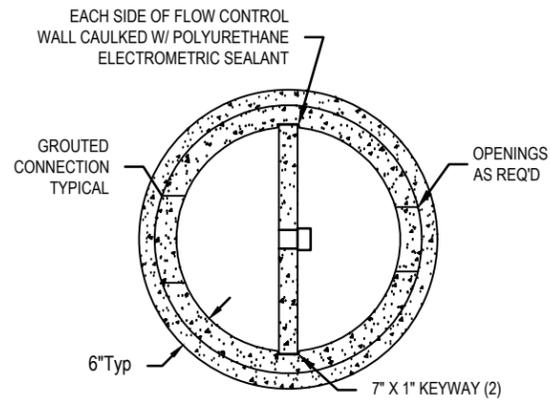
www.nederveld.com • 800.222.1868
 Holland
 730 Chicago Dr.
 Holland, MI 49423
 Phone: 616.393.0449
 Grand Rapids • Ann Arbor



NOTE:
1. BAR GRATE IS TO BE REMOVABLE

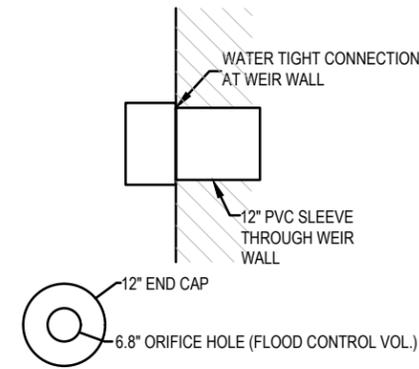
BAR GRATE DETAIL

N.T.S.



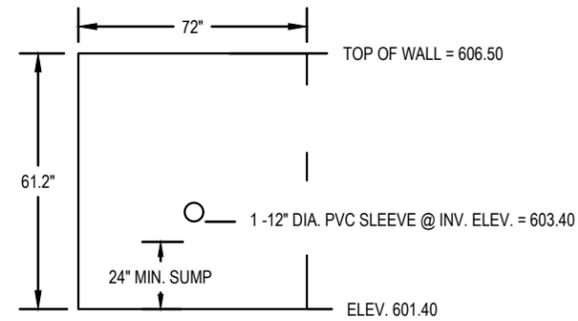
60"Ø PRECAST OUTLET CONTROL STRUCTURE

N.T.S.



ORIFICE DETAIL

N.T.S.



WEIR WALL DETAIL

N.T.S.

SOUTH VILLAGE

OUTLET CONTROL STRUCTURE DETAIL

PART OF THE NORTHWEST 1/4 OF SECTION 33, T8N, R16W,
CITY OF GRAND HAVEN, OTTAWA COUNTY, MI

DRAWN BY: WDS DATE: 2025.12.16

PRJ NO: 24201135

CHECKED BY: LL

9 OF 9

NEDERVELD
www.nederveld.com • 800.222.1868
Holland
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449
Grand Rapids • Ann Arbor

Issued On: 02/12/2026
Expires On: 02/12/2031

© 2025 Nederveld, Inc. LL 12/16/2025 09:27 24201135-EGLE1.dwg

Sec. 40-421.11. Modification and amendments.

- A. **Modification of a PD preliminary development plan.** Minor changes to a PD preliminary development plan may be approved by mutual agreement of the applicant and the planning commission, provided the changes comply with all applicable requirements of this zoning ordinance and all other city regulations or state law. In reaching a determination on whether a proposed change may be treated as a minor amendment, the planning commission shall make a final determination based on the facts presented by the applicant and shall be guided by the standards of this section 40-421.11. Minor changes include:
1. Adjustments to the total combined building area not to exceed the lesser of five thousand (5,000) square feet or five (5) percent of the gross floor area in any phase of development, provided that the cumulative effect of such changes shall not exceed the lesser of five thousand (5,000) square feet or five (5) percent of total gross floor area in the PD. Adjustments to building heights shall not be considered a minor amendment.
 2. Adjustments to project phases to either accelerate or retard the development of previously approved project elements. Provided, however, the planning commission shall have the authority to evaluate such a proposed change in project phasing to determine whether the sequence of project elements proposed was a key element of approval of the preliminary development plan and rezoning. If, in the sole judgment of the planning commission, project phasing and the sequence of development elements are regarded as key elements of the preliminary development plan approval, a proposed change to project phasing shall not be regarded as a minor change under this section.
 3. A change in the land uses proposed within the development resulting in an increase or decrease in any type of use; such as, but not limited to retail uses or residential uses; of not more than ten (10) percent of the floor area originally approved for that type of use. Provided, however, if in the sole judgment of the planning commission, the particular mix of land uses proposed and approved in the preliminary development plan is regarded as a key element of the preliminary development plan approval, a proposed change to the mix of land uses shall not be regarded as a minor change under this section.
 4. A change proposing the relocation of a building or structure such that not less than seventy (70) percent of building or structure footprint shall remain within the footprint as reflected in the preliminary development plan.
 5. The planning commission may not approve as a minor change any element of a preliminary development plan that the city council in its approval of the preliminary development plan identified as a key element in its approval and the planning commission may not modify any condition imposed by the city council when the city council approved the preliminary development plan.
- B. **Modification of a final development plan.** Minor changes to a PD final development plan may be approved by the planning commission, as follows.
1. The relocation of structures, the relocation and reconfiguration of roads, planting areas, parking areas, signs, lighting, and driveways provided that all such improvements remain in the same general location as approved by the planning commission and provided further that all such changes shall result in no significant additional impact on adjoining properties than would result from the original development.
 2. Minor adjustments among proposed land uses which, in the sole judgment of the planning commission, do not result in a fundamental change in the character of the development. Provided, however, that no use type originally approved shall be eliminated and no new use not originally approved shall be added as part of a minor amendment to a PD.
- C. **Amendment of an approved PD.** Except as provided in subsections 40-421.11.A. and B., all changes in an approved PD shall be considered major changes and shall be processed in accord with the original approval

procedures for a PD. Nothing in this section 40-421.11 shall prevent the planning commission from treating any proposed change to a PD as a major amendment to be processed in accord with the original approval procedures, if in the sole judgment of the planning commission, a more complete review and approval process is needed to evaluate the proposed amendment.

(Ord. No. 2021-02, § 1(Exh. A), 1-4-21)

**CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION MINUTES
TUESDAY, APRIL 22, 2025**

The regular meeting of the Grand Haven Planning Commission was called to order by Chair Mike Dora at 7:00 pm. Upon roll call, the following members were present:

Present: Amy Kozanecki, Joe Pierce, Dan Borchers, Vice-Chair Ryan Galligan, Tamera Owens, David Skelly, Jennifer Smelker, Magda Smolenska, Chair Mike Dora

Absent: None

Also Present: City Planner Brian Urquhart, City Manager Ashley Latsch, Assistant Manager Dana Kollewehr, Mayor Bob Monetza, and members of the public.

Approval of Minutes

Motion by **Skelly**, seconded by **Smolenska**, to approve the minutes of the March 11, 2025 meeting.

All ayes. **Motion passes.**

Approval of Agenda

Motion by **Galligan**, seconded by **Pierce**, to approve the agenda as written.

All ayes. **Motion passes.**

Call to the Audience: First Opportunity

Chris Weavers, owner of JW's Food & Spirits – spoke on behalf of the business owners in Centertown regarding the Capstone request. She invited commissioners to join their Centertown Group which meets regularly the first Friday of each month at 8:30 a.m. at the Momentum Center for further conversations.

Joyce Workman, owner of Vintage Green – seconded what Chris Weavers stated.

Chris Hornby, Green Dragonfly Studio – also seconded what Chris Weavers stated.

Todd Hancock, 19 N 7th St – strongly supported what Chris Weavers stated.

John Shear's, Guitar Haven, 17 N 7th St – all in favor with what Chris Weavers stated.

Tony Sicantelli, 608 Washington St, Washington Street Inn – in support of what Chris Weavers stated.

Jenny, Overtime Sports, 5 N 7th St - in support of what Chris Weavers stated.

John Steinbeck, 17 N 7th St – spoke regarding the Centertown request and how its approval would help accomplish the 7th St infill and give a great look for Centertown.

New Business

Case 25-15: Site Plan review for a social service center at 323 N. Ferry St. (parcel #70-03-21-328-042).

Urquhart introduced the case. Josh Bytwerk of *Love in Action of the Tri-Cities*, submitted a site plan application for renovating and rehabilitating the vacant warehouse building at 323 N. Ferry St. for relocation of their social service distribution center, which is currently at 1120 Fulton Ave. According to the applicant, 323 N. Ferry St. was the former appliance warehouse which will be renovated for Love in Action's operations. A social service distribution center is permitted in the neighborhood mixed-use district.

The site has been underutilized for many years, and the improvement will bring the site into greater conformity. The majority of existing gravel, asphalt, and trees will be removed to provide for efficient vehicle circulation and compliance with the fire truck turning radius. The front yard will be excavated for stormwater drainage purposes.

The site sits on 0.83 acres, with Jeske Pools to the south, Salvation Army to the east, and residential units to the north. The former warehouse building is a 16 ft. tall single story structure, with a total of 10,138 sq. ft. Approximately 8,863 sq. ft. of open spaces and 1,275 sq. ft. of office space. The southwest corner of the building will include a cooler and the addition of a 20' x 14' freezer. The building warehouse will not change in height. They're really just going to be doing façade changes.

The Zoning Board of Appeals approved the variance request for an 8.8' rear yard setback from the required 15' setback in February. The major renovation includes a 22' x 20' canopy overhang. The overhand provides protection from the elements during drop off. The existing façade and exterior materials will not be changing. The canopy is sized enough to provide a turning radius for the fire truck to enter and exit the site. There are no proposed changes to the roof, or installation of any mechanical equipment. The application states 4 employees will be on site, and the majority of visitors will be picking up supplies during brief periods of time throughout the day. The hours of operation have yet to be specified.

The site consists of gravel driveway and unimproved parking locations. The two drive entrances will remain the same, and provide for one-way traffic flow. All driveway and parking surfaces will be asphalt and concrete. Per Sec. 40-604, 13 spaces are required. The applicant is proposing 17 total spaces, with angled spaces along the entrance drive and exit drive. One ADA accessible space is shown near the front entrance.

The existing shipping dock on the north of the building will remain with two loading spaces. The loading space will not interfere with pedestrian and motor vehicle movement. The frequency of trucks entering the site is unknown at this time.

All surface water is shown to be directed to the rain garden in the front yard. Riprap will be installed on the north and south of the rain garden. The site plan calls for 2 street trees to be planted along Ferry St. All trees in the rear yard, and south lot line will be preserved to the greatest extent possible. The fence in the rear yard will also remain.

Planning Commission Meeting Minutes

April 22, 2025

Page 3

No changes to the existing lighting is proposed. However, the plans do call for a non-lit ground mounted sign in the front yard.

The site plan depicts a dumpster located at the south of the building. The enclosure will be comprised of 6 ft. wooden fencing and gates. Bollards will be placed inside of the enclosure for protection.

Steve Zadzik, Abonmarche – mentioned that Josh Bytwerk was out of town but that he would be able to answer questions and that Josh Bytwerk would be available by phone if needed.

Borchers thinks this will be a major improvement. The number of hours and people there and 7 days a week or time frame?

Steve Zadzik – responded to Borchers stating that it was his understanding that they are going to maintain daytime hours similar to what they have now at their other facility. I'm not sure if they have any weekend hours at the other facility. There may be special programming. I can't say for sure what the work hours are but I believe at this point its eight to five, nine to six somewhere in those times that they're receiving and administering the billing. Not doing any face to face billing or distribution there. It's loaded and then taken away to their vendors or their partners.

Borchers was good with the variants that they've already received and with the city proving everything, he's good.

The rest of the commissioners stated they were good and that they thought this was great.

Chair Dora stated that he thinks this will be a vast improvement over the building that has been there for quite a few years and that has just kind of gone into disrepair. He stated that it is within their purview to add hours of operation if they want to but for now they will let it be the same as it is now.

Motion by **Smolenska**, seconded by **Owens**, to approve case 25-15, a site-plan review for a social service distribution center, at 323 N. Ferry St. (parcel #70-03-21-328-042) with the following condition(s):

- 1) *All conditions of the BLP, DPW, and fire marshal shall be met*

Roll Call Vote.

Yeas: Smelker, Pierce, Galligan, Smolenska, Skelly, Owens, Borchers, Kozanecki, Dora

Nays: None

Motion passed.

Public Hearing

Case 25-14: A special land use permit for a short term rental at 36 Edward Ave. (parcel #70-03-29-156-045).

Planning Commission Meeting Minutes

April 22, 2025

Page 4

Urquhart presented the case. Applicant Gaby Farkas submitted an application for a Special Land Use Permit for Short-Term Rental located at 36 Edward Ave. (parcel #70-03-29-155-045). The Dune Residential District allows short-term rentals as a special land use.

According to the information that was provided, 36 Edward Ave. is a single family dwelling located in the Dune Residential District. The floor plan shows 4-bedrooms, 2-bathrooms, a screened porch, and outdoor gathering space. There are 2 designated parking spaces in front of the property. No additional parking is available on site. The neighborhood characteristic is primarily single-family homes. There are a few short term rentals nearby, all of which received prior approval. Section 40-513 provides a list of ten (10) regulations and conditions for a Short-Term Rental. The review of the Special Land Use Permit application is also subject to the standard regulations and conditions of all Special Land Uses outlined in Section 40-116.03.

As of the date of this staff report, the City has received six emails regarding the case, all are included in the packet. Since then there's probably been about ten or so emails that we received and they were not in favor of this request citing various reasons of parking, non-conformity of the parcel and things of that nature but there was one I believe that I had sent that was in favor of this request.

Amy Porcaro, Gabby's wife, 36 Edward Ave – restated facts about the property and stated that Planner Urquhart covered everything.

Chair Dora opened the public hearing at 7:22 p.m.

Al Greenfield, 40 Edwards Ave – commented on concerns regarding room for cars on the narrow road, lot size not meeting minimum size requirements, and concerns that more than six people would potentially be staying there at one time.

Motion by **Galligan**, seconded by **Skelly**, to close the public hearing.

All ayes.

Public Hearing closed at 7:25 p.m.

Commissioners:

Pierce stated that this certainly doesn't meet the district minimum lot size and the impact this would have on neighboring properties could be significant so he's not in favor.

Smelker stated concerns that this is a four-bedroom property with only two parking spaces and with the lot size being small, she would not vote to approve.

Kozanecki stated she's not in favor based on the lot size and experiencing the narrow road after going to view the property.

Skelly stated how small the roads were when going to view the property and raised concerns over the size of the parking spots available and the fact that the lot size is non-conforming. He also stated concerns over what short term renters say they're going to do over what they actually do.

Planning Commission Meeting Minutes

April 22, 2025

Page 5

Borchers stated he would like to stay consistent with the square footage obviously there's a parking issue there and the number of rentals there already so I'm probably not in support of it either.

Owens agreed with what had been previously stated by commissioners.

Smolenska agreed with Borchers and stated they should stay consistent.

Chair Dora stated that he drove up to the property as well and the area is small. It is not even about 45% of what is actually required and the parking that they do have is small and limited and because of this he is not in support.

Galligan stated he echoes what everyone else has said. Along with stating section 40-513B(2) says if the subject lot does not meet the district minimum lot area, the Planning Commission may determine that the short-term rental use is not suitable.

Motion by **Kozanecki**, seconded by **Smelker**, to deny case 25-14, a request for special land use permit for a short term rental located at 36 Edward Ave (parcel #70-03-29-156-045) based on the information submitted for review with the following conditions:

- 1) *It does not meet the minimum lot size per section 40-513.*

Roll Call Vote.

Yeas: Kozanecki, Borchers, Owens, Skelly, Smolenska, Galligan, Pierce, Smelker, Dora

Nays: None

Motion passed.

Case 25-09: A special land use permit and site plan review for a multiple-family dwelling located at 1445 Columbus Ave. (parcels #70-03-21-477-017 & #70-03-21-477-016).

Urquhart presented the case. Joe Westerbeke of Eng. Engineering and Survey, submitted a site plan and special land use application for multiple-family dwelling at 1445 Columbus Ave. (parcels #70-03-21-477-017 & #70-03-21-447-016). The total lot area of the development is 0.86 acres. A multiple-family dwelling is permitted by special land use in the Transitional Industrial (TI) district per Sec. 40-419.02.B.

Recently a preliminary plan review was held in which the Building Official, Fire Marshal, Dept. of Public Works, Board of Light & Power did not have any major concerns. The proposed height, lot coverage, exterior design, and access management all met the standards in the TI district.

The TI district requires a front yard setback of 25 ft. The building is setback 25 ft. from both Columbus and Beechtree. The side yard setback is 10 ft. from the west and north lot lines. Maximum lot coverage in the TI district is 70%. The proposed lot coverage is approximately 40.2%. The maximum building height in the TI district is 40 ft., and the proposed height is 39 ft. 6 in. Building form The TI district does not require specific transparency requirements, but does require building articulation every 50 ft. The articulation is accomplished with the proposed windows and exterior material design. The building exterior is comprised of sandstone masonry, vintage brick, vinyl frame windows, prefinished metal cap flashing, and window openings on the garage level.

Planning Commission Meeting Minutes

April 22, 2025

Page 6

The garage level includes an entrance lobby, stairway, equipment room and two 1-bedroom units. The 2nd and 3rd levels include eight 1-bedroom, eight efficiency units, and one 2-bedroom unit. The roof level includes one 1-bedroom unit with a roof deck and an exit walk to the stairway and elevator. Residential unit size varies from 1,050 sq. ft. 2-bedroom, to 600 sq. ft. efficiency units. All units meet the minimum residential floor area of 400 sq. ft.

Per Sec. 40-604.03, a multiple-family dwelling requires two spaces per dwelling unit. After the work session, the applicant amended the site plan. The applicant is proposing 62 total off-street spaces, with 30 covered spaces on the first floor of the building, and surface spaces along the west and north side of the building. The request is a reduction of 12 spaces from the required 74 spaces.

Section 40-604.02 grants waivers and reductions for parking. The applicant notes a 20% reduction may be permitted by the Planning Commission for a use located within 800 ft. of a year round transit stop. However, it was determined the Harbor Transit seasonal stop near Beechtree and Fulton would not count towards this reduction, because the transit stop is not year round in use.

Sec. 40-604.02.C grants a reduction of 1 space per 4 covered or uncovered bicycles spaces. The site plan calls for 38 bicycle spaces, or reduction in 9 parking spaces. The plan also calls for 3 Electric Vehicle charging spaces, 5 compact spaces, and 4 spaces on adjacent property via shared parking agreement. At the work session, the original proposal was for 58 spaces. The Planning Commission recommended the applicant locate about 4 more spaces, and the parking amount would be determined satisfactory. With the bicycle racks and the 4 spaces via shared parking agreement at 1426 Fulton, parking demand should be met.

Previously mentioned during the work session, the city has made a commitment to provide additional housing units to the housing supply. Chapter 12 of the adopted 2023 Master Plan, lists goals for housing and neighborhoods. Goal 1 states "Dwellings in Grand Haven will include a broad range of housing types, including detached and attached, appropriate for all segments of the population. The city should support a variety of housing types and densities and mixed-use developments for all segments of the population that places users near daily services." Staff believes by granting the parking reductions, the proposed development would satisfy the Master Plan.

No signs are shown on the property. The application states 12' to 15' tall light poles will be installed around the parking lot. Ceiling mounted lighting is planned for the garage. No exterior lighting is shown. In order to protect nearby residential uses, a photometric plan should be provided for the exterior parking areas, particularly along the western portion of the property. The parking lot includes catch basins directing stormwater to the main off Beechtree. There is also a gas/oil separator added downstream of the catch basins in the parking garage, as required per DPW. Eight Red Maples and six Japanese Lilac are shown to be planted in the front and side yards of the property. Sec.40-801.D. requires deciduous trees to be planted within the parkway along Columbus and Beechtree, spaced no more than 25 ft. apart. Sec. 40-803.02 requires a screening area of not less than 5 ft. in width along the perimeter of an off-street parking lot to protect from nearby uses. The west lot line is shared with the residential home at 1423 Columbus. The 5 ft. wide buffer area is comprised of arborvitae, planted 6 ft. in

Planning Commission Meeting Minutes

April 22, 2025

Page 7

height, and red maples, also planted 6 ft. in height. The combination should provide screening between the uses.

The applicant says emergency access will be available from Columbus and Beechtree. There will be a 4 in. fire suppression line serving the building. A fire hydrant is located on the SE corner of Beechtree and Columbus.

The application calls for all mechanical systems to be individual thru-wall vented units. No rooftop screening will be required.

A 22' x 22' dumpster area is shown on the NW corner of the site screened by a 6 ft. tall wooden fence.

The eastern entrance serves as a walk up entrance to the building, near the bicycle racks. The site plan includes a sidewalk around the south, west, north and west walls of the building. However, there is no sidewalk shown to connect to Columbus. As mentioned previously, there are 38 total bicycle racks located at the SW, NW, and E side of the building.

At the time of the memo, staff has not received any correspondence regarding this case.

Pete Oleszczuk, Westwind Construction - spoke regarding meeting with residents to answer their questions and concerns in regards to this project. He also stated they relocated the dumpster to the other side based on the residence to the west. He also explained how they were able to create four additional parking spaces on the property per the recommendation from the Planning Commission.

Chair Dora opened the public hearing at 7:43 p.m.

John Baldwin, 1402 Columbus - stated concerns about the rental price and section 8 low income housing.

Nancy Mangus, 1414 Columbus - stated how Oleszczuk answered the whole list of concerns that she and other residents had. Reiterated that her biggest concern is with the house next to the property.

Motion by **Owens**, seconded by **Smelker**, to close the public hearing.

All ayes.

Public Hearing closed at 7:46 p.m.

Commissioners:

Pierce stated he thought this was a great addition to the east side. Asked Pete Oleszczuk if there was any low income housing available. Oleszczuk responded that as of right now there isn't any proposed low income housing. The objective is to not go to low income housing but it would be, if anything, where we have an affordable level but it wouldn't be section 8. Ideally, we would maintain a market rate.

Planning Commission Meeting Minutes

April 22, 2025

Page 8

Pierce also asked Oleszczuk about his plan for snow removal and parking. Oleszczuk responded and stated that they would push, consolidate and then pick up, load up and move it when it hits capacity. He also stated based on data he thought there was more than enough parking.

Smelker and Kozanecki stated how they appreciated that they were being proactive with reaching out to the neighbors and taking the initiative and finding a way to add parking spaces onto the property.

Skelly asked Urquhart a question regarding the parking across the street and if they were still planning on utilizing those spaces for guests if necessary. Urquhart responded and stated that those spaces could only be used for non-residential parking. However, the parking could potentially be used for visitors to help alleviate parking, if needed.

Galligan agrees with what has been said and the project.

Borchers asked Oleszczuk a question regarding if the building is going to be brick. Oleszczuk responded and said it won't be real brick but it will be made to look like brick.

Owens stated she is excited about this project. She also stated that the additional parking ratio was very creative.

Smolenska asked questions regarding how wide the alley is by the north side parking and if residents would have enough room to back out into the alley. Oleszczuk stated the alley is a little more than 12 feet wide.

Dora questioned the hours of the rooftop deck. Oleszczuk stated the rooftop would have specified hours of operation.

Motion by Skelly, seconded by Smolenska, to approve case 25-09, a request for a site plan review for multiple-family dwelling at 1445 Columbus Ave. (parcels #70-03-21-477-017 & 016) subject to the following conditions:

- 1) *All conditions of the Fire Marshal and DPW shall be met.*
- 2) *Applicant shall provide shared parking agreement for the 4 spaces located on 1426 Fulton Ave. (parcel #70-03-21-477-018).*
- 3) *A sidewalk shall be shown to connect the internal sidewalk to Columbus Ave.*
- 4) *A special use permit for a multiple-family dwelling at 1445 Columbus Ave. (parcels #70-03-21-477-017 & 016).*

Roll Call Vote.

Yeas: Pierce, Smolenska, Skelly, Galligan, Smelker, Borchers, Kozanecki, Owens, Dora

Nays: None

Motion passed.

Case 25-12: An application for a zoning change request from TI, Transitional Industrial District to PD, Planned Development District and associated Preliminary Development

Plan for South Village PD located on what is commonly referred to as the Dake property at 700 & 724 Robbins Rd. (parcels #70-03-33-100-072 & #70-03-33-100-073).

Urquhart presented the case. Chad Koster of IMD Capital has submitted a request for a zoning change from TI, Transitional Industrial District to PD, Planned Development District and a Preliminary Development Plan for a proposed residential development on the property currently occupied by the Dake property at 700 and 724 Robbins Rd. (parcels #70-03-33-100-072 and #70-03-33-100-073). The site is large and two-thirds of the rear portion of the property is woodland and within the sensitive area overlay. The proposed project includes a mixture of housing types for a total of 189 units on approximately 24 acres. The development plan includes amenities such as a dog park, outdoor pool and sundeck, pickleball courts, and community lounge.

A Planned Development requires approval of a preliminary development plan and rezoning of the property, which are subject to a recommendation by the Planning Commission and approval by the City Council. The applicant would submit a formal Planned Development and Rezoning application for the public hearing. Following approval of the preliminary development plan and rezoning, the applicant will provide a final development plan to the Planning Commission for approval. That plan will include the level of detail expected from a traditional site plan review per Sec. 40-115.04.

The intent of South Village PD is to provide additional housing in the city located on an underutilized brownfield site. The Transitional Industrial District allows multiple-family dwelling per special land use, however due to mixture, size, and building placement of the development, the applicant is considering a multiple phased development, comprised of attached single family, flats, townhomes, and row houses. South Village PD will not contain any nonresidential uses. South Village PD shall be classified as multi-family residential.

The applicant is proposing 3 phases, starting with phases 1 and 2 concurrently. Phase 3 may be amended to develop the remaining portion in an appropriate and desirable manner.

The applicant states the private roads will conform to the minimum road construction standards of the City.

The building massing conforms to the guidance standards in Sec. 40-421.03.C, which requires a building separation of 0 to not less than 20 ft. The applicant is calling for a departure of 6 ft., where units 4 and 5 will be placed 14 ft. apart. The building configuration will allow for a neighborhood design in the townhome units of Phase 3. In addition, Sec. 40-421.03.C provides a maximum lot coverage of 50%. The preliminary development plan calls for 14% lot coverage and 40% open space. The development is compatible with the surrounding community.

Sec. 40-421.03.C provides guidance on building height for multiple-family residential, which is 4 stories or 52 ft. The preliminary development plan does not list building height, but it is presumed all buildings will not exceed 4 stories or 52 ft.

It is not anticipated any fumes or odors will result from the development. The applicant should disclose the plan for dust control during the construction phase. The preliminary development plan calls for dumpster enclosures located throughout the development, near the row houses,

stacked flats, and townhomes. Architectural Character: The architectural character of the buildings is unknown. The applicant should specify during the final development plan the architectural features, color, and theme of the development.

Lighting has not been finalized. All lighting shall meet Sec 40-317.

The preliminary development plan calls for an internal network of private roads leading into the development. Two access drives off Robbins are shown, connecting to phase 2 and 3, and a larger entrance drive for phase 1. The existing commercial property at 724 Robbins will maintain the drive off Robbins, but the internal drive network will not connect with any portion of South Village PD. The applicant will submit a land division applicant for this parcel of 2.1 acres, referred to as parcel B. The intention is to maintain parcel B as TI zoning.

The Institute of Traffic Engineers (ITE) applies Code 220 for calculating average daily trips for a multi-family dwelling unit, which is 6.63 trips per day. Some of the public comments have recommended a traffic impact study, in which the Planning Commission may require as a condition.

Stormwater will be collected through a network of storm pipes and detained in compliance with the city's stormwater ordinance. A large detention pond is proposed near the southeast portion of the property, aligning with the natural drainage patterns and natural topography.

A 189-unit development may generate additional noise from residential traffic, however the principal function of a residential use will not create any lasting noise levels that would disturb nearby properties.

The 24-acre site is heavily wooded on the southern two-thirds of the property. The applicant intends to preserve as many trees as possible to preserve screening with the residential properties to the south and west.

No outdoor storage is proposed. It would be recommended surface parking spaces shall be designated for passenger vehicles only, not for any commercial or trailer storage.

The preliminary plan calls for a neighborhood entrance sign off Robbins. No other signage is proposed. The final development plan should include a detailed signage plan. To accommodate for signage, it is recommended the signage follow Multiple-Family Residential District standards. Parking: The preliminary development plan calls for a total of 533 spaces. 273 on-street or surface parking spaces, 248 garage/driveway spaces, and 12 future parking spaces. The ordinance requires 2 spaces per unit, or $189 \times 2 = 378$ spaces. The plan satisfies the parking demand.

The future land use map in the adopted Master Plan identifies this report at mixed-use redevelopment. Furthermore, the zoning plan in the Master Plan lists Planned Development as a compatible zoning district. The project will result in approximately 40% open space. The project contains statutory support for rezoning. The applicant has acquired a wetland delineation study, and will minimize any negative impact on wetland areas.

Planning Commission Meeting Minutes

April 22, 2025

Page 11

Staff has received one email regarding the PD. The concern primarily is with the preservation of screening with the adjacent residential neighborhood, and increase of traffic on Robbins.

Chad Koster - spoke regarding the variety of properties that are planned for the lot and the need for housing in the City. He also stated that there would be no impact on the surrounding wetlands without full review and permits from the State of Michigan and EGLE.

Mike Corby, 840 Ottawa - spoke regarding the wetlands. He stated that most of the wetlands would be left alone and only about 14% would be impacted.

Eric DeYoung - spoke regarding the utilities for the project.

Chair Dora opened the public hearing at 8:29 p.m.

Wayne Doyle, 549 Robbins Rd - commented on increased traffic concerns and asked about plans to handle the traffic

Scott Muellerleile, 15166 Westray St - commented on the wetlands and Ottawa County water preservation concerns.

Judy Everett, 541 Robbins - concerns regarding traffic and traffic flow. She also asked questions regarding putting up a buffer between the development and neighboring homes.

Dan Muellerleile - 15028 Westray St - commented on the wetlands, current water conditions and the potential impact to traffic. He also commented on the potential chemicals that were believed to have been dumped on the property.

Rodney Vanabbema, 15046 Westray St - commented on wetlands and traffic concerns. Also, commented on concerns regarding all of the trees on the property.

James Oneal, 207 Valley Ct - commented on concerns of traffic and potential backups and would like to see a traffic plan done.

Bob Poel, 15080 Westray St - commented on concerns of traffic.

Robert Everett, 541 Robbins Rd - commented on questions regarding if the property is zoned to be a high density property.

Motion by **Kozanecki**, seconded by **Smelker**, to close the public hearing.

All ayes.

Public Hearing closed at 8:45 p.m.

Commissioners:

Pierce - stated concerns over environmental impacts and traffic congestion.

Smelker - asked questions regarding where they got the wetland size in the plans.

Kozanecki - echoed other commissioners' concerns regarding traffic. She stated that she would like to see a traffic study to determine potential issues and fixes.

Planning Commission Meeting Minutes

April 22, 2025

Page 12

Skelly - asked questions regarding chemical study done on the property.

Galligan - stated he would like to see solutions to the traffic issues and not just a traffic study.

Borchers - stated he would like to see about ½ or ⅓ of the properties be owner occupied properties.

Owens - stated that while the traffic and wetland issues were obvious concerns this meeting is for a zone change. She asked the other commissioners to reiterate if they are looking to move forward.

Smolenska - stated she is ready to move forward and that other concerns can be mitigated at a later date.

Dora - stated that commissioners' concerns were all valid and that they can come up with a traffic study recommendation with consideration for solutions to move forward.

Motion by **Owens**, seconded by **Smelker**, to recommend to City Council approval of Case 25-12, a zoning change request from TI, Transitional Industrial District to PD, Planned Development District and a preliminary development plan for a Multi-family development located at 700 and 724 Robbins Rd. (parcels #70-03-33-100-072 and #70-03-33-100-073), based on the information submitted for review and subject to the following conditions:

- 1) *A departure from the building separation standard of 20 ft. is approved to allow for a building separation of 14 ft. 2 in between units 4 and 5 in building area D, 16 ft. 5 in, between units 4 and 5 in building area E, and 16 ft. 6 in. between units 17 and 18 in building area G as shown on the preliminary plan.*
- 2) *A lot split application shall be submitted for the lot split of parcel #70-03-33-100-072 and subsequent combination with parcel #70-03-33-100-073 prior to preliminary development plan approval.*
- 3) *The street trees along Robbins Road will be re-planted per Public Works specifications.*
- 4) *Landscaping around the perimeter of the property should be preserved to the greatest extent possible to soften and screen the site and to provide the greatest buffer from the residential properties to the south and west, and railroad to the east.*
- 5) *A sensitive area overlay application shall be submitted with the final development plan.*
- 6) *A sanitary sewer agreement shall be prepared and duly recorded with Grand Haven Charter Township.*
- 7) *Signage shall conform to the MFR District standards.*
- 8) *Exterior cladding materials shall meet the standards of the MFR district.*
- 9) *A traffic impact study is submitted prior to the final development plan. The traffic impact study shall identify any solutions to any adverse impacts on public roadways resulting from the development.*
- 10) *A utility plan shall be included in the final development plan.*
- 11) *An EGLE permit shall be submitted and approved for development in any identified wetland area.*

And the following findings of fact entered into the record:

- 1) *The preliminary development plan conforms to the future land use plan and zoning plan in the adopted 2023 master plan.*

- 2) *The 189-unit development satisfies goal one, objective A of the 2023 master plan in which dwellings in Grand Haven will include a broad range of housing types, appropriate for all segments of the population. South Village Plan Development will support a variety of housing types and density that will place users near daily services.*

Roll Call Vote.

Yeas: Owen, Borchers, Kozanecki, Skelly, Smolenska, Galligan, Pierce, Smelker, Dora

Nays: None.

Motion passed

Chair Dora called for a 5-minute recess at 9:15 p.m.

Chair Dora called the meeting back to order at 9:20 p.m.

Case 25-13: Zoning Text Amendment to Sec 40-411.02.A, to permit short term rentals in the Centertown Overlay in the Neighborhood Mixed-Use District.

Urquhart presented the case. John Groothuis submitted an application for zoning change to amend Sec. 40-411.02.A of the Zoning Ordinance, a text amendment to allow short term rentals by right in the Centertown Overlay within the Neighborhood Mixed-Use district. Short term rentals are permitted in the following districts:

In March, the Planning Commission held a pre-public hearing regarding the zoning text amendment. The feedback was largely not in favor of the request. However, it does appear the focus was placed primarily on Steinbech Crossings, the mixed-use development at 7th and Columbus, instead of the entire task, which is to include all parcels within the Centertown Overlay to be eligible for short term rentals.

Furthermore, an option to rezone the Centertown Overlay into a different zoning district was discussed. The rezoning would allow for short term rentals, zero ft. front yard setbacks, increased building height, and maximum lot coverage. However, the option to rezone the Centertown Overlay would be a significant undertaking, and perhaps does not fully align with the Centertown Vision Plan. Rezoning may create nonconformities, compromising the intent. It shall be imperative to clarify the future plans of Centertown.

If the focus remained on a single project, rezoning the parcels to a district which permits short term rentals is also an option. Spot zoning would occur, and the only logical approach would rezone to Planned Development. The PD could permit additional uses, building height and massing, and likely contradict the approved Steinbech Crossings site plan from 2024.

The proposed amendment would apply to the Centertown Overlay only, which is about 24 parcels. Although permitted by right, for a short term rental certificate to be issued, the underlying use must be in compliance with the Neighborhood Mixed-Use District, and shall satisfy the minimum parking requirements for on-site parking.

According to the American Planning Association, the definition of an overlay district is “a zoning district which is applied over one or more previously established zoning districts, establishing additional or stricter standards and criteria for covered properties in addition to those of the

Planning Commission Meeting Minutes

April 22, 2025

Page 14

underlying zoning district". Communities often use overlay zones to protect special features or uses. Overlay zones can also be used to promote specific development projects. Per Sec. 40-411.04, the Centertown Overlay district was established to fulfill the Main Street Downtown Development Authority's (MSDDA) desire to allow for increased density within this commercial node due to its proximity to the downtown core and its importance within the MSDDA district.

In addition, if the text amendment to Sec. 40-411.02.A proceeds, then Sec. 40-111.04 will require a text amendment to specifically list short term rentals as a permitted use within the Centertown Overlay.

Section 40-121.B lists the standards for reviewing a zoning text amendment. The applicant has provided responses to those standards in their submittal. A zoning text amendment requires a public hearing. Following the public hearing, the Planning Commission shall consider the amendment request, pursuant to Sec. 40-121.B.

The Main Street DDA has submitted a letter of support for the zoning text amendment. At the time of this memo, no other correspondence has been received. It is requested the Planning Commission hold the public hearing, consider the public comments and discuss. A recommendation is not required.

Smolenska recused herself from the public hearing.

Chair Dora opened the public hearing at 9:29 p.m.

Joyce Workman - commented on how everyone at the Centertown group meetings signed a letter of support in favor of this.

John Groothuis, 115 Sherman - commented on concerns of short-term rentals and spoke about his belief that we need short term rentals and the overlay district is where it makes the most sense to have them.

Motion by **Galligan**, seconded by **Skelly**, to close the public hearing.

All ayes.

Public Hearing closed at 9:34 p.m.

Commissioners:

Pierce - stated he would like to see this not done as a right and instead have the short term rentals be done as a special land use.

Smelker - stated the overlay is so tightly defined that she's okay with it being listed for short term rentals. She also stated that she was surprised by the negative commissioner comments.

Kozanecki - stated she was not in full support of this. She stated the vision plan for Centertown does not include short term rentals and she is afraid this will cause other areas to want to become short term rentals. She also agreed with Pierce and stated that she doesn't like the thought of having short term rentals being by right.

Planning Commission Meeting Minutes

April 22, 2025

Page 15

Skelly - stated concerns over possible short term rental expansion.

Urquhart explained for the public what by right vs special land use is per request from Mike Dora.

Galligan and Borchers - made statements in support of this.

Owens - stated she would be more comfortable if the short term rentals were by special land use and not by right.

Dora - stated he would like to wait for more information from the Centertown group.

Chandi, MSDDA Director - responded to a question regarding if the DDA would be willing to sit down with the Planning Commissioners to have a joint discussion regarding this issue.

Motion by **Galligan**, seconded by **Kozanecki**, to postpone a recommendation to City Council on amending section 40-411.02A to allow short term rentals in the Centertown Overlay District in the Neighborhood Mixed Use District until the following:

- 1) *Additional information is provided regarding the intent of the Centertown Overlay and/or a joint meeting is held with the MSDDA and Centertown.*
- 2) *Guidance is received from City Council on amending short term rental eligible locations.*
- 3) *Findings reveal an alternative approach may be necessary.*

Roll Call Vote.

Yeas: Borchers, Owens, Skelly, Galligan, Pierce, Smelker, Kozanecki, Dora

Nays: None

Motion passed.

Old Business: None

Zoning Board of Appeals Liaison Report:

Kozanecki said we didn't have a meeting and we're not having a meeting tomorrow.

City Planner Report:

Urquhart said we are still waiting to hear back from the Grand Landing Hotel on the final development plan. We are also waiting to hear back on a few others but as you saw, we will have the public hearing for the 233 Washington St. Hotel coming up.

He also said that he sent out, for reference, the Michigan Citizen Planner Resources on Ordinance and Enforcement guide that our mayor was very kind in giving to us. ZBA will also get sent that too.

Urquhart then thanked the Planning Commissioners for being accommodating and rescheduling this meeting from the 15th to the 22nd.

Call to the Audience: Second Opportunity:

Planning Commission Meeting Minutes
April 22, 2025
Page 16

Mike Fritz, 225 Clinton - thanked the commissioners for spending their time and for all of their hard work

Bob Monetza, Mayor - seconded what Mike Fritz stated.

Motion by **Kozanecki**, seconded by **Skelly**, to Adjourn.
All Ayes **Motion Passed.**

Chair Dora adjourned the meeting at 10:07 p.m.

Amy Vos, Deputy City Clerk

DATE: March 6, 2026
TO: Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 26-03: Zoning Map Amendment Pre-Public Hearing Discussion – OT Key Street**

Current Zoning: OT, Old Town
Existing Use: Normal street
Proposed Use: Key Street on 5th St. north of Jackson to Adams Ave.

1.0 Request

Kelley Oosterman, submitted a zoning change request to the Planning Commission to consider extending 5th Street as a Key Street from Jackson Ave. to Adams Ave. Sec. 40-316 states Key Street segments tend to include a mix of land uses, and, due to traffic patterns, are appropriate locations for certain uses within a zoning district. The designation of a key street requires an amendment to the zoning map, public hearing, and recommendation to City Council for final adoption.

Staff encouraged Mrs. Oosterman to pursue the option of a pre-public hearing before a formal request for Zoning Change application is submitted. Ms. Oosterman has owned 514 N. 5th St. for eighteen years. Her request states she would like include 5th St. as a key street because of the higher traffic volume traveling from Haven Apartment Complex to the north. Also, she claims due to the existing approved and lawful nonconforming short-term rentals on 5th St., this would impact 50% of the parcels abutting 5th St., offering compatible uses.

If approved, the following parcels would be located on a Key Street:

Address	Parcel #	Use	Registered STR?
504 N. 5 th St.	70-03-21-158-011	Single-family owner occupied	No
508 N. 5 th St.	70-03-21-158-010	Single-family owner occupied	No
514 N. 5 th St.	70-03-21-158-022	Single-family owner occupied	No
518 N. 5 th St.	70-03-21-158-001	Single-family rental	No
501 Monroe Ave.	70-03-21-155-008	Single-family owner occupied	No
507 N. 5 th St.	70-03-21-155-012	Single-family rental	Yes
513 N. 5 th St.	70-03-21-157-016	Single-family owner occupied	No
519 N. 5 th St.	70-03-21-157-015	Vacant	
431 Monroe Ave.	70-03-21-154-012	Single-family owner occupied	No
607 N. 5 th St.	70-03-21-154-011	Single-family rental	Yes
613 N. 5 th St.	70-03-21-154-006	Single-family owner occupied	No

At the February 2023 meeting, the Planning Commission heard a request regarding a potential amendment to the zoning map to allow for extension of a key street in the Old Town District on 3rd Street north of Jackson Ave. The Planning Commission agreed it was not appropriate to amend the map and the applicant did not pursue the request any further.

2.0 Zoning Text amendment & standards

The planning commission should consider the standards for a zoning change found in Sec. 40-121.A:

1.If the proposed zoning amendment is consistent with the city's adopted master plan.

- 2.If the proposed zoning amendment is consistent with recent development trends in the area.*
- 3. If the zoning amendment is compatible with existing or future land uses in the vicinity of the subject site or throughout the zoning district(s) affected by the proposed amendment.*
- 4.If existing or planned public infrastructure, including streets, sanitary sewers, storm water, water, sidewalks, and street lighting are capable of accommodating potential changes in land use resulting from the proposed amendment.*
- 5. If the proposed amendment is consistent with the intent and purpose of this ordinance and whether the proposed amendment would protect the health, safety, and welfare of the city.*

3.0 Next Steps

The Planning Commission is asked to provide direction to the applicant regarding the proposal, particularly considering the possibility of opening additional parcels as eligible short-term rentals. The concern in the past is how far will short term rental creep into traditional neighborhoods. Once the applicant is ready to move forward with a formal request for zoning change application, a public hearing can be scheduled.

Attachments:

- A. Zoning Change application
- B. Map of parcels impacted in OT District
- C. Letters of support
- D. STR Eligibility Map

Note: The applicant regrettably forgot the date of the meeting in February, explaining her absence. Staff determined it would be practical for her to appear before the Planning Commission to present her case.

January 28, 2026

Brian Urquhart
City Planner
City of Grand Haven
519 Washington
Grand Haven, Michigan 49417

Please find enclosed a request to make 5th Street from Jackson to Adams a key street allowing short term rentals.

I have enclosed the application, a letter I sent to eligible residents on 5th, the supporting map and the signed forms from the eligible home owners. (Except the one I mentioned in my email).

Our justification for this request is this section has a higher traffic volume due to the Haven Apartment Complex at the end of 5th. It would create a N/S key street connector from Jackson to Adams and nearly 50% of the houses on this section of 5th street already have grandfathered STR permits.

I appreciate your time and consideration. Please let us know if you have any questions.

Kelley Osterman
810-602-4062

A handwritten signature in blue ink that reads "Kelley Osterman". The signature is written in a cursive style with a large, looped "K" and "O".

REQUEST FOR ZONING CHANGE APPLICATION
Community Development Department, City of Grand Haven
519 Washington Avenue, Grand Haven, MI 49417
Phone: (616) 935-3276 Website: www.grandhaven.org

1. General Information (if the proposed amendment is a map amendment, aka rezoning)

Address/location of property: 5th Street from Jackson to Adams
Parcel #: _____ Master Plan designation: _____
Current Use: _____ Proposed Use: STR Key Street
Existing Zoning: _____ Area in Acres: _____
Proposed Zoning: _____ Area in Acres: _____

2. Owner

Name: _____
Address: _____
Phone #: _____
Email: _____

3. Applicant

Name: Kelley Osterman
Address: 514 N. 5th Street
Grand Haven, MI 49417
Phone #: 810 602 4062
Email: Kelley.osterman.8@gmail.com
or regional.youth@comcast.net

4. Required Attachments

- PDF + 5 copies of application
- Property deed (rezoning)
- Plat or sketch (rezoning)
- Justification for request (see sec. 40-121 on page 2)
- Power of attorney (if applicable)
- Existing and proposed section language from Zoning Ordinance (if the proposed amendment is a text amendment)

5. Fees and Escrow Deposit

Application Fee: \$400

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.

Petition will not be accepted without signature of legal owner or official agent (attach power of attorney).

Signature of Proposed Owner: _____ Date: _____

Print Name: _____

Signature of Applicant: Kelley Osterman Date: 1/29/26

Print Name: Kelley Osterman

<i>Office Use Only</i>		
Case #: _____	Date Received: _____	Fee: _____
Date of City Council Approval: _____		



January 17, 2026

Hello Neighbor,

My name is Kelley Osterman and my husband Bob and I have owned our house at 514 N. 5th Street for 18 years. A few months ago we looked into getting a short term rental certificate for our house, and I guess I misunderstood the postcard all those years back.

After speaking with the City Planner it was discussed the possibility of requesting from the Planning Commission that 5th street from Jackson to Adams become a "key street" allowing short term rentals on this section. Our main justification is 5th being a minor arterial road from the apartment complex at the end of 5th to Jackson. You can see by the enclosed map, many of the houses already have grandfathered short term rental permits.

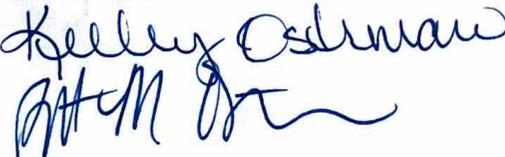
If you support this proposal, I would just need you to sign this form with your support. Then I will approach the City Planner. First step is a conversation.

If eventually passed this would not guarantee that you personally would be eligible for a short term permit as there are guidelines you still would need to meet, but simply allow you to apply. The approval of the key street would not affect your property, the traffic load, or your property taxes in any way.

Thank you for your time, Let us know if you have any questions or comments.

Kelley & Bob Osterman

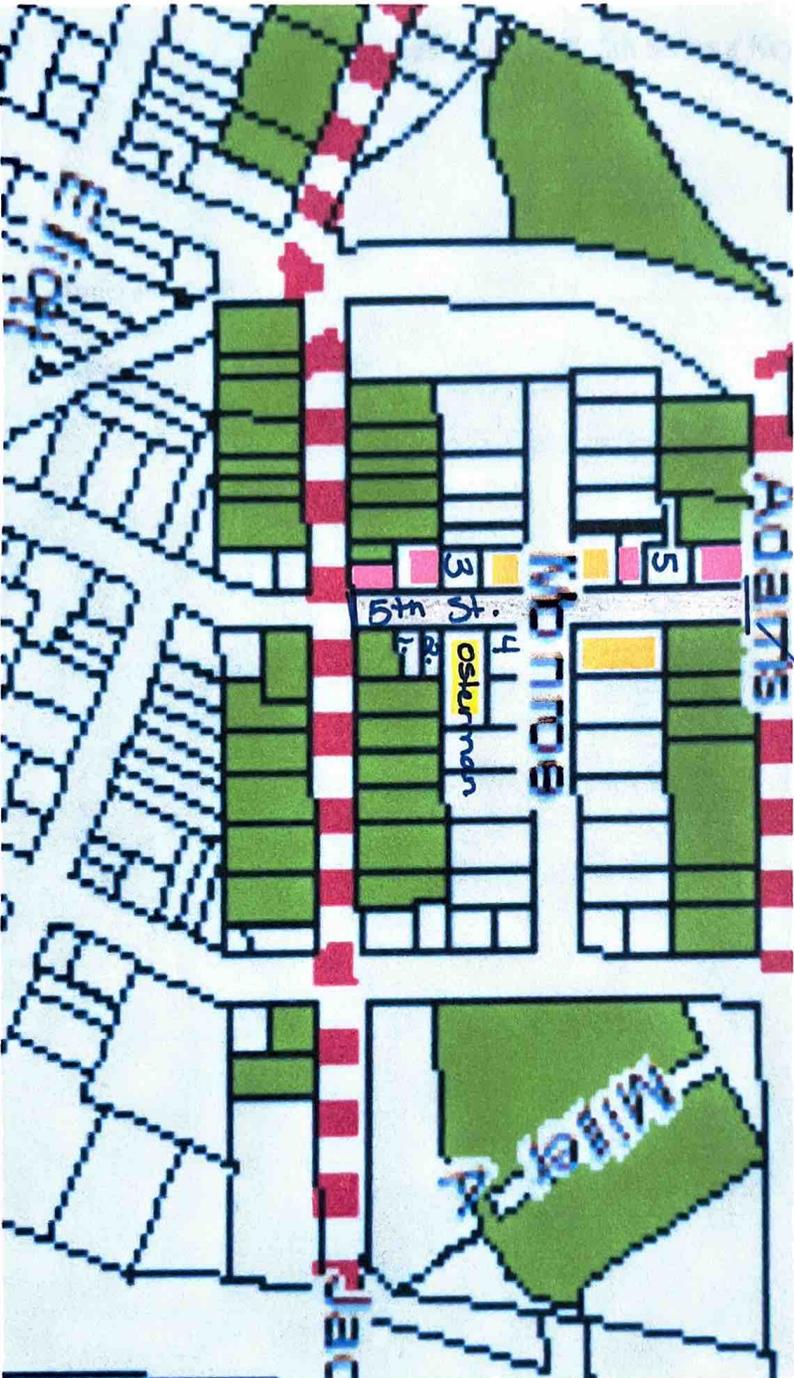
810-602-4062

Handwritten signatures of Kelley Osterman and Bob Osterman in blue ink.

1. 504 5th St.
2. 508 5th St.
3. 513 5th St.
4. 518 5th St.
5. 615 5th St.

- Monroe Street Address doesn't apply
- Already has a Current Short Term permit

Proposed Key Street



Request to make N. 5th Street a Key Street

Owner Address: _____

Name: _____

We support 5th Street from Jackson to Adams in Grand Haven Old Town becoming a Key Street.

____ YES

____ NO

Signature

Date

Request to make N. 5th Street a Key Street

Owner Address: 508 N Fifth

Name: David Watts

We support 5th Street from Jackson to Adams in Grand Haven Old Town becoming a Key Street.

YES

NO

David Watts
Signature

1-17-26
Date

Request to make N. 5th Street a Key Street

Owner Address: 613 N 5th St. 49417

Name: Kyle Roffey

We support 5th Street from Jackson to Adams in Grand Haven Old Town becoming a Key Street.

YES

NO

Signature Kyle Roffey

1/23/26
Date

Request to make N. 5th Street a Key Street

Owner Address: 518 NORTH FIFTH STREET

Name: KIRK SHERMAN

We support 5th Street from Jackson to Adams in Grand Haven Old Town becoming a Key Street.

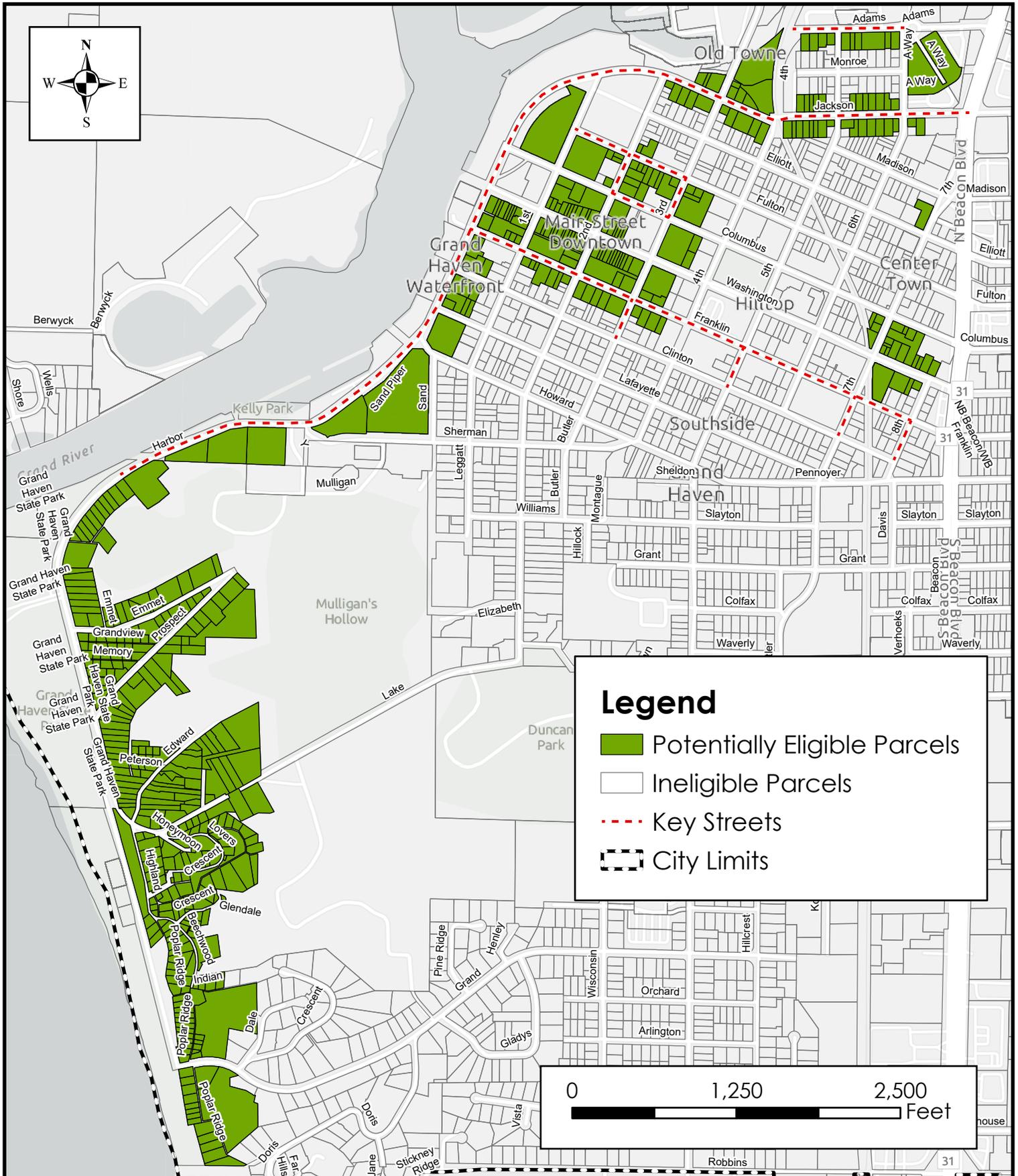
YES

NO

Kirk Sherman
Signature

1-23-26
Date

City of Grand Haven Short-Term Rental Eligibility Map*



**Disclaimer: This map is intended to be used as a reference document and should not be relied upon to make investment decisions. Properties that are already certified short-term rentals may be transferred to a new owner. Some properties shown on map may in fact be ineligible for short-term renting due to factors such as parking, land use, or private covenants. Please contact the City Planner for specific property inquiries (616-935-3276).*

DATE: March 6, 2026
TO: City of Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: March City Planner Report

TI District name change

Last month, the Planning Commission agreed to pursue a name change for the Transitional Industrial District. The conclusion was to keep all permitted and special uses, building forms and regulations the same, but just rename the district. Prior to setting a public hearing, the Planning Commission recommended reaching out to lending institutions for verification of residential uses and loans with industrial in the zoning district name.

HB 5529 to 5532

Last month, several house bills were presented to the Regulatory Reform Committee in the MI House of Representatives. The bills focus on increasing the housing supply in Michigan by permitting smaller lots sizes, allowing accessory dwelling units by right, allowing smaller dwelling sizes, and expediting the review process, through amending the Zoning Enabling Act. These bills were not met without concern, primarily the basis of pre-emption and removing local control. The Michigan Association of Planning (MAP) did express support of the bills, however recommended changes to the bills that provide applicable standards to a community's profile. Notwithstanding the concerns, these bills do align with the objectives for increasing housing supply in the city and support the zoning reform effort.