

CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION
MEETING AGENDA
July 14, 2026

Notice and agenda of the regular Planning Commission Meeting at 7:00 p.m. to be held at the Grand Haven City Council Chambers, 519 Washington Avenue. Planning Commissioners unable to attend the meeting are requested to contact the Planning Department at 616-935-3276 prior to the meeting.

1. MEETING CALLED TO ORDER

2. ROLL CALL: Amy Kozanecki, Dan Borchers, Chair Joe Pierce, Tamera Owens, Secretary Magda Smolenska, Vice-Chair Jennifer Smelker, Scott Blakeney

3. APPROVAL OF MINUTES – June 9, 2026

4. APPROVAL OF AGENDA

5. CALL TO AUDIENCE – ONE OF TWO OPPORTUNITIES

6. PUBLIC HEARINGS

- A.** Case 26-23: Special land use request for a two-family dwelling at 20 N. Despelder St. (parcel #70-03-21-379-002)
- B.** Case 26-24: Special land use request for a retaining wall greater than 48 inches in height at 1540 Marion Ave. (parcel #70-03-27-154-002)

7. NEW BUSINESS

- A.** Case 26-25: Pre application for site plan review for 5-dwelling unit addition to 211-213 Washington Ave. (parcels #70-03-20-432-011 & #70-03-20-432-012)
- B.** Case 26-26: Pre-public hearing discussion of Chinook Peir development proposal

8. OLD BUSINESS

9. ZONING BOARD OF APPEALS LIAISON REPORT

10. CITY PLANNER REPORT

11. CALL TO AUDIENCE – SECOND OPPORTUNITY

12. ADJOURNMENT

**CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION
SPECIAL WORK SESSION MINUTES
TUESDAY, JUNE 9, 2026**

The special work session of the Grand Haven Planning Commission was called to order by Chair Ryan Galligan at 6:30 pm. Upon roll call, the following members were present:

Present: Amy Kozanecki, Vice Chair Joe Pierce, Dan Borchers, Chair Ryan Galligan, Tamera Owens, David Skelly, Jennifer Smelker

Absent: Magda Smolenska

Also Present: City Planner Brian Urguhart, and members of the public.

Presentation

Steven TerMolen, Human Relation Commission Board Member, presented the HRC's recommendation to add language requiring that a minimum of ten percent (10%) of all dwelling units within new Planned Developments (PDs) be designated as attainable housing, as defined and periodically updated under State of Michigan guidelines.

Adjournment

The work session was adjourned by **Chair Galligan** at 6:53 p.m.

Amy Vos, Deputy City Clerk

**CITY OF GRAND HAVEN
GRAND HAVEN, MICHIGAN
PLANNING COMMISSION MINUTES
TUESDAY, JUNE 9, 2026**

The regular meeting of the Grand Haven Planning Commission was called to order by Chair Ryan Galligan at 7:00 pm. Upon roll call, the following members were present:

Present: Amy Kozanecki, Vice Chair Joe Pierce, Dan Borchers, Chair Ryan Galligan, Tamera Owens, David Skelly, Jennifer Smelker

Absent: Magda Smolenska

Also Present: City Planner Brian Urguhart, Mayor Bob Monetza, Mayor Pro-Tem Mike Dora, and members of the public.

Approval of Minutes

Motion by **Pierce**, seconded by **Skelly**, to approve the minutes of the May 12, 2026, meeting. All ayes. **Motion passes.**

Approval of Agenda

Motion by **Skelly**, seconded by **Smelker**, to approve the agenda. All ayes. **Motion passes.**

Call to the Audience: First Opportunity

Jeff Miller, 1120 S Harbor, thanked council for increasing short term rental fees and thanked DPS for hiring an officer in code enforcement. He asked planning commissioners again to work with council in their jurisdiction to ensure our residential neighborhoods don't become a commercial endeavor.

Public Hearings

A. Case 26-19: Special land use request for a short-term rental at 301 Jackson Ave. (parcel #7003-20-282-002)

Urguhart presented the case. Taylor Teachout has applied for a Special Land Use Permit for a Short-Term Rental located at 301 Jackson Ave. (parcel #70-03-20-282-002). In April, the property received special land use approval for a two-family dwelling. The Old Town Zoning District allows short-term rentals if the property is located off a key street. During the April meeting, staff incorrectly stated a short-term rental must take access off Jackson Ave. The property needs only to front a Key Street in Old Town. Therefore, the proposed driveway layout allows the site to be eligible for a short-term rental.

The property is a conforming lot in the Old Town district with a parcel size of 6,099 sq. ft. and lot width of 66 ft. The approved dwelling meets all the standards for lot coverage, building setbacks, building height, building form standards, and parking in the OT District. Sec. 40-604.03 requires 2 spaces per unit for a two-family. The applicant has provided enough parking spaces to satisfy the two-family dwelling and short-term rental.

No correspondence has been received from the public regarding this request.

Chair Galligan opened the public hearing at 7:08 p.m.

No one spoke.

Motion by **Pierce**, seconded by **Smelker**, to close the public hearing.

All ayes.

Public Hearing closed at 7:08 p.m.

Andy Burris with Callen Engineering on behalf of the applicant stated the lot is conforming and meets size requirements and while screening is not required we are offering to put in a 6 ft wall screen for the property to the north and a vegetation screen for the property to the east. He also stated that the stormwater plans are in accordance with the Grand Haven standards.

Discussion revolved around questions regarding changes to the floor plan, comments regarding heavy deer traffic in that area, and who would manage the property once it is finished.

Motion by **Smelker**, seconded by **Borchers**, to approve case 26-19, a request for a Special Use Permit for a short-term rental located at 301 Jackson Ave. (parcel #70-03-20-282-002) based on the information submitted for review, and subject to the following condition:

1. Sleeping occupancy shall be determined by the building official.

Roll Call Vote.

Yeas: Owens, Skelly, Pierce, Smelker, Kozanecki, Borchers, Galligan

Nays:

Motion passed

B. Case 26-20: Special land use request for a short-term rental at 848 S. Harbor Dr. (parcel #7003-29-101-009)

Urquhart presented the case. Chris Gillistedt has applied for a Special Land Use Permit for a Short-Term Rental located at 848 S. Harbor Dr. (parcel #70-03-29-101-009). The Dune Residential District allows short-term rentals as a special land use per Sec. 40-406.02.B.

The property is a nonconforming lot in the Dune Residential district with a parcel size of 8,712 sq. ft. and lot width of 54 ft. This parcel is very similar in size, shape and width with all other properties in the vicinity, some of which received short term rental certificates prior to the ordinance change in 2017. The driveway layout will allow for a minimum of 3 vehicles on site. The applicant has provided enough parking spaces to satisfy the short-term rental.

No correspondence has been received from the public regarding this request.

Chair Galligan opened the public hearing at 7:16 p.m.

Jeff Miller, 1120 S Harbor Dr, encouraged Planning Commissioners to broaden the area of who gets sent a notice when a public hearing is occurring regarding a property.

Motion by **Skelly**, seconded by **Kozanecki**, to close the public hearing.

All ayes.

Public Hearing closed at 7:18 p.m.

Planning Commissioners discussed the discrepancy of lot size, management of the property, and reiterated the need for consistency in these decisions.

Kozanecki stated precedence has been set and the lot size for this property does not meet requirements.

Motion by **Pierce**, seconded by **Smelker**, to deny case 26-20, a request for a Special Use Permit for a short-term rental located at 848 S. Harbor Dr. (parcel #70-03-29-101-009) subject to the following reasons:

1. The parcel is a non-conforming lot size for the Dune Residential District.

Roll Call Vote.

Yeas: Skelly, Borchers, Kozanecki, Smelker, Pierce, Galligan

Nays: Owens

Motion passed.

New Business

A. Case 26-21: Final development plan for South Village PD (parcel #70-03-33-100-073)

Urquhart presented the case. The final development plan for the Planned Development rezoning of 700 and 724 Robbins Rd. (parcels #70-03-33-100-073 and #70-03-33-100-072), includes responses from the developer, a demolition plan, elevation plans, floor plans, phasing plans, a landscape plan, and a public benefit plan.

Things to highlight are that the railroad access will be screened, the sewer agreement with Grand Haven Township has been approved by City Council, there will be a 32 sq ft sign shown at the east of the primary entrance, exterior cladding material will meet the standards of the MFR, and due to the traffic study a left turn lane will be added onto Robbins Rd.

The development will include five types of units; 118 housing units total and 24 units will be at 120% AMI. It is designed as walkable with extensive pathways and sidewalks along the development and on Robbins Rd.

Andy Tjepkema, Senior Architect with Integrated Architecture, spoke about the overall development, the nature development, and the architecture.

Discussion revolved around the EGLE permit, the EDC/BRA's decision, traffic, and price.

Mayor Bob Monetza, 945 Washington Ave, answered questions regarding the EDC/BRA's decision.

Smelker wanted it on the record that we have to do something about the traffic. She stated there is going to be an issue with traffic because we already have an issue with the traffic in that area and there needs to be a long term plan in place regarding the traffic in this and other areas of the City that the Planning Commission wants to see developed.

Planning Commission Meeting Minutes

June 9, 2026

Page 4

Motion by **Kozanecki**, seconded by **Pierce**, to approve case 26-21, the final development plan and sensitive area overlay for South Village PD at 724 Robbins Rd. (parcels #70-03-33-100-073 and #70-03-33-100-072), with the following conditions:

1. All conditions of the BLP, DPW, and Fire Marshal shall be met.
2. The sidewalk along Robbins Rd. and future crosswalk across Robbins Road shall be completed prior to the issuance of a certificate of occupancy of Phase 1.

Roll Call Vote.

Yeas: Borchers, Owens, Skelly, Pierce, Smelker, Kozanecki, Galligan

Nays:

Motion passed

B. Case 26-22: Site Plan review for an office/storage building at 1350 Kooiman Dr. (parcel #7003-28-301-014)

Urquhart presented the case. Ryan Livingston, on behalf of Livingston Homes has submitted a site plan review application to redevelop the property at 1350 Kooiman St. (parcel #70-03-28-301-014) into an office and storage space, which is permitted per Sec. 40-419.02.A. A large fire destroyed the entire building at 1350 Kooiman in late 2025. Mr. Livingston would like to rebuild and improve upon the space for his business, primarily for office and storage space.

There will be no manufacturing occurring on site, and the size and shape of the building is designed to improve production.

The property will have 4 parking spaces, no overnight parking, and loading space by the parking spaces. The dumpster behind the building will be screened and the landscape screening will be placed around the parking lot per requirements.

Motion by **Pierce**, seconded by **Skelly**, to approve case 26-22, a request for a Site Plan Review for an office storage building at 1350 Kooiman St. (parcel #70-03-28-301-014) based on the information submitted for review, subject the following:

1. The front yard parking spaces are appropriately screened per Sec. 40-601.A.

Roll Call Vote.

Yeas: Kozanecki, Borchers, Owens, Skelly, Smelker, Pierce, Galligan

Nays:

Motion passed

Old Business

Urquhart gave an update on the joint meeting that Planning Commissioners are trying to schedule with City Council. Meeting will not be able to happen before new members start in July.

Election of Officers

A. Chair

Motion by **Kozanecki**, seconded by **Borchers**, to nominate **Pierce** as Chairperson.
All Ayes. **Motion Passed.**

B. Vice-Chair

Motion by **Borchers**, seconded by **Galligan**, to nominate **Smelker** as Vice-Chairperson.
All Ayes. **Motion Passed.**

C. Secretary

Motion by **Kozanecki**, seconded by **Smelker**, to nominate **Smolenska** as Secretary.
All Ayes. **Motion Passed.**

D. ZBA Liaison

Motion by **Skelly**, seconded by **Smelker**, to nominate **Kozanecki** as ZBA Liaison.
All Ayes. **Motion Passed.**

Zoning Board of Appeals Liaison Report

Kozanecki stated there was no Zoning Board of Appeals meeting on May 20, 2026. The next meeting is scheduled for June 17, 2026, and they are expecting to hear two cases.

City Planner Report

Urquhart gave updates. Final comments regarding the Centertown Vision Plan will be open to the public will be later this month and then the DDA will present to City Council. The Diesel plant project is currently on hold because of the need to change the plans and Grand Landing has received a one-year extension.

Urquhart also thanked the Planning Commission members who are leaving.

Call to the Audience: Second Opportunity

Mayor Bob Monetza, 945 Washington Ave, thanked commissioners for their service.

Mayor Pro-Tem Mike Dora, 501 Friant St, thanked commissioners for their service.

Jeff Miller, 1120 S Harbor Dr, thanked commissioners and leaving members. He also asked commissioners to notify vendors and staff at the Farmers Market of Chinook Pier updates.

Commissioners discussed open seats and what would happen if they aren't filled right away.

Adjournment

Motion by **Skelly**, seconded by **Owens**, to adjourn.
All Ayes. **Motion passes.**

The meeting was adjourned by **Chair Galligan** at 8:30 p.m.

Amy Vos, Deputy City Clerk

DATE: July 10, 2026
TO: City of Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 26-23: Special Land Use Permit – 20 N. Despelder Two-Family Dwelling**

Current Zoning: E, Easttown District
Existing Use: Vacant single-family dwelling
Proposed Use: Two-family dwelling

1.0 Request

Josh Brugger submitted an application for a Special Land Use Permit for a two-family dwelling located at 20 N Despelder (parcel #70-03-21-379-002). Two-family dwellings are permitted by special land use in the Easttown District per Sec. 40-409.02.B.

2.0 Background

Josh Brugger purchased the property at 20 N. Despelder last year. Upon purchase, he inquired about demolishing the existing home and constructing a two-family dwelling. The parcel contains 1 ½ lots, and proposed two-family dwelling takes advantage of the space available within the building envelope towards the east property line.

3.0 Special Land Use Regulations & Conditions

Section 40-526 provides a list of two (2) standards for two-family dwelling. The applicant has provided responses to those standards. The elevation plans demonstrate a two-family dwelling is similar in design to a single-family dwelling, with a driveway access off each road frontage. The applicant has also provided responses to the standards for all special land uses found in Sec. 40-116.03.A.

20 N. Despelder is a conforming lot in the Easttown district with a parcel size of 7,967 sq. ft. and lot width of 77 ft. The proposed two-family dwelling meets all the standards for lot coverage, building setbacks, building height, building form standards, and parking. Sec. 40-604.03 requires two spaces per unit, or four spaces total. The existing drive off N Despelder will remain and service Unit-1 and a new driveway will be installed off Columbus Ave. for access and parking for Unit-2.

4.0 Correspondence

As of the date of this staff report, no correspondence has been received.

5.0 Sample Motion

Motion to APPROVE Case 26-23, a request for a Special Use Permit for a two-family dwelling located at 20 N. Despelder (parcel #70-03-21-379-002) based on the information submitted for review.

Attachments:

- A. Special Land Use application
- B. Sec. 40-526 & Sec. 40-116.03 responses
- C. Site Plan and Floor Plan

SPECIAL LAND USE PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org



1. Project Information

Address/location of property: 20 N. DeSpelder, Grand Haven, MI 49417

Parcel #: 70-03-21-379-002

Current Use: SF - Vacant

Area in Acres or Sq. Ft.: 0.18 Acres

Zoning District: Eastown

Proposed Use: 2 Family - Occupied

Zoning of adjacent properties: Eastown / NMU

2. Applicant

Name: Josh Brugger

Company: BruggerHouse Properties, LLC

Address: 626 Slayton Avenue, Grand Haven, MI 49417

Phone: 616-402-0259

Email: josh@bruggerhouse.com

3. Property Owner

Name: BruggerHouse Properties, LLC

Address: 626 Slayton Avenue, Grand Haven, MI 49417

Phone: 616-402-0259

Email: josh@bruggerhouse.com

4. Required Application Materials

- Application (PDF + 5 copies)
- Site Plan (PDF + 5 copies)
- Letter or signed narrative describing the proposed special land use and detailing why the location selected is appropriate. Narrative must include responses to the special land use review standards of Section 40-116.03 and the specific review standards of Article V of the Zoning Ordinance.
- Statement of expected effect of the special land use on emergency service requirements, schools, storm water systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes
- Additional information which may be necessary (i.e. soil erosion, dune protection, view protection, shoreline protection, excessive noise or adverse impact on surrounding properties).
- Supporting statements, evidence, data, information and exhibits that address the standards and requirements for assessing a Special Use permit application as provided in Section 40-116.03.
- Required fee

1. Fees and Escrow Deposit

Application Fee: \$350.00 (*any Site Plan Review is in addition to this review*)

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.



2. Details of the Nature of Work Proposed

Remove existing single family home. Construct new two family home as per plans. Siteplan provided. Plan to keep shed at this time if ok.

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: _____

Date: _____

Print Name: Josh Brugger

Signature of Owner: _____

Date: _____

Print Name: Josh Brugger /BruggerHouse Properties

Office Use Only

Case #: 26-26

Date Received: 6-9-26

Fee: \$350.00

Date of Approval: _____

Date of Denial: _____

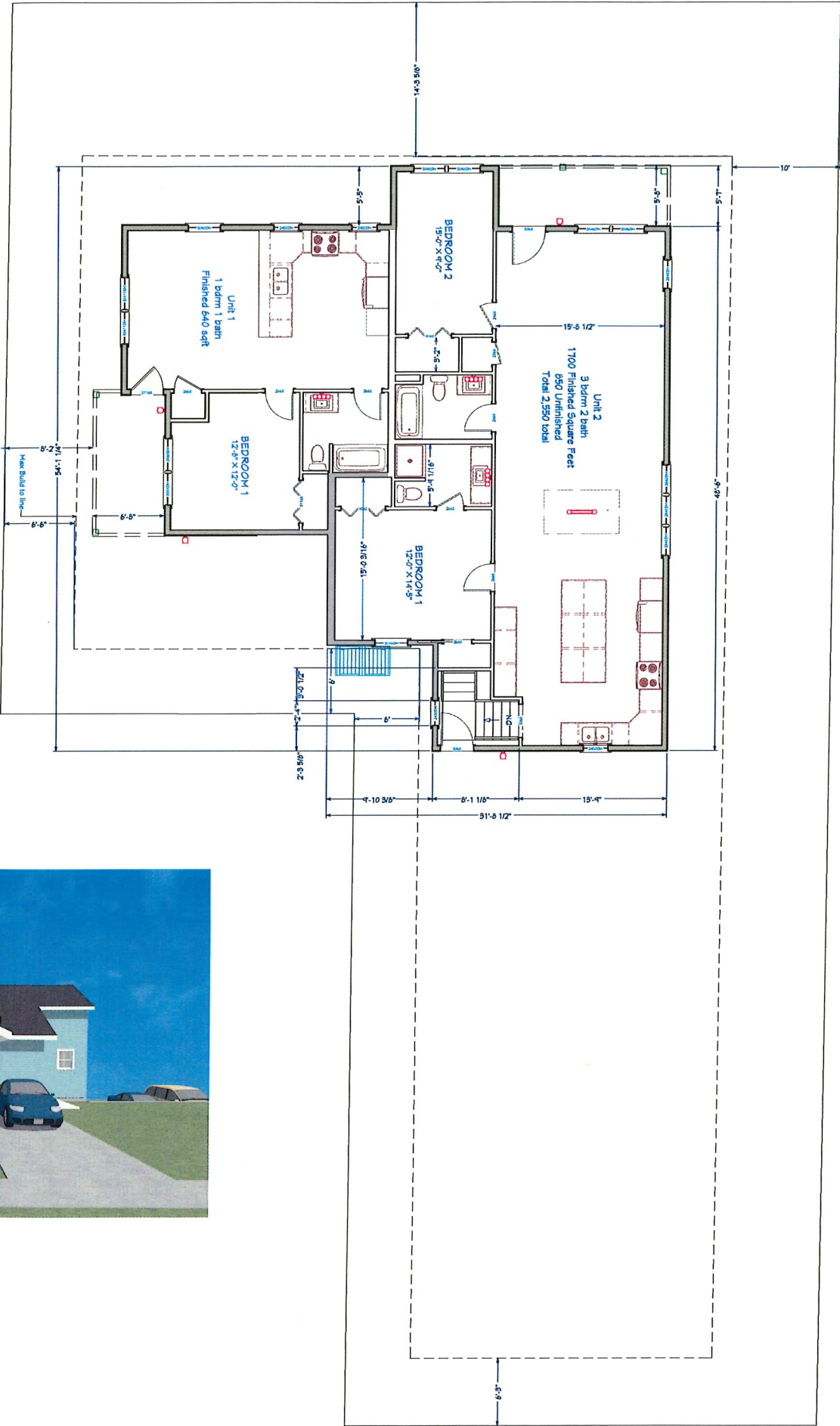
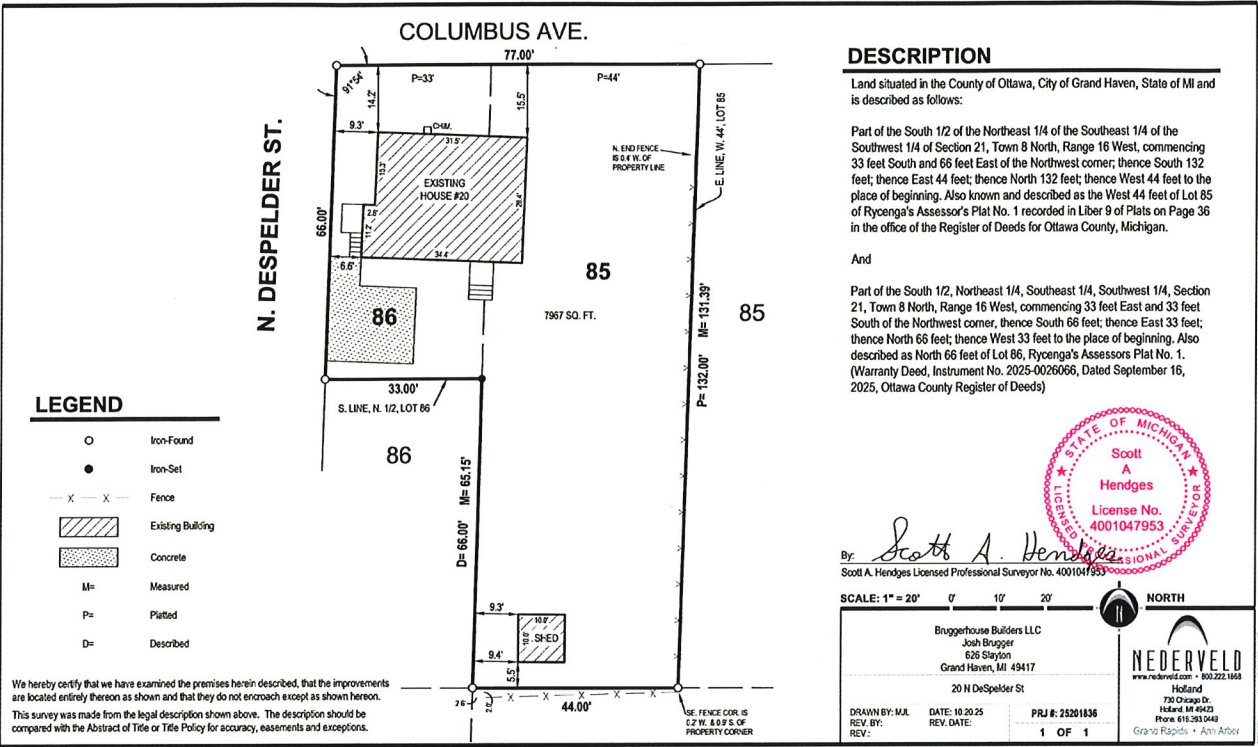
Approved by: _____



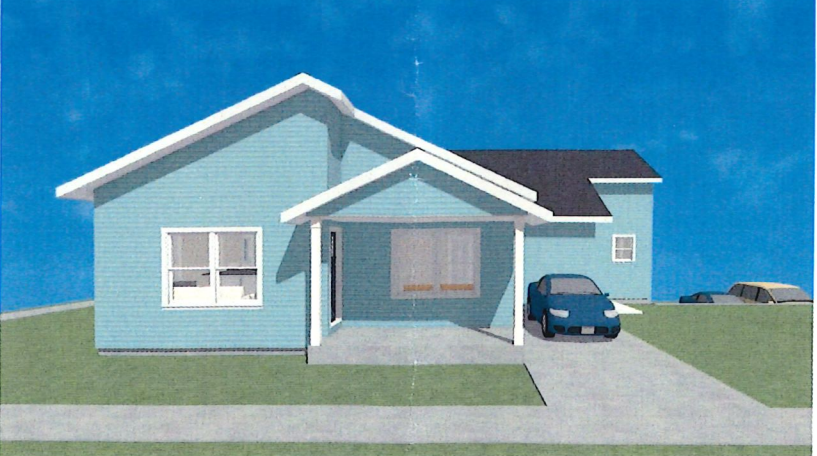
Proposed Duplex

Unit 1: 640 Square Feet (1 bd 1 bth)

Unit 2: 1700 Square Feet (3 bd 2 bth)



Columbus Street View
(3 bd 2 bth)



DeSpelder Street View
(1 bd 1 bth)

REVISION TABLE	
NUMBER	DATE

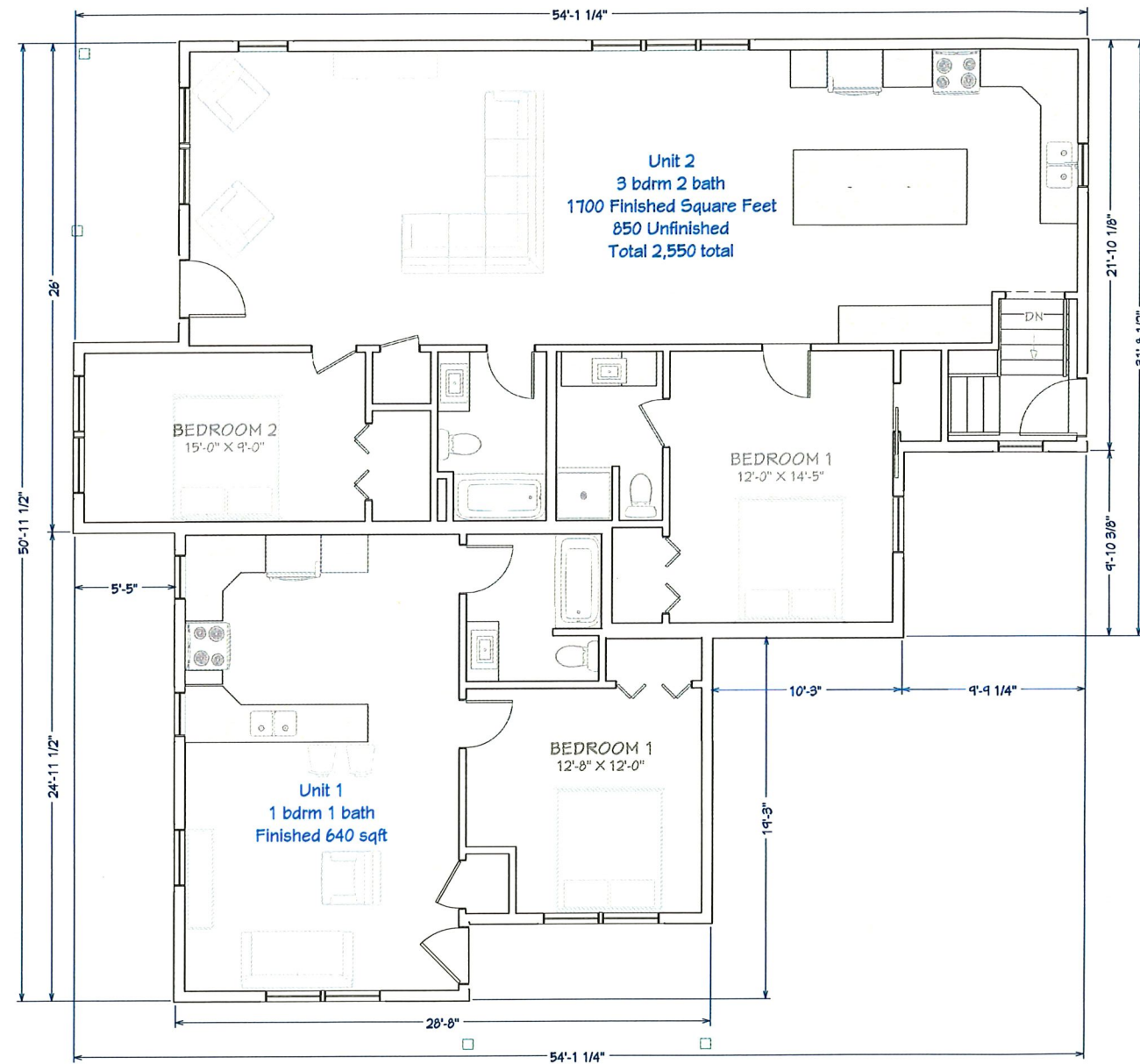
20 N. DeSpelder
1002 Columbus?

DRAWINGS PROVIDED BY:
Bruggerhouse Builders
626 Slayton Ave
Grand Haven, MI 49417

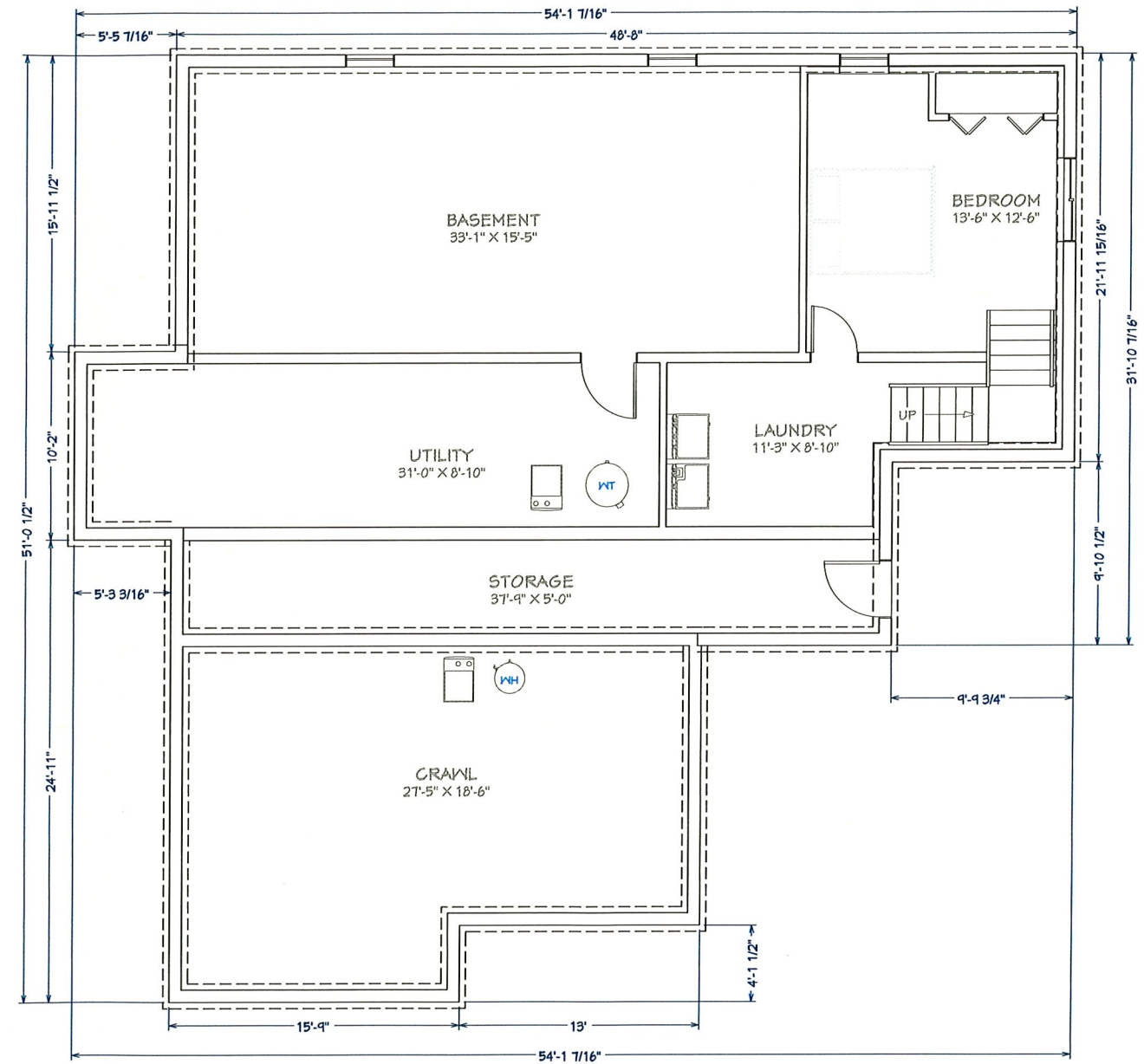
DATE:
4/20/2026

SCALE:

SHEET:
P-1



FLOOR PLAN VIEW SHELL
1/4 IN = 1 FT



FLOOR PLAN VIEW SHELL
1/4 IN = 1 FT

REVISION TABLE	
NUMBER	DATE

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Grand Haven, MI 49417

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626 Slayton Ave
Grand Haven, MI 49417

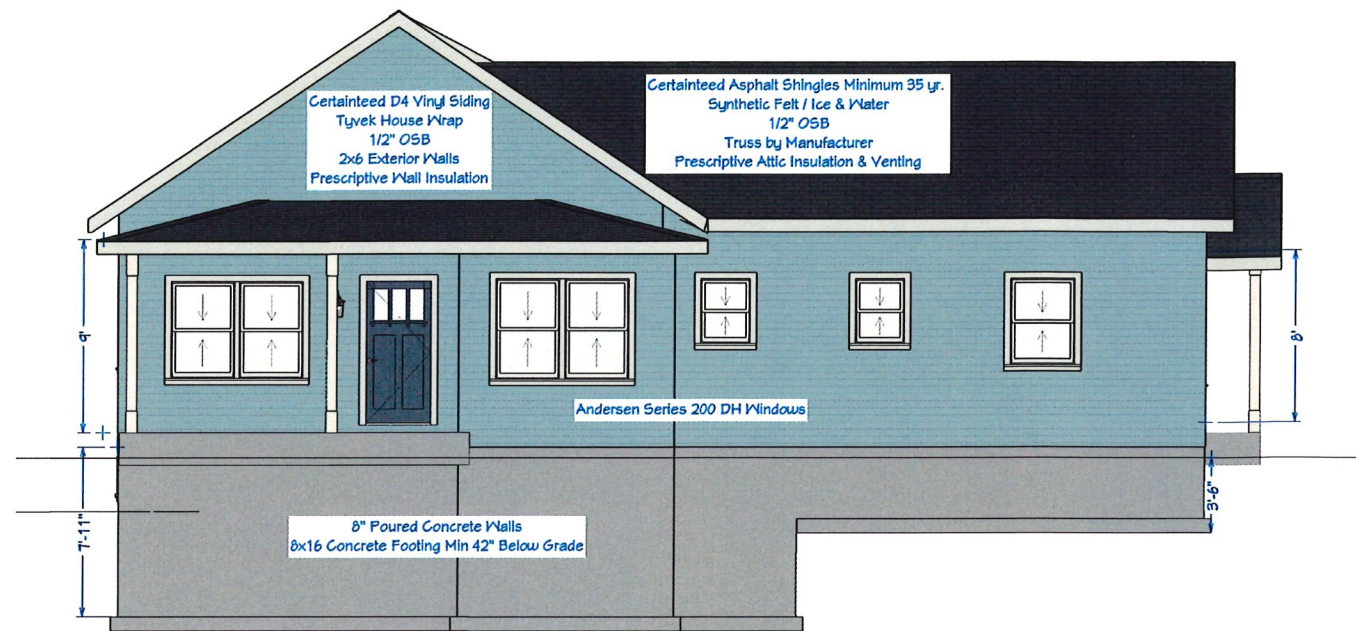
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4/20/2026

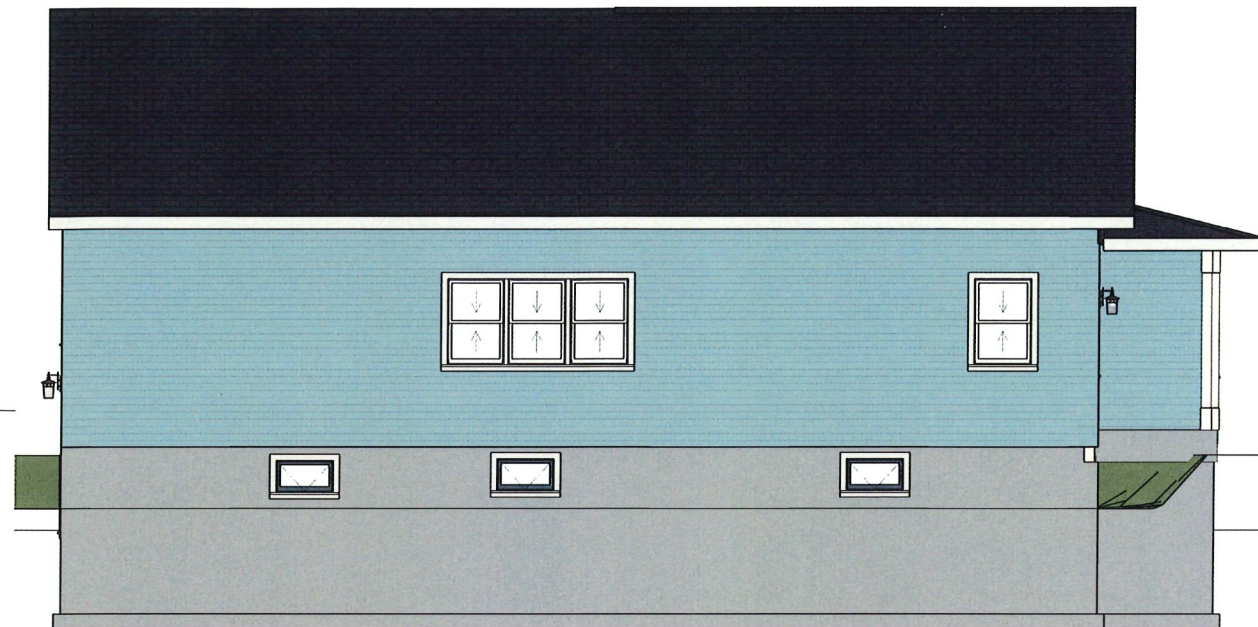
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SHEET:

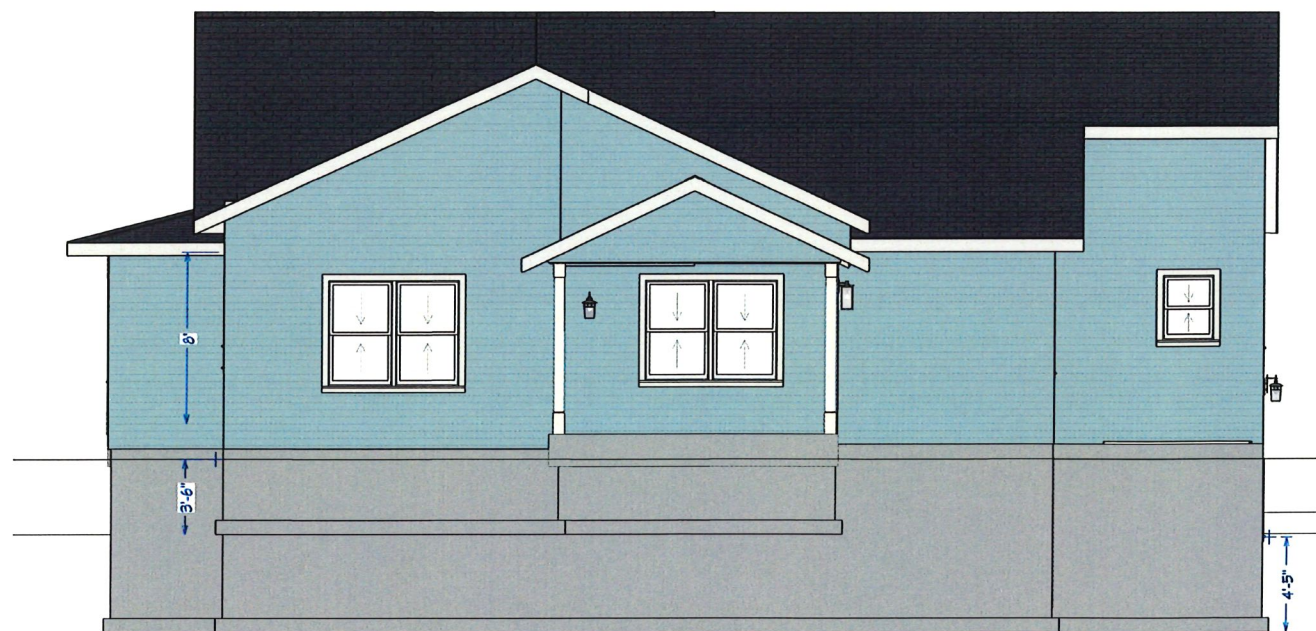
P - 2



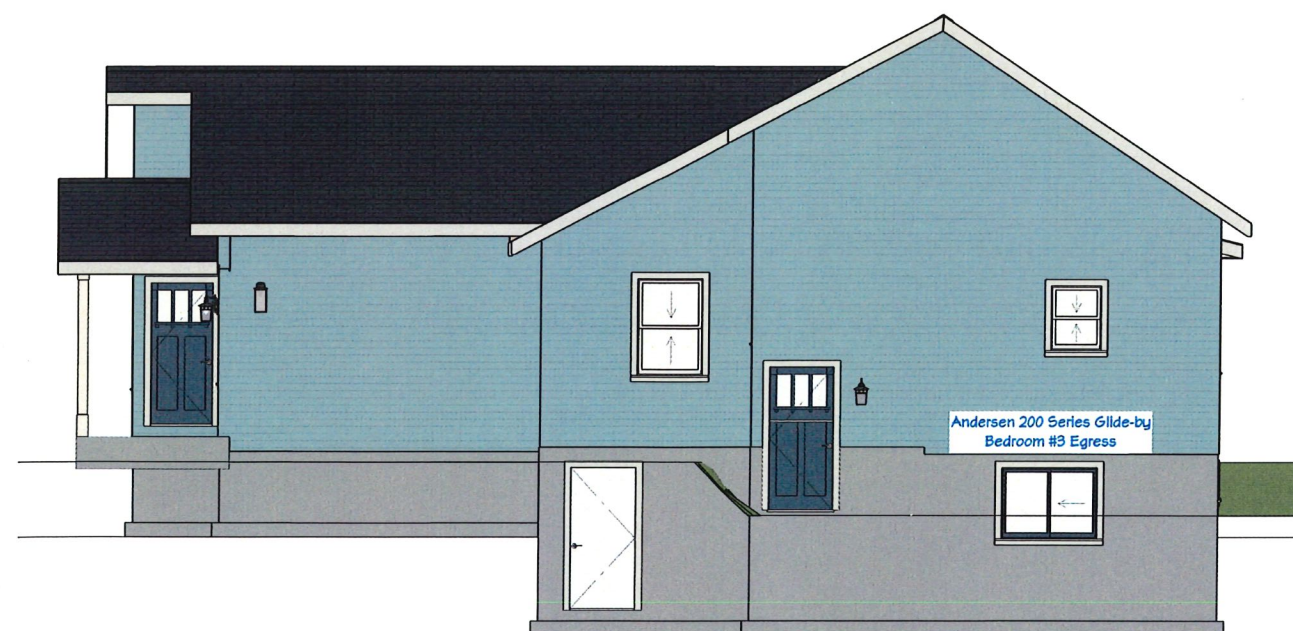
North Elevation (Columbus Ave)
3 Bdrm Left / 1 Bedroom Right



East Elevation (Backyard)
3 Bedroom



West Elevation (DeSpelder Ave)
1 Bedroom Center / 3 Bdrm L/R



South Elevation (Backyard)
1 Bedroom Left / 3 Bdrm Right

REVISION TABLE	
NUMBER	DESCRIPTION

20 N. DeSpelder
Grand Haven, MI 49417

DRAWINGS PROVIDED BY:
BruggerHouse Builders
626 Grand Haven, MI 49417

DATE:

4/20/2026

SCALE:

SHEET:

P-3

DATE: July 10, 2026
TO: City of Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: **Case 26-24:** Special Land Use – 1540 Marion Ave. Retaining Wall

Current Zoning: TI – Transitional Industrial
Existing Use: Vacant
Future Use: Retaining wall greater than 48 inches in height

1.0 Request

Jon Newmyer of *Polyply Composites* submitted a special land use request for the retaining wall located behind the new addition for PolyPly at 1540 Marion Ave. (parcel #70-03-27-154-002). The retaining wall is necessary for the fire access lane due to the natural slope and topography of the property.

2.0 Background

In April 2026, the Planning Commission approved PC Case 26-10 for the 33,000 sq. ft. addition to Polyply to expand their operations. A condition of approval was the retaining wall would require special land use per Sec. 40.327.A. Due to the natural topography, the fire access lane would require fill, and a steel pile retaining wall up to 14 ft. in height along the south and east property lines would need to be installed.

Since receiving approval for the site plan, the applicant has submitted a railing design acceptable to the Fire Marshal and Building Official, along with construction plans for the entire project. Furthermore, all stormwater and wetland impact permits required by Ottawa County WRC, EGLE and DPW were satisfied. The special land use approval is the final step for Polyply to commence construction.

3.0 Special Land Use Regulations & Conditions

Section 40-327.A of the Zoning Ordinance provides requirements for retaining walls and outlines provisions for administrative approvals and Planning Commission approvals.

4.0 Correspondence

As of the date of this memo, no correspondence has been received.

5.0 Sample motion

Motion to APPROVE PC Case 26-24, a special land use permit for a retaining wall that exceeds 48 inches in height at 1540 Marion Ave. (parcel #70-03-27-154-002), based on the information submitted for review.

Attachments

- A. Special Land Use application dated June 22, 2026
- B. Sec. 40-116.03 responses
- C. Site Plan and retaining wall details

SPECIAL LAND USE PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org

1. Project Information

Address/location of property: Polyply Composites 1540 Marion Grand Haven, MI (for Retaining Wall south of proposed expansion)

Parcel #: 70-03-27-154-002 & 70-03-27-315-102, -013, -015

Current Use: Industrial and vacant

Area in Acres or Sq. Ft.: 6

Zoning District: T1

Proposed Use: Retaining wall for addition to existing industrial building

Zoning of adjacent properties: I and T1

2. Applicant

Name: Attn: Jon Newmyer

Company: POLYPLY MARION, LLC

Address: 1540 MARION AVE

GRAND HAVEN, MI 49417

Phone: 231-286-8809

Email: jnewmyer@polyplycomposites.com

3. Property Owner

Name: POLYPLY MARION, LLC

Address: 19 INDUSTRIAL DR.

PACIFIC, MO 63069

Phone: c/o Jon Newmyer - 231-286-8809

Email: jnewmyer@polyplycomposites.com

4. Required Application Materials

- Application (PDF + 5 copies)
- Site Plan (PDF + 5 copies)
- Letter or signed narrative describing the proposed special land use and detailing why the location selected is appropriate. Narrative must include responses to the special land use review standards of Section 40-116.03 and the specific review standards of Article V of the Zoning Ordinance.
- Statement of expected effect of the special land use on emergency service requirements, schools, storm water systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes
- Additional information which may be necessary (i.e. soil erosion, dune protection, view protection, shoreline protection, excessive noise or adverse impact on surrounding properties).
- Supporting statements, evidence, data, information and exhibits that address the standards and requirements for assessing a Special Use permit application as provided in Section 40-116.03.
- Required fee

1. Fees and Escrow Deposit

Application Fee: \$350.00 (*any Site Plan Review is in addition to this review*)

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.



2. Details of the Nature of Work Proposed

Installation of a sheet pile retaining wall south and east of the proposed building expansion.

Height varies between 0.0' and 14' above existing grade. Approximately 350' long. See retaining wall application and attachments for material and installation information, guardrail, and site plan & elevations.

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: _____

Date: _____

Print Name: Jon Newmyer

Signature of Owner: _____

Date: _____

Print Name: _____

JON NEWMYER ON BEHALF OF THOMAS WHITE

Office Use Only

Case #: _____

Date Received: _____

Fee: _____

Date of Approval: _____

Date of Denial: _____

Approved by: _____



TO: Grand Haven Planning Commission
FROM: Polyply Composites
RE: Special Land Use Narrative - Retaining Wall over 48"
DATE: June 22, 2026

Dear Planning Commissioners,

This special use application is for the installation of a sheet pile retaining wall to support the building addition at Polyply Composites, 1540 Marion, Grand Haven, MI. Your April 2026 approval of the site plan for the expansion will allow a significant increase in manufacturing capacity, and we thank you for your support.

This retaining wall and special use application were discussed at the April meeting. The attached application and documents have been prepared alongside the storm water design and EGLE permitting submittals (referenced below).

As illustrated on the attached plan and elevations, this proposed retaining wall will provide earth retention on the south side of the proposed expansion, will provide fire access around the expansion, and will significantly reduce fill in the regulated wetland areas.

Since April, in preparation for this Special Use review, the following has occurred:

- An acceptable railing design was presented to the fire marshal and building department. It is shown on the attached plans and a detail is attached.
- Plan review by the Grand Haven Building Department has been completed and construction permits for the building are being processed.
- On 4/21/2026 a stormwater management plan and design documents were submitted to Ottawa County WRC and Grand Haven DPW for permit review. On May 27, and again on June 19, additional information was provided to the County's review engineer to facilitate their review and approval.
- On 4/27/2026 a Joint Permit Application was submitted to EGLE for impact to 0.059 acres of wetland impact. Additional information has been provided to agency staff. As of June 22, we are awaiting the public notice.
- Structural design for the wall was completed on June 10. The signed and sealed design documents are attached to this application.

The following responses to the zoning ordinances review standards have been prepared to facilitate your review and support a positive response to this Special Use request.

We trust that this information is sufficient for you to grant a Special Land Use Permit for a retaining wall over 48". Do not hesitate to contact us with any questions or if you require additional information.

Thank you.

The proposed special use meets the following requirements of Section 40-116.03 A:

A.1. The special use shall be consistent with the adopted City of Grand Haven Master Plan.

The proposed use, a retaining wall to support industrial expansion and fire access, is consistent with the following sections of the 2023 City of Grand Haven Master Plan:

Chapter 2; Water Assets, The Grand River and Chapter 2, Wetlands.

Approval of the proposed special use will allow the preservation of approximately 1/8 acre of regulated wetlands contiguous to the Grand River.

Chapter 7; Land Use and Development Patterns, Zoning.

The proposed special use allows appropriate expansion (as indicated by recent re-zoning and site plan approval) of the property owner's industrial use in this location. Building on the strengths of existing land use meets the Master Plan's stated central purpose of the 2007 zoning ordinance

"... to build on the strengths of the existing patterns of development in the City, while emphasizing the aesthetic and functional elements of the community. Another tenet of the ordinance was to minimize obstacles to rational and appropriate development in the City."

Chapter 12; Goals & Objectives; Employment & Economy; Goal 7a –

Approval of this proposed special use will allow continued and expanded use of an existing industrial use, rather than construction of a new building on a different site.

Chapter 13 -Future Land Use; Future Land Use Map

The map designates the affected parcels Industrial. The proposed special use will support the expansion of the existing industrial use.

Chapter 13 -Future Land Use; Future Land Use Descriptions, Industrial

The master plan states...

"...the primary objective of the designation is to provide areas for job-generating manufacturing, assembly, research and development uses, as well as contractor facilities and uses that may involve outdoor storage or yard operations."

and

"Adjoining the east side of the Beechtree corridor sub-area is an established industrial area. This area is characterized by smaller parcels and some of the existing structures may be nearing the end of their useful lives. Over the life of this plan, redevelopment is anticipated and desired in this area."

This proposed special use is consistent with these descriptions.

A.2. The special use shall be designed, constructed, operated, and maintained to be consistent with the existing or intended character of the general vicinity and such use will not change the essential character of the area in which it is proposed.

This special use is proposed to support the expansion of an existing industrial use, on appropriately zoned parcels, in an area of similar uses.

A.3. The special use shall not be hazardous or disturbing to existing or future uses in the same general vicinity and in the community as a whole.

The special use will be contained on private property and inaccessible to the public and will be built using methods and materials that will allow similar expansion on neighboring parcels.

A.4. The special use shall be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, stormwater drainage, refuse disposal, water and sewage facilities, and schools; or persons or agencies responsible for the establishment of the proposed use shall provide adequately for such services.

This proposed special use will provide appropriate fire protection and access to an approved industrial use. The special use will place no demand on any essential public facility or service. The use will be wholly contained on private property with access via a fire lane. The stormwater plan is currently under review by the city and county.

A.5. The special use shall not create excessive additional requirements at public cost for facilities and services and will not be detrimental to the economic welfare of the community.

This proposed special use will be constructed and maintained using private funds and will allow the retention and expansion of existing industry, which is beneficial to the community's economic welfare.

A.6. The special use shall not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to any person, property, or general welfare by reason of excessive production of traffic, noise, vibration, smoke, toxic emissions, fumes, glare, or odors.

This proposed special use will not generate or produce any of the above. The wall will be used to retain earth and provide fire access to support the expansion of an existing, permitted use.

A.7. The special use shall meet the intent and purpose of the zoning ordinance; be related to the standards established in the ordinance for the land use or activity under consideration; and will be in compliance with these standards.

This special use is proposed to support the expansion of an existing business, on appropriately zoned parcels, in an area of similar uses, and in accordance with the zoning ordinance and an approved site plan.

A.8. The special use shall comply with the City of Grand Haven Code of Ordinances, as amended, including but not limited to chapter 23, nuisances, as well as any applicable state and federal laws.

The owner will be responsible for complying with all applicable local, state, and federal laws, as well as meeting local property maintenance standards related to the Special Use, with the following exception

City of Grand Haven, Chapter 23 NUISANCES, Sec 23-2 (1)

... All grass that is not cut to a height of less than six (6) inches;

The base of the proposed wall is a natural riparian area. Vegetation in riparian areas, including sedges, rushes, woody plants and grasses will not be maintained to any specified height.

Other required application materials

Statement of expected effect of the special land use on emergency service requirements, schools, storm water systems, sanitary sewer facilities, automobile and truck circulation patterns and local traffic volumes

This proposed special use will enable appropriate fire protection and access to an approved industrial use.

There is no expected effect on the other listed public services. Sanitary sewer is not required. The stormwater plan currently under review by the city and county is independent of the MS4 system.

The proposed special use will generate no traffic – it's proposed to support building expansion (a permitted use) and fire access

Additional information which may be necessary...

A Joint Permit Application is currently under review at EGLE. Construction will be subject to all applicable state and local permits.

Supporting Information

As attached

RETAINING WALL PERMIT APPLICATION

Planning Department, City of Grand Haven
519 Washington Avenue, Grand Haven, MI 49417
Phone: (616) 935-3276 Email: zoningpermits@grandhaven.org

JOB ADDRESS _____ DATE _____

OWNER'S NAME _____ TELEPHONE # _____

OWNER'S ADDRESS _____

EMAIL: _____

CONTRACTOR'S NAME _____ TELEPHONE # _____

CONTRACTOR'S ADDRESS _____

EMAIL: _____

DESCRIBE RETAINING WALL (Height(s), Type, Location) _____

REQUIREMENTS

- ☐ **Site Plan Drawing** of the lot showing all buildings, lot lines, the location of the street or streets, where the Retaining Wall will be installed, and existing and proposed drainage patterns shall be submitted with this application.
- ☐ **Retaining Wall Detail** showing the proposed height(s) and material of the Retaining Wall.
- ☐ **Permit** will be issued only after receipt of all required paperwork and after a proper plan review is completed by the zoning administrator.
- ☐ **Permit fee: \$50.00**

By signing below, applicant agrees to perform the described work in accordance with all applicable sections of the City of Grand Haven Code of Ordinances. *Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.*

SIGNATURE Kaylon Ledford 6/18/26

☐ Contractor ☐ Owner ☐ Agent

Office Use Only

Permit #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Approved by: _____



THE KING CO., INC.

13520 Barry Street
HOLLAND, MICHIGAN 49424
Phone: (616) 399-1784
FAX: (616) 399-0773



DATE: 6-8-26

PROJECT: POLYPLY GRAND HAVEN

TO: MIDWEST CONSTRUCTION

FROM: DAVID HERWEYER, P.E.

RE: PERMANENT SSP SYSTEM

Please refer to the attached proposed details of the proposed sheet pile section and sealant.

We propose the following:

A. Z75 - SSP

- Z75 SSP x 20-feet long minimum

B. Additional Information

1. The alignment of the sheet piling will be as proposed in the plans. The sheet piling will be driven to the grades as noted on the plans.
2. A driving template will be used consisting of a network of steel HP12x53 beams and pin piles. This is ensure the SSP alignment is a close as possible to the plan locations.
3. If an obstruction is encountered during piling installation, it is proposed that the obstruction will be removed by an excavator.
4. A HC80 Terex lattice boom crane will be used for installation. An HM-800 vibratory hammer will be used to install the sheets to the proper tip elevation.
5. A cold rolled channel cap will be welded to the top of the Z75 SSP.

C. Design Data

1. The sheet piling proposed meets the minimum specifications as shown in the drawings.

D. Welder Certifications/NCCO Operator Certifications

E. Sequence of Work

- The equipment and material will be delivered and unloaded with coordination to the site.
- A HP12x53 waler template will be installed and used to keep the sheet piling plumb vertically and in alignment with the proposed required alignment.

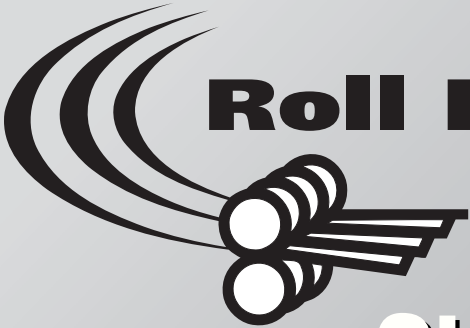
THE KING CO., INC.

13520 Barry Street
HOLLAND, MICHIGAN 49424
Phone: (616) 399-1784
FAX: (616) 399-0773



- After layout confirmation, the Z75 sheet piling will be installed with an HM-800 vibratory hammer to grade.
- Steel sheet piles will be set in a line and driven to grade after the alignment is set. This sequence will be based upon the soil conditions encountered and per the Superintendents direction.
- All Z75 sheet piling will be driven to grade and removed after work completion

Please contact me directly with questions.

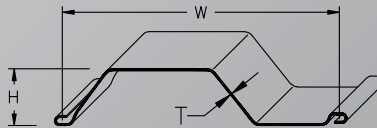


Roll Form Group

a division of 

SHEET PILING

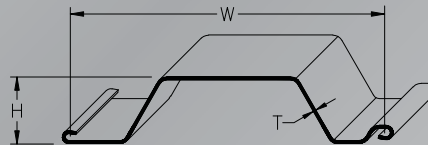
"L" SERIES



NOTE: METRIC VALUES IN BRACKETS

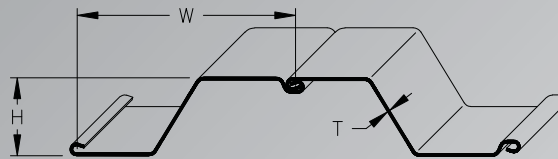
Section	Thickness T in (mm)	Height H in (mm)	Nominal Width W in (mm)	Section Area in ² (cm) ²	Weight lbs/lin ft. (kg/lin m)	Weight lbs/ft ² (kg/m ²)	Moment of Inertia in ⁴ /wall ft (cm ⁴ /wall m)	Radius of Gyration in (mm)	Section Modulus in ³ /wall ft (cm ³ /wall m)
L34	.134 (3.4)	4.10 (104)	19.7 (500)	3.58 (23.1)	12.5 (18.6)	7.62 (37.2)	5.89 (806)	1.64 (41.9)	2.77 (149)
L41	.164 (4.1)	4.12 (105)	19.7 (500)	4.39 (28.3)	15.0 (22.4)	9.17 (44.7)	7.02 (961)	1.64 (41.9)	3.30 (178)
L45	.177 (4.5)	4.13 (105)	19.7 (500)	4.47 (30.6)	16.2 (24.1)	9.90 (48.1)	7.69 (1050)	1.64 (41.9)	3.62 (195)
L50	.197 (5.0)	4.15 (106)	19.7 (500)	5.29 (34.1)	18.9 (28.2)	11.5 (56.3)	9.82 (1340)	1.74 (44.2)	4.14 (223)
L60	.236 (6.0)	4.18 (106)	19.7 (500)	6.37 (41.1)	22.3 (33.1)	13.6 (66.1)	11.8 (1610)	1.74 (44.2)	4.97 (268)
L65	.256 (6.5)	4.20 (107)	19.7 (500)	6.90 (44.5)	24.1 (35.8)	14.7 (71.6)	12.8 (1750)	1.74 (44.2)	5.38 (290)

"S" SERIES



Section	Thickness T in (mm)	Height H in (mm)	Nominal Width W in (mm)	Section Area in ² (cm) ²	Weight lbs/lin ft. (kg/lin m)	Weight lbs/ft ² (kg/m ²)	Moment of Inertia in ⁴ /wall ft (cm ⁴ /wall m)	Radius of Gyration in (mm)	Section Modulus in ³ /wall ft (cm ³ /wall m)
S64	.250 (6.35)	5.91 (150)	27.75 (705)	9.97 (64.4)	33.9 (50.4)	14.7 (71.7)	24.0 (3280)	2.36 (59.9)	7.89 (424)
S80	.313 (8.00)	5.97 (152)	27.75 (705)	12.36 (79.7)	42.1 (62.6)	18.2 (88.8)	30.0 (4100)	2.37 (60.0)	9.82 (528)

"Z" SERIES



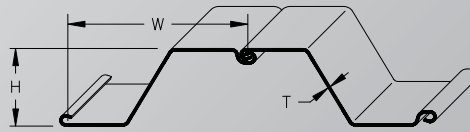
Section	Thickness T in (mm)	Height H in (mm)	Nominal Width W in (mm)	Section Area in ² (cm) ²	Weight lbs/lin ft. (kg/lin m)	Weight lbs/ft ² (kg/m ²)	Moment of Inertia in ⁴ /wall ft (cm ⁴ /wall m)	Radius of Gyration in (mm)	Section Modulus in ³ /wall ft (cm ³ /wall m)
Z55	.217 (5.50)	8.64 (219)	24.0 (610)	7.57 (48.8)	25.8 (38.4)	12.9 (63.0)	49.7 (6790)	3.61 (91.7)	11.4 (613)
Z60	.236 (6.00)	8.66 (220)	24.0 (610)	8.26 (53.3)	28.2 (42.0)	14.1 (68.8)	54.2 (7400)	3.62 (91.9)	12.4 (667)
Z65	.256 (6.50)	8.68 (220)	24.0 (610)	8.95 (57.7)	30.6 (45.5)	15.3 (74.7)	58.7 (8010)	3.62 (91.9)	13.4 (720)
Z70	.276 (7.00)	8.70 (221)	24.0 (610)	9.64 (62.2)	33.0 (49.1)	16.5 (80.6)	63.2 (8630)	3.62 (91.9)	14.4 (774)
Z75	.295 (7.50)	8.72 (221)	24.0 (610)	10.3 (66.5)	35.2 (52.4)	17.6 (85.9)	67.7 (9250)	3.63 (92.2)	15.6 (839)

SHEET PILING SPECIFICATIONS

"L" SERIES - ASTM A857 minimum yield strength 36,000 psi • CSA G40.21 Gr.260W minimum yield strength 260 MPa or 37,700 psi • Hot dip galvanizing to ASTM A 123 or CSA G164.

"S" SERIES, "Z" SERIES, "EZ" SERIES, "XZ" SERIES & "JZ" SERIES - ASTM A328 minimum yield strength 38,500 psi • ASTM 572 Gr.50 minimum yield strength 50,000 psi • CSA G40.21 Gr.350W minimum yield strength 350 MPa or 50,800 psi • Hot dip galvanizing to ASTM A 123 or CSA G164.

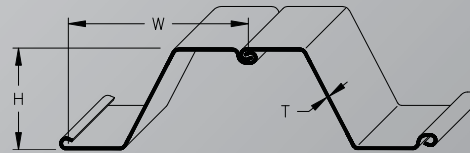
"EZ" SERIES



NOTE: METRIC VALUES IN BRACKETS

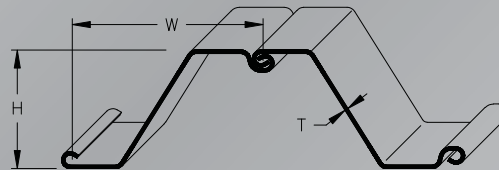
Section	Thickness T in (mm)	Height H in (mm)	Nominal Width W in (mm)	Section Area in ² (cm) ²	Weight lbs/lin ft. (kg/lin m)	Weight lbs/ft ² (kg/m ²)	Moment of Inertia in ⁴ /wall ft (cm ⁴ /wall m)	Radius of Gyration in (mm)	Section Modulus in ³ /wall ft (cm ³ /wall m)
EZ80	.315 (8.00)	10.75 (273)	25.0 (635)	12.1 (77.9)	41.1 (61.2)	19.8 (96.4)	110 (15000)	4.35 (110)	20.5 (1100)
EZ88	.344 (8.75)	10.78 (274)	25.0 (635)	13.2 (85.1)	44.9 (66.8)	21.6 (105)	121 (16500)	4.36 (111)	22.4 (1200)
EZ95	.375 (9.50)	10.81 (275)	25.0 (635)	14.4 (92.7)	48.9 (72.8)	23.5 (115)	131 (17900)	4.36 (111)	24.4 (1310)

"XZ" SERIES



Section	Thickness T in (mm)	Height H in (mm)	Nominal Width W in (mm)	Section Area in ² (cm) ²	Weight lbs/lin ft. (kg/lin m)	Weight lbs/ft ² (kg/m ²)	Moment of Inertia in ⁴ /wall ft (cm ⁴ /wall m)	Radius of Gyration in (mm)	Section Modulus in ³ /wall ft (cm ³ /wall m)
XZ85	.335 (8.50)	14.06 (357)	25.0 (635)	13.6 (87.9)	46.4 (69.0)	22.3 (109)	212 (29000)	5.70 (145)	30.2 (1630)
XZ90	.354 (9.00)	14.09 (358)	25.0 (635)	14.4 (93.0)	48.9 (72.7)	23.5 (115)	225 (30800)	5.70 (145)	31.8 (1710)
XZ95	.375 (9.50)	14.12 (359)	25.0 (635)	15.2 (98.2)	51.7 (76.9)	24.8 (121)	237 (32400)	5.70 (145)	33.5 (1800)
XZ100	.394 (10.0)	14.15 (360)	25.0 (635)	15.9 (103.0)	54.2 (80.7)	26.0 (127)	250 (34200)	5.70 (145)	35.3 (1900)
XZ105	.413 (10.5)	14.17 (360)	25.0 (635)	16.7 (108.0)	56.9 (84.7)	27.3 (133)	263 (35900)	5.70 (145)	37.1 (2000)

"JZ" SERIES

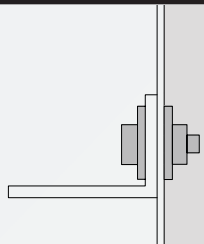


Section	Thickness T in (mm)	Height H in (mm)	Nominal Width W in (mm)	Section Area in ² (cm) ²	Weight lbs/lin ft. (kg/lin m)	Weight lbs/ft ² (kg/m ²)	Moment of Inertia in ⁴ /wall ft (cm ⁴ /wall m)	Radius of Gyration in (mm)	Section Modulus in ³ /wall ft (cm ³ /wall m)
JZ112	.441 (11.2)	16.44 (418)	26.5 (673)	20.1 (129.7)	68.2 (101)	30.9 (151)	374 (51100)	6.41 (163)	45.3 (2430)
JZ120	.472 (12.0)	16.47 (418)	26.5 (673)	21.5 (138.7)	73.0 (109)	33.0 (161)	401 (54700)	6.41 (163)	48.5 (2610)
JZ127	.500 (12.7)	16.50 (419)	26.5 (673)	22.7 (146.5)	77.3 (115)	35.0 (171)	424 (57900)	6.42 (163)	51.4 (2760)

ACCESSORIES

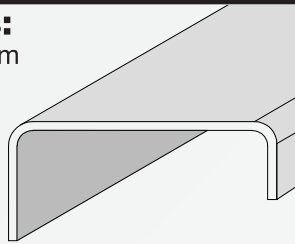
Walers:

available in various shapes and sizes.



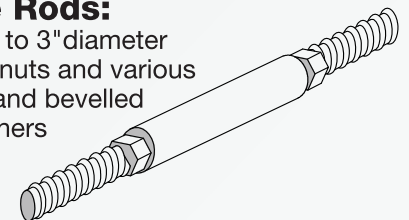
Pile Caps:

various custom designed shapes and sizes.



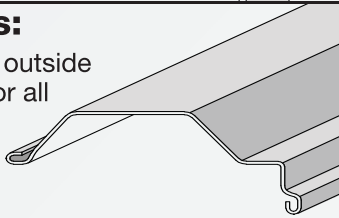
Tie Rods:

3/4" to 3" diameter c/w nuts and various flat and bevelled washers



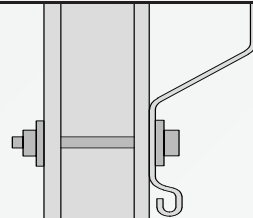
Corners:

inside and outside available for all profiles.



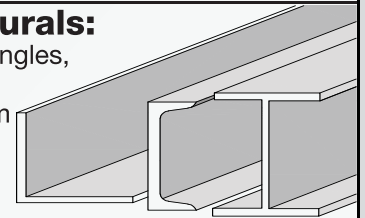
Fasteners:

a full range of bolts, nuts and plate washers.



Structurals:

various angles, channels and beam shapes.



SUITE 100 - 6701 FINANCIAL DRIVE,
MISSISSAUGA, ON L5N 7J7
PHONE: (905) 270-5300
TOLL FREE: 1-800-233-6228
FAX: (905) 593-3489

26 COUNTY ROAD 351,
LUKA, MISSISSIPPI 38852
PHONE: (662) 424- 1460
TOLL FREE: 1-866-285-7655
FAX: (662) 424-0314

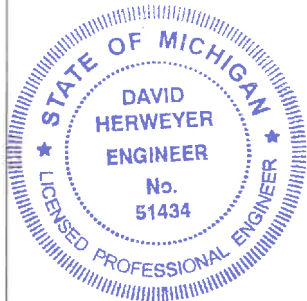


945 CENTER STREET,
GREEN COVE SPRINGS, FLORIDA 32043
PHONE: (904) 287-8000
FAX: (904) 529-7757

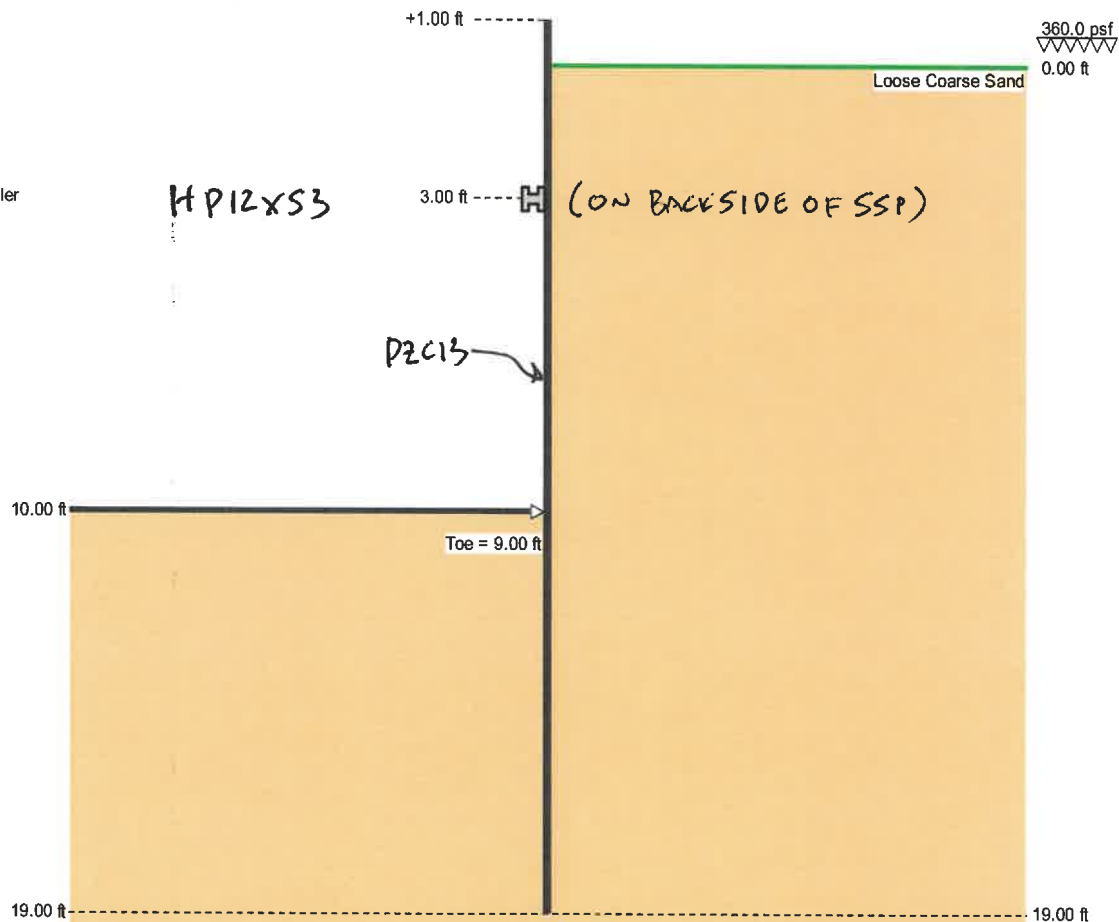
Client: MIDWEST CONSTRUCTION
Title: POLYPLY GRAND HAVEN
Designer: DWH
Page: 1
Date: 6.10.26

Sheet: Z75
Pressure: Rankine
FOS: 17.5
Toe: Fixed Earth Support

PROJECT CONSISTS OF THE
INSTALLATION OF Z75 SSP X 20-FEET
LONG DESIGNED FOR A MAXIMUM
RETAINED HEIGHT OF 10 FEET.
THE Z75 SSP WILL BE TIED BACK TO A
HP12X53 INTERNAL WALER WITH NO. 8
WILLIAMS BAR TO DEADMEN SPACED
AT 20-FEET.



Water



THE KING CO., INC.

13520 BARRY ST. HOLLAND MI 49424
Tel: 616-836-6551
Email: DAVE@KINGCO.US

SPW911, v2.40

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Email: pilebuck@pilebuck.com
Web: www.pilebuck.com

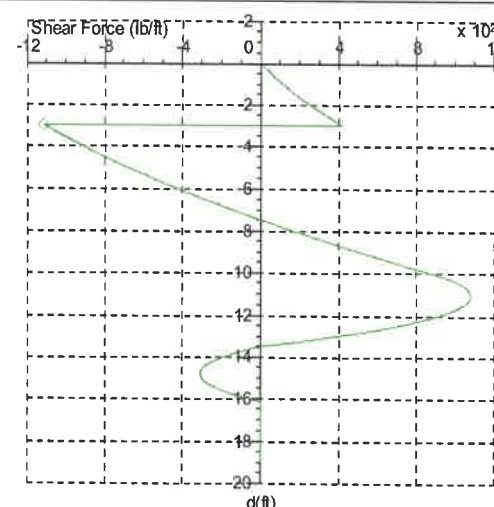
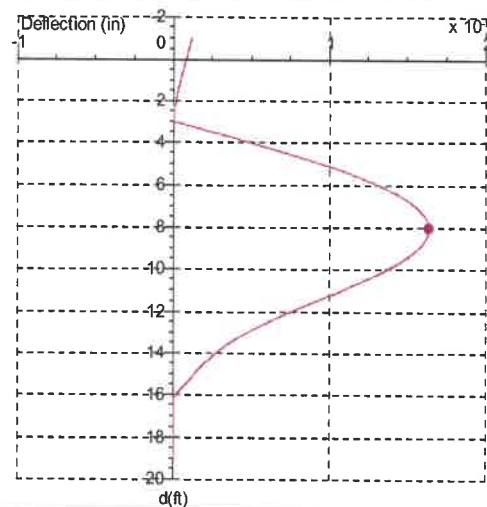
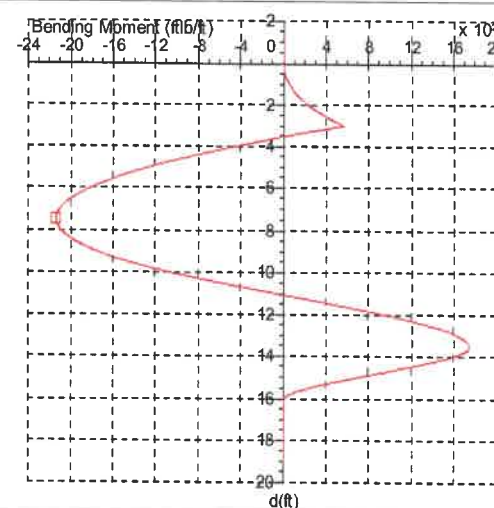
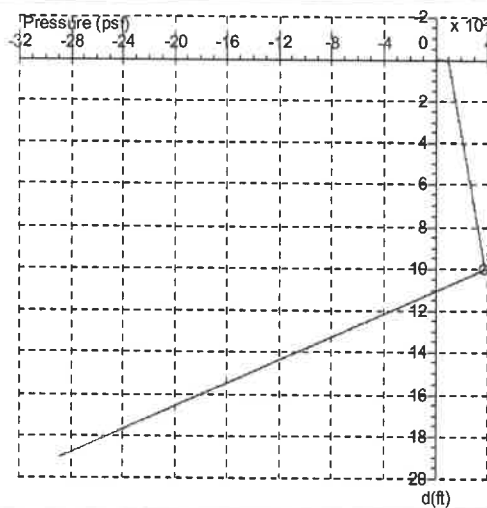
Client: MIDWEST CONSTRUCTION	Input Data											
Title: POLYPLY GRAND HAVEN	Depth Of Excavation = 10.00 ft		Depth Of Active Water = 30.00 ft		Water Density = 62.43 pcf							
Designer: DWH	Surcharge = 360.0 psf		Depth Of Passive Water = 30.00 ft		Minimum Fluid Density = 31.82 pcf							
Page: 2												
Date: 6.10.26												
Sheet: Z75	Soil Profile											
Pressure: Rankine	Depth (ft)	Soil Name	γ (pcf)	γ' (pcf)	C (psf)	C_a (psf)	ϕ (°)	δ (°)	K_a	K_{ac}	K_p	K_{pc}
FOS: 17.5	0.00	Loose Coarse Sand	106.28	68.73	0.0	0.0	35.0	0.0	0.27	0.00	3.69	0.00
Toe: Fixed Earth Support	Solution											
PROJECT CONSISTS OF THE INSTALLATION OF Z75 SSP X 20- FEET LONG DESIGNED FOR A MAXIMUM RETAINED HEIGHT OF 10 FEET. THE Z75 SSP WILL BE TIED BACK TO A HP12X53 INTERNAL WALER WITH NO. 8 WILLIAMS BAR TO DEADMEN SPACED AT 20- FEET.	Sheet											
	Sheet Name	I (in ⁴ /ft)	E (psi)	Z (in ³ /ft)	f (psi)	Maximum Bending Moment (ftlb/ft)	Upstand (ft)	Toe (ft)	Pile Length (ft)			
	Z75	84.70	3.04E+07	18.40	24970.3	38287.7	1.00	9.00	20.00			
	Load Model: Area Distribution											
	Supports											
	Depth (ft)	Type	Linear Load (lb/ft)									
	3.00	Waler	1531.4									
	Maxima											
		Maximum	Depth									
	Bending Moment	2134.1 ftlb/ft	7.48 ft									
Deflection	0.0 in	8.07 ft										
Pressure	384.2 psf	10.00 ft										
Shear Force	1108.3 lb/ft	3.00 ft										
THE KING CO., INC. 13520 BARRY ST. HOLLAND MI 49424 Tel: 616-836-6551 Email: DAVE@KINGCO.US SPW911, v2.40  © 2001 - 2007, Pile Buck®, Inc. Email: pilebuck@pilebuck.com Web: www.pilebuck.com												

Client: MIDWEST CONSTRUCTION
 Title: POLYPLY GRAND HAVEN
 Designer: DWH
 Page: 3
 Date: 6.10.26

Sheet: Z75
 Pressure: Rankine
 FOS: 17.5
 Toe: Fixed Earth Support

	Maximum	d (ft)
○	384.2 psf	10.00
□	2134.1 ftlb/ft	7.48
◇	1108.3 lb/ft	3.00
●	0.0 in	8.07

PROJECT CONSISTS OF THE
 INSTALLATION OF Z75 SSP X 20-FEET
 LONG DESIGNED FOR A MAXIMUM
 RETAINED HEIGHT OF 10 FEET.
 THE Z75 SSP WILL BE TIED BACK TO A
 HP12X53 INTERNAL WALER WITH NO. 8
 WILLIAMS BAR TO DEADMEN SPACED
 AT 20-FEET.



THE KING CO., INC.

13520 BARRY ST. HOLLAND MI 49424
 Tel: 616-836-6551
 Email: DAVE@KINGCO.US

SPW911, v2.40

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 Email: pilebuck@pilebuck.com
 Web: www.pilebuck.com

Client: MIDWEST CONSTRUCTION																			
Title: POLYPLY GRAND HAVEN																			
Designer: DWH																			
Page: 4																			
Date: 6.10.26																			
Sheet: Z75																			
Pressure: Rankine																			
FOS: 17.5																			
Toe: Fixed Earth Support																			
PROJECT CONSISTS OF THE INSTALLATION OF Z75 SSP X 20-FEET LONG DESIGNED FOR A MAXIMUM RETAINED HEIGHT OF 10 FEET. THE Z75 SSP WILL BE TIED BACK TO A HP12X53 INTERNAL WALER WITH NO. 8 WILLIAMS BAR TO DEADMEN SPACED AT 20-FEET.																			
depth (ft)	P (psf)	M (ftlb/ft)	D (in)	F (lb/ft)		depth (ft)	P (psf)	M (ftlb/ft)	D (in)	F (lb/ft)		depth (ft)	P (psf)	M (ftlb/ft)	D (in)	F (lb/ft)			
0.00	97.2	-0.1	0.0	1.6		6.39	280.9	-1957.4	0.0	-318.5		12.78	-627.5	1544.2	0.0	542.8			
0.17	102.5	1.7	0.0	20.0		6.56	285.6	-2006.9	0.0	-271.2		12.95	-688.1	1626.3	0.0	433.6			
0.34	107.2	6.4	0.0	37.5		6.73	290.4	-2048.5	0.0	-223.2		13.12	-748.7	1689.5	0.0	314.4			
0.50	112.0	14.0	0.0	55.8		6.89	295.2	-2082.1	0.0	-174.4		13.28	-809.3	1732.1	0.0	185.1			
0.67	116.8	24.7	0.0	74.9		7.06	300.0	-2107.4	0.0	-124.7		13.45	-875.9	1753.3	0.0	31.2			
0.84	121.6	38.6	0.0	94.8		7.23	304.8	-2124.5	0.0	-74.3		13.62	-936.5	1742.2	0.0	-59.8			
1.01	126.4	56.0	0.0	115.5		7.40	309.6	-2133.0	0.0	-23.1		13.79	-997.1	1692.7	0.0	-125.4			
1.18	131.2	76.8	0.0	137.0		7.57	314.3	-2133.0	0.0	29.0		13.96	-1057.7	1609.6	0.0	-180.9			
1.35	135.9	101.3	0.0	159.3		7.73	319.6	-2122.9	0.0	87.1		14.12	-1118.2	1498.6	0.0	-226.4			
1.51	140.7	129.6	0.0	182.4		7.90	324.4	-2104.4	0.0	140.8		14.29	-1178.8	1365.1	0.0	-261.7			
1.68	145.5	161.8	0.0	206.3		8.07	329.2	-2077.0	0.0	195.3		14.46	-1239.4	1214.7	0.0	-286.9			
1.85	150.3	198.0	0.0	231.0		8.24	333.9	-2004.4	0.0	250.6		14.63	-1300.0	1053.0	0.0	-302.1			
2.02	155.5	242.7	0.0	259.1		8.41	338.7	-1994.7	0.0	306.7		14.80	-1360.6	885.4	0.0	-307.1			
2.19	160.3	287.8	0.0	285.4		8.58	343.5	-1939.5	0.0	363.6		14.96	-1421.1	717.5	0.0	-302.1			
2.35	165.1	337.4	0.0	312.6		8.74	348.3	-1874.9	0.0	421.3		15.13	-1481.7	554.9	0.0	-286.9			
2.52	169.9	391.6	0.0	340.5		8.91	353.1	-1800.6	0.0	479.8		15.30	-1548.4	388.8	0.0	-258.6			
2.69	174.7	450.5	0.0	369.3		9.08	357.9	-1716.6	0.0	539.1		15.47	-1608.9	255.3	0.0	-222.3			
2.86	179.5	514.3	0.0	398.8		9.25	362.6	-1622.7	0.0	599.2		15.64	-1669.5	144.3	0.0	-175.8			
3.03	184.2	531.9	0.0	-1102.2		9.42	367.4	-1518.7	0.0	660.0		15.81	-1730.1	61.2	0.0	-119.3			
3.19	189.0	350.5	0.0	-1071.1		9.58	372.7	-1392.6	0.0	727.9		15.97	-1790.7	11.7	0.0	-52.7			
3.36	193.8	174.4	0.0	-1039.1		9.75	377.5	-1267.2	0.0	790.5		16.14	-1851.3	0.0	0.0	0.0			
3.53	198.6	3.6	0.0	-1006.4		9.92	382.2	-1131.3	0.0	853.8		16.31	-1911.8	0.0	0.0	0.0			
3.70	203.4	-161.6	0.0	-972.8		10.09	347.8	-984.9	0.0	915.8		16.48	-1972.4	0.0	0.0	0.0			
3.87	208.6	-336.8	0.0	-935.0		10.26	287.2	-828.8	0.0	968.2		16.65	-2033.0	0.0	0.0	0.0			
4.04	213.4	-490.0	0.0	-899.8		10.42	226.6	-664.9	0.0	1010.5		16.81	-2093.6	0.0	0.0	0.0			
4.20	218.2	-637.3	0.0	-863.8		10.59	166.1	-494.6	0.0	1042.7		16.98	-2154.2	0.0	0.0	0.0			
4.37	223.0	-778.5	0.0	-827.0		10.76	105.5	-319.8	0.0	1064.9		17.15	-2220.8	0.0	0.0	0.0			
4.54	227.8	-913.5	0.0	-789.4		10.93	44.9	-142.1	0.0	1076.9		17.32	-2281.4	0.0	0.0	0.0			
4.71	232.6	-1042.2	0.0	-751.0		11.10	-15.7	36.9	0.0	1079.0		17.49	-2342.0	0.0	0.0	0.0			
4.88	237.3	-1164.5	0.0	-711.8		11.27	-76.3	215.6	0.0	1071.9		17.65	-2402.6	0.0	0.0	0.0			
5.04	242.1	-1280.1	0.0	-671.8		11.43	-142.9	409.8	0.0	1052.3		17.82	-2463.1	0.0	0.0	0.0			
5.21	246.9	-1389.0	0.0	-631.0		11.60	-203.5	582.4	0.0	1024.0		17.99	-2523.7	0.0	0.0	0.0			
5.38	251.7	-1491.1	0.0	-589.4		11.77	-264.1	749.6	0.0	985.5		18.16	-2584.3	0.0	0.0	0.0			
5.55	256.5	-1586.2	0.0	-547.0		11.94	-324.6	909.7	0.0	937.0		18.33	-2644.9	0.0	0.0	0.0			
5.72	261.7	-1682.5	0.0	-499.5		12.11	-385.2	1060.9	0.0	878.3		18.50	-2705.5	0.0	0.0	0.0			
5.88	266.5	-1762.5	0.0	-455.4		12.27	-445.8	1201.6	0.0	809.6		18.66	-2766.0	0.0	0.0	0.0			
6.05	271.3	-1835.0	0.0	-410.6		12.44	-506.4	1330.2	0.0	730.7		18.83	-2826.6	0.0	0.0	0.0			
6.22	276.1	-1900.0	0.0	-364.9		12.61	-567.0	1445.0	0.0	641.8		19.00	-2887.2	0.0	0.0	0.0			

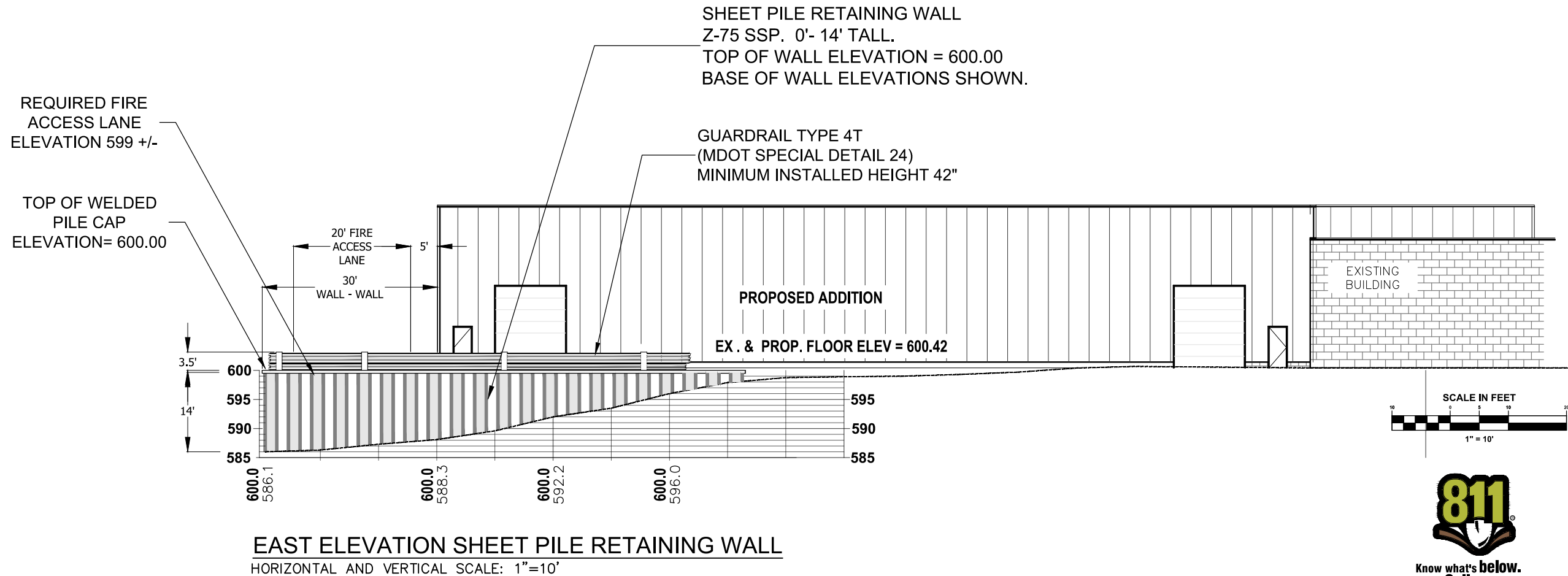
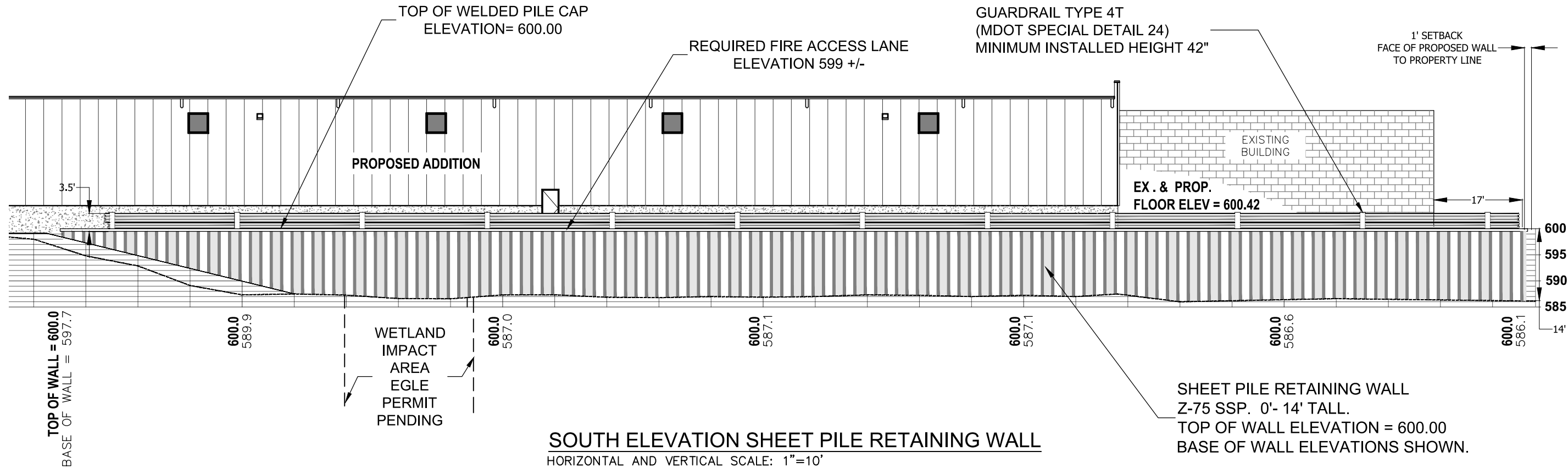
THE KING CO., INC.

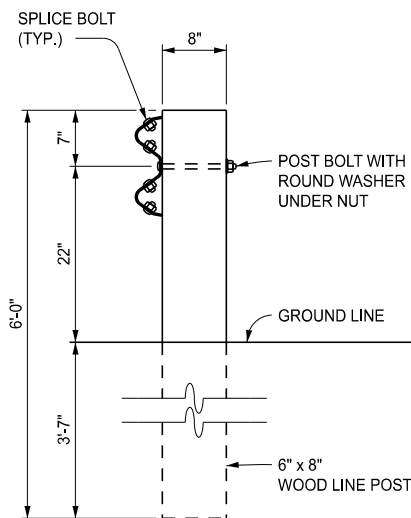
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SPW911, v2.40

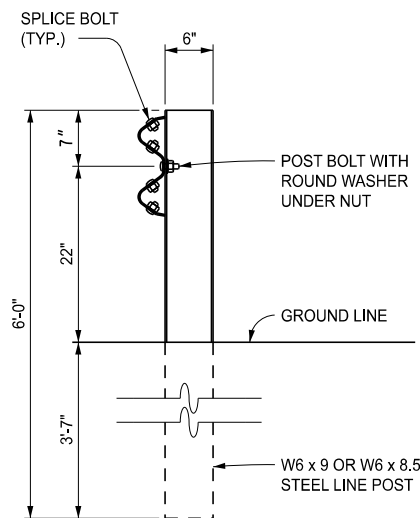
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C:\PROJECTS\2025-0296 MIDWEST CONSTRUCTION GROUP - POLYPLY MARION ST GRAND HAVEN\20 CIVIL\24 CAD\PLANS\25-0296 03 WALL EXHIBIT_LFT.DWG WALL DETAIL (2) STEVE CZADZECK 6.18.2026 10:00 AM

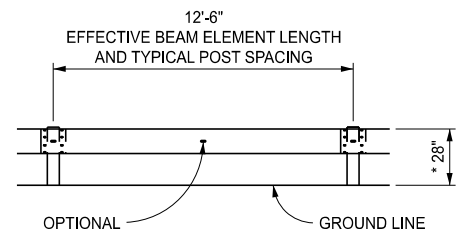




WOOD POST



STEEL POST



ELEVATION SHOWING POST SPACING

* SEE NOTES FOR GUARDRAIL IN CONJUNCTION WITH CURB

GUARDRAIL, TYPE A

APPROVED BY: _____
DIRECTOR, BUREAU OF FIELD SERVICES

APPROVED BY: _____
DIRECTOR, BUREAU OF DEVELOPMENT



DEPARTMENT DIRECTOR
BRADLEY C. WIEFERICH, PE

STANDARD PLAN FOR

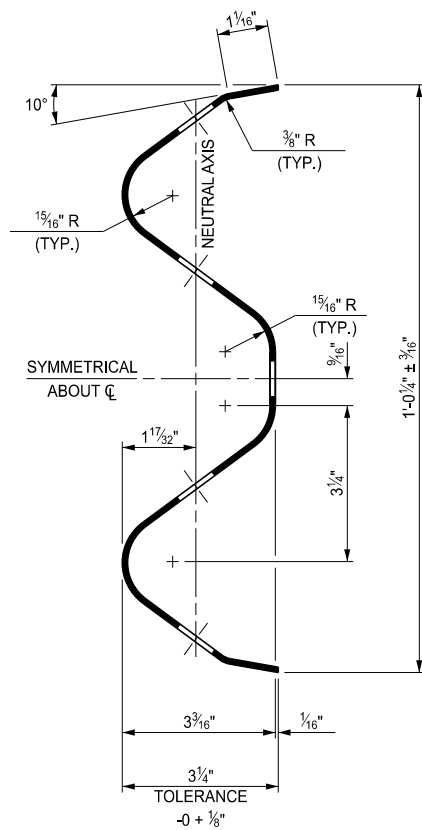
GUARDRAIL, TYPES A, B, BD, T, TD, MGS-8, & MGS-8D

(SPECIAL DETAIL)
FHWA APPROVAL

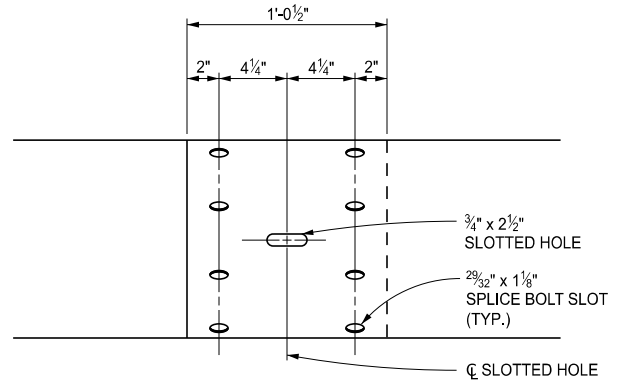
01/29/2024
PLAN DATE

R-60-J

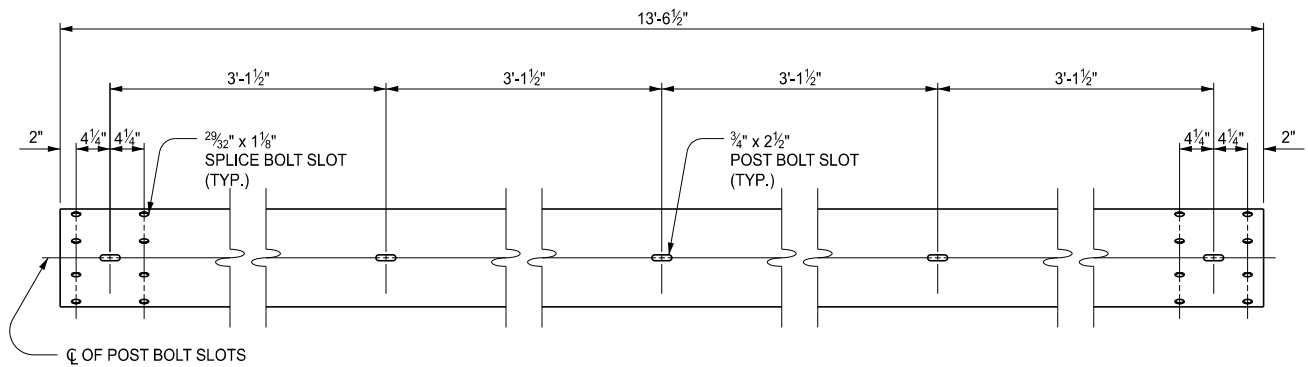
SHEET
1 OF 16



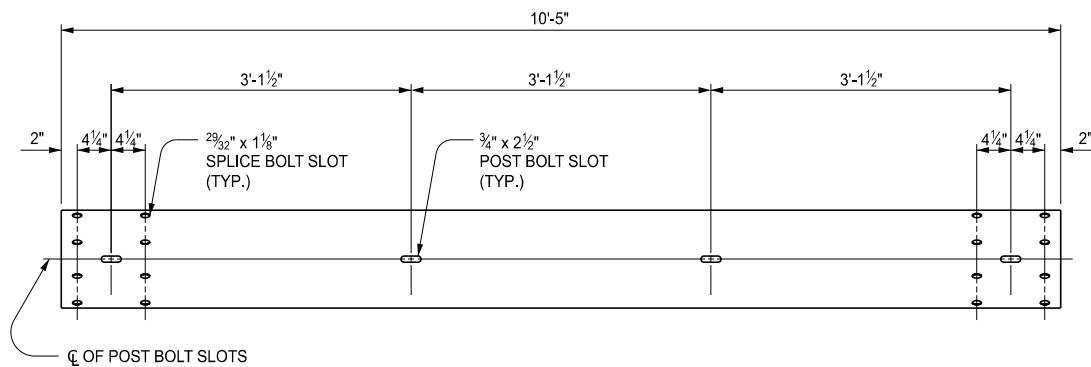
SECTION THROUGH BEAM ELEMENT



BEAM ELEMENT SPLICE DETAILS



FRONT ELEVATION OF BEAM ELEMENT



FRONT ELEVATION OF MGS (9'-4 1/2") BEAM ELEMENT



DEPARTMENT DIRECTOR
BRADLEY C. WIEFERICH, PE

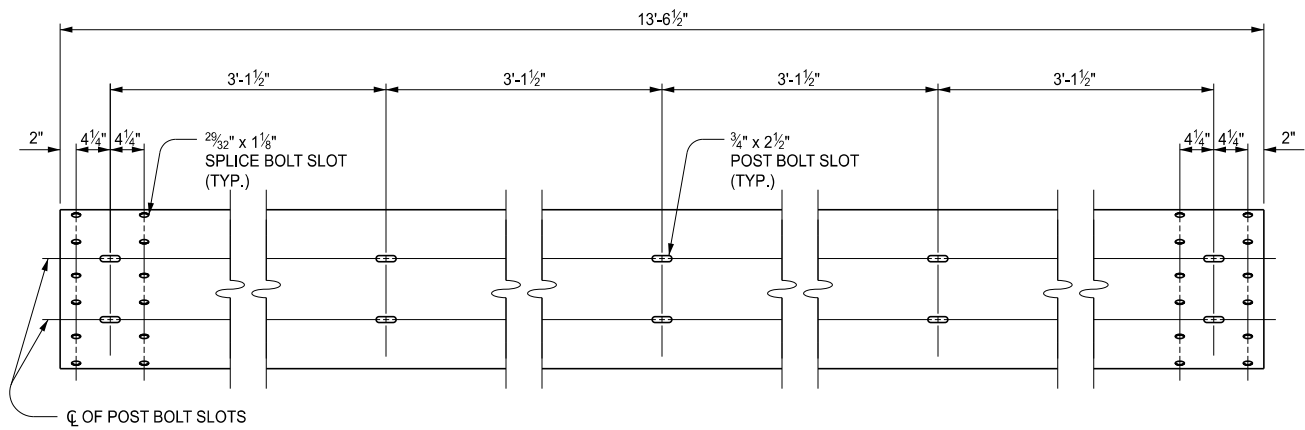
STANDARD PLAN FOR
GUARDRAIL, TYPES A, B, BD, T, TD, MGS-8, & MGS-8D

(SPECIAL DETAIL)
FHWA APPROVAL

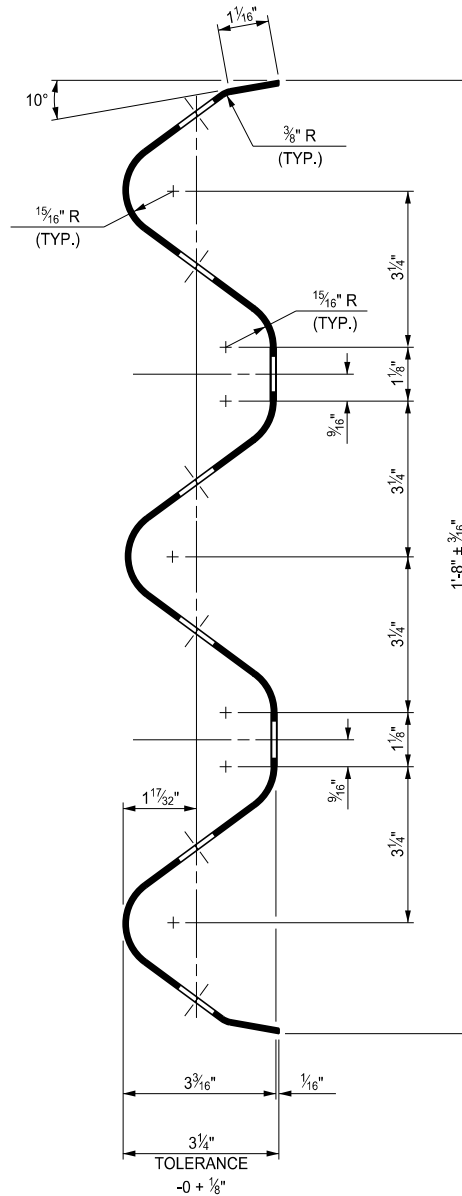
01/29/2024
PLAN DATE

R-60-J

SHEET
11 OF 16



FRONT ELEVATION OF THRIE BEAM ELEMENT



SECTION THROUGH THRIE BEAM ELEMENT
(FOR GUARDRAIL, TYPE T AND TD)



DEPARTMENT DIRECTOR
BRADLEY C. WIEFERICH, PE

STANDARD PLAN FOR

GUARDRAIL, TYPES A, B, BD, T, TD, MGS-8, & MGS-8D

(SPECIAL DETAIL)
FHWA APPROVAL

01/29/2024
PLAN DATE

R-60-J

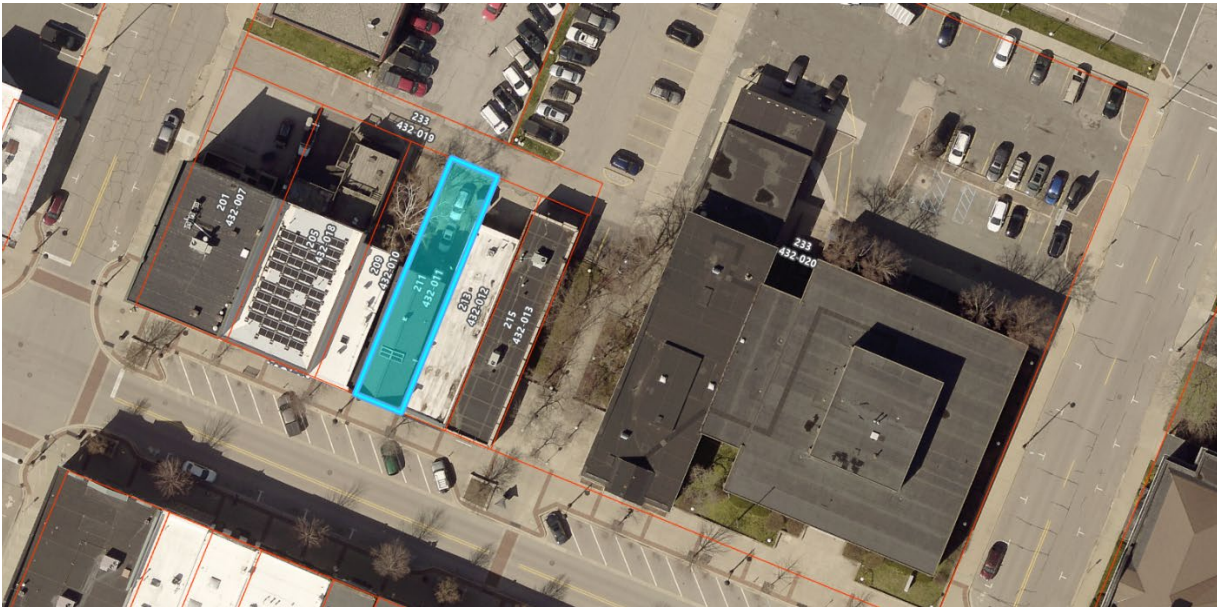
SHEET
12 OF 16

DATE: July 10, 2026
TO: Grand Haven Planning Commission
FROM: Brian Urquhart, City Planner
RE: Case 26-25: Pre-Application Discussion – 211-213 Washington Ave. SPA

Current Zoning: CB, Central Business District
Existing Use: Retail, Residential above retail
Proposed Use: 3-story building – Residential above ground floor retail use
Future Land Use: Central Business

1.0 Request

Kirsten Runchske of Architektura on behalf of property owner BBH LLC, has submitted a layout plan, conceptual plan and elevation plan details for the proposed residential above retail development at 211-213 Washington Ave. (parcels #70-0320-432-011 & 70-03-20-432-012). 211 Washington Ave. is a two-story structure, with residential units above the retail space. 213 Washington Ave. is a single-story structure currently the home of Blueberry Haven. The proposal is to demolish both buildings, and construct one building, continuing the retail space on the ground level for each, 5 residential dwelling units on the 2nd and 3rd stories. The property will include 2nd and 3rd story patios, and decks over Washington Ave.



2.0 Site Plan Review

The two buildings at 211 & 213 Washington will be demolished. A single building will be constructed on both parcels, which will be combined, resulting in 2 tenant retail spaces, 5 residential condo units in a 3-story building. The plans include enclosed garage with lifts, common rooftop deck, and deck patios overlooking Washington Ave. The proposed building will take advantage of the 0 ft. building setbacks. The building height for parapet wall is 40 feet, and to the top of the elevator is 52 ft., staying within the maximum building height of 52 ft. in the Central Business District.

Residential above retail/office in the Central Business district is permitted by right. The parking requirements are 1.2 spaces per dwelling unit. Therefore $5 \times 1.2 = 6$ spaces. There is no intention of short-term renting the units, which would require a minimum of 10 parking spaces. Parking for retail will be satisfied by existing on-street and public off-street spaces. The exterior cladding materials and transparency requirements for primary walls in the ground and upper levels appear to be met. Prior to the August meeting, the site plan will come before the Historic Commission and MSDDA for their comment.

3.0 Next Steps

The Planning Commission is asked to give direction to the applicant regarding the proposal. Once the applicant is ready to move forward with the project, a detailed site plan review shall be required.

Attachment:

- A. Preliminary site plan and rendering

SITE PLAN REVIEW PERMIT APPLICATION

Community Development Department, City of Grand Haven

519 Washington Avenue, Grand Haven, MI 49417

Phone: (616) 935-3276 Website: www.grandhaven.org



1. Project Information

Address/location of property: 211+213 WASHINGTON AVE

Parcel #: 70-03-20-432-011 and 70-03-20-432-012

Current Use: Mixed-Use Development

Area in Acres: 0.06 + 0.06 = 0.12ac

Zoning District: CB - CENTRAL BUSINESS

Proposed Use: Mixed-Use Development

Zoning of adjacent properties: CB

2. Applicant

Name: KIRSTEN RUNSCHKE

Company: ARCHITEKTURA PLC

Address #: 310 WASHINGTON AVE., M UNIT 19
GRAND HAVEN MI 49417

Phone #: 616-843-1002

Email: kirsten.runschke@architekturapl.com

3. Property Owner

Name: KEEGAN BALK - BBH LLC

Address: 10357 LAKESHORE DR
WEST OLIVE, MI 49460

Phone #: 616-648-0893

Email: keeganbalk@gmail.com

4. Required Attachments

- PDF + 5 copies of the application
- PDF + 5 copies of site plan
- PDF + 5 copies of the building elevations
- PDF + 5 copies of the landscape plan
- Project phasing plan (if applicable)
- Signage plan and details
- Proposed topographic map
- Existing topographic map

5. Fees and Escrow Deposit

Up to \$100,000: \$200.00

\$100,001 to \$500,000: \$300.00

\$500,001 to \$1,000,000: \$400.00

\$1,000,001 & Up: \$500.00

Estimate Project Cost: \$ 2,8000,000

A deposit of \$1,500 shall be collected for all Planning Commission and Zoning Board of Appeals cases where it is expected that costs above staff time and one public hearing publication will be incurred. These expenses include additional public hearing notifications, attorney fees, engineering or surveying fees, or other special studies. Should expenses total more than the deposit, the applicant will be billed by the City for the additional costs, or additional escrow payment shall be required to complete the Planning Commission or Zoning Board of Appeals process. Should expenses total less than the deposit received, excess amounts shall be returned to the applicant.

6. Details of the Nature of Work Proposed *(please identify materials and colors to be used)*

— Demolish existing buildings at 211+213 Washington Avenue. Build new building on
— both lots (will be combined), resulting in (2) tenant retail spaces, (6) residential condo
— units, including garages, and a common rooftop deck.



7. Buildings and Structures

Number of buildings on site: 1
Height of buildings & # of stories: 3-STORIES

RETAIL BUSINESS / RETAIL SALES

Use of buildings: RESIDENTIAL ABOVE RETAIL
Height of rooftop mechanical equipment: 52'-6"

8. Floor Use and Area (in square feet)**Commercial Structures**

Total floor area: 5,210 SQ FT
Open space (area & %): _____
Office space (area): _____
Retail space (area): 3,500 SQ FT
Industrial space (area): _____
Assembly space (area): _____
Seating capacity: _____
Maximum occupancy load: 2,660 / 60 = 44

Residential Structures

Total floor area: 4,635 + 3,730 = 8,365 SQ FT
Total # of units: 5
of 1 bedroom units: _____
of 2 bedroom units: 4
of 3 bedroom units: 1
Open space (area and %): 275 + 490 + 835 = 1,600 SQ FT
Rental or condominium?: _____
Maximum occupancy load: 8,365 / 200 = 42

9. Setbacks (see Article Four: District Regulations, Table 40-402.02, for setback requirements)

Required front yard: 70% IN BUILD-TO ZONE
Required rear yard: 3' - ABUTTING COMMERCIAL
Required total side yard: 0 FEET

Proposed front yard: 70% IN BUILD-TO ZONE
Proposed rear yard: 0' - ABUTTING 16' EXCEPTION/ALLEY
Proposed total side yard: 0 FEET

10. Parking (see Article Six: Parking, for zoning requirements)

Required # of spaces: 6 - RESIDENTIAL, 6 - RETAIL
Typical angle of spaces: _____
Location of parking on site: GARAGE
Shared parking agreement?: _____
Number of employees: _____
Explanation of screening (including location and materials): _____

Proposed # of spaces: 6 - RESIDENTIAL
Size of spaces: 11'x24'
Number of handicap spaces: _____
Location and # of off-street spaces: _____

11. Loading (see Section 40.605.04 for loading space requirements)

Required # of spaces: NA
Typical angle of space(s): _____
Location of loading space(s) on site: _____
Explanation of screening (including location and materials): _____

Proposed # of spaces: _____
Size of space(s): _____

12. Site Lighting (see Section 40-317 for lighting requirements)**Building Lighting**

of fixtures proposed: 3
Type of lighting proposed: WALL PACK
Height of fixtures: ABOVE ENTRY DOORS
Location of fixtures: ABOVE ENTRY DOORS

Parking Area Lighting

of fixtures proposed: NA
Type of lighting proposed: _____
Height of fixtures: _____
Location of fixtures: _____
Foot-candles at property line: _____

13. Landscaping (see Article Eight: Landscaping, for zoning requirements)

Location of landscape areas: NA

Proposed landscape material: NA



14. Exterior Trash Receptacles (see Section 40-301.03 for Dumpster Enclosure requirements)

Location of receptacle: IN GARAGE Size of receptacle: 30 GAL ROLL AWAY
Enclosure material: _____ Height of Enclosure: _____

15. Mechanical Equipment (see Sections 40-306.08(C) & 40-322 for zoning requirements)

Ground Mounted Mechanical Equipment

of units: _____
Size of units (LxWxH): _____
Location of units: _____
Screening: _____

Rooftop Mechanical Equipment

of units: _____
Type of rooftop units: _____
Size of units (LxWxH): _____
Location of units: _____
Screening: _____

16. Accessory Buildings (see Section 40-301 for standards for accessory buildings)

of accessory building(s): NA Size of accessory building(s) (LxWxH): _____
Location of accessory building(s): _____

17. Emergency Access Features (contact City of Grand Haven Fire Marshal with questions)

Emergency Access Roads: WASHINGTON / ALLEY
Location of hydrants and fire department connection (FDC): HYDRANT AT 2ND & WASHINGTON, FDC CONNECTION....

18. Historic District information (contact City of Grand Haven Historic Conservation District Commission)

Is this location within a Historic Conservation District? Yes/No/Unsure NO
Name of District, if applicable: _____

By signing below, permission is granted for city staff, including Planning Commissioners, to enter the subject property for purpose of gathering information to review this request. In addition, the applicant agrees to perform the described work in accordance with all applicable Sections of the City of Grand Haven Code of Ordinances. Signer will insure that all inspection requests are made a minimum of 24 hours prior to the requested time.

Signature of Applicant: [Signature] Date: 7 July 2026

Print Name: KIRSTEN RUNSCHKE

Signature of Owner: Keegan Balk Date: 7-7-2026

Print Name: KEEGAN BALK

Office Use Only

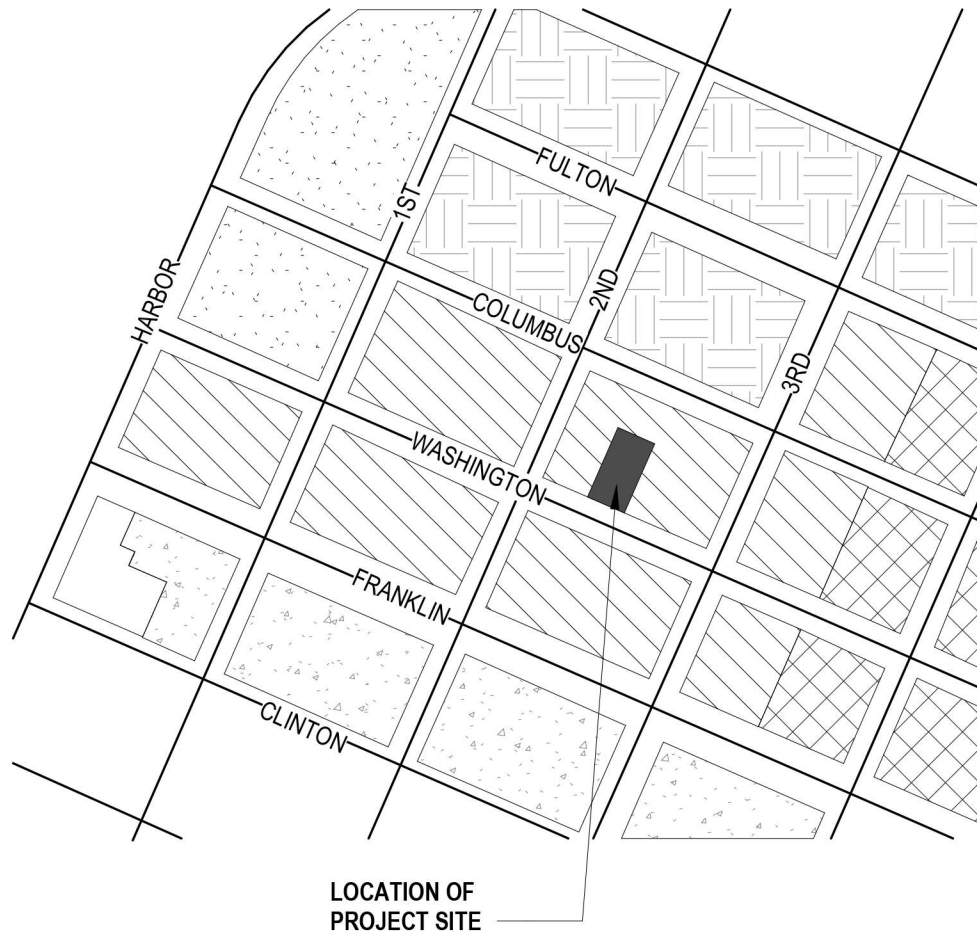
Case #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Approved by: _____



RESIDENTIAL ABOVE RETAIL - Parcel # 70-03-20-432-011+ 70-03-20-432-012

BBH LLC, MIXED USE DEVELOPMENT

211 + 213 WASHINGTON AVE., GRAND HAVEN, MI 49417



ZONING DISTRICT LEGEND

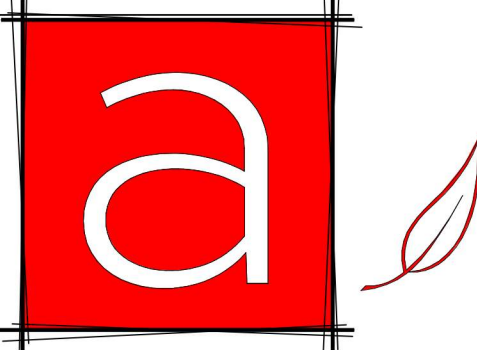
- PD PLANNED DEVELOPMENT
- OT OLD TOWN
- CB CENTRAL BUSINESS
- CC CIVIC CENTER
- S SOUTHSIDE
- WF2 WATERFRONT 2

1 ON STREET PARKING 6" = 1'-0"

2 VICINITY MAP 12" = 1'-0"

DRAWING INDEX

- GENERAL
 - T-1 TITLE DRAWING
- ARCHITECTURAL
 - A-0 DEMOLITION + BASEMENT PLANS
 - A-1 FIRST + SECOND FLOOR PLAN
 - A-2 THIRD FLOOR + ROOF PLAN
 - A-5 EXTERIOR ELEVATIONS
 - A-6 EXTERIOR VIEWS



architektura ^{PLC}
PO Box 971
Grand Haven, MI 49417
p: 616.843.1002
www.architekturapl.com

RESIDENTIAL ABOVE RETAIL - Parcel #
70-03-20-432-011+ 70-03-20-432-012
**BBH LLC, MIXED USE
DEVELOPMENT**
211 + 213 WASHINGTON AVE., GRAND HAVEN, MI 49417

PROJECT NO. 1373
ISSUANCES

8 JULY 2026	SPA PACKET
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REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

ZONING

CITY OF GRAND HAVEN, OTTAWA COUNTY, MICHIGAN
MICHIGAN BUILDING CODE (MBC 2021)

- ZONING**
AREA & HEIGHT:
DISTRICT: CB, CENTRAL BUSINESS DISTRICT
CLIMATE ZONE: 5A - OTTAWA COUNTY
HEIGHT: 52' (4 STORIES)
PERMITTED USE: RESIDENTIAL ABOVE RETAIL OR OFFICE
RETAIL BUSINESS OR RETAIL SALES
- SET BACKS:**
FRONT YARD: 70% of building frontage in build-to zone
SIDE YARD: 0'
REAR YARD: 0'
- Minimum/maximum transparency:**
GROUND FLOOR: 75% / 85%
UPPER STORIES: 40% / 85%
RECESSED ENTRIES: 3' - 5'

PROPOSED PARKING :
Residential above retail or office : 1.2 spaces for each dwelling unit, plus parking for the nonresidential uses as determined in this section 40-604.03
Retail business or retail sales dealing primarily in durable goods : 1 space per 250 square feet of gross floor area up to 10,000 square feet, plus 1 space for each 350 square feet of gross floor area in excess of 10,000 square feet

RESIDENTIAL: (5) DWELLING UNITS @ 1.2 PER DWELLING UNIT = 6 SPACES PROVIDED
RETAIL: 1 PER 250 AT 750 SQ FT / 250 SQ FT = 3 PER RETAIL, FRONT (2) = 6 SPACES REQUIRED
40-603.B - 50% on street parking within 400' = 52/2 = 26 spaces available on Washington Ave. same side of street.
40-600.01.C

CALL 811

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811. www.CALL811.com



PREPARER NOTES:

ARCHITEKTURA PLC'S LIABILITY IS LIMITED TO THE AMOUNT OF FEE THAT IS REIMBURSED FOR SERVICES RENDERED ON THIS PROJECT.

THESE DRAWINGS ARE THE SOLE PROPERTY OF ARCHITEKTURA PLC AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THEIR WRITTEN CONSENT.
THIS SEAL APPLIES TO THE FOLLOWING DOCUMENT'S SHEET NUMBER, AND THRU ALL DOCUMENTS UNDER THIS STAMP BEAR THE SAME ISSUE DATE AS THE SEALED COPY.

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, CONFORM TO THE APPLICABLE CODES AND ORDINANCES.

KIRSTEN A. RUNSCHKE DATE 09-27-2027
LICENSE EXPIRES

TITLE DRAWING

SCALE :
As indicated

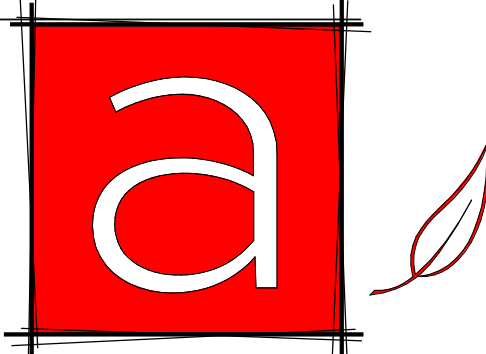
T-1

GENERAL NOTES

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DEVELOPMENT**
211 + 213 WASHINGTON AVE., GRAND HAVEN, MI 49417

PROJECT NO. 1373

ISSUANCES

8 JULY 2026	SPA PACKET

REVISIONS

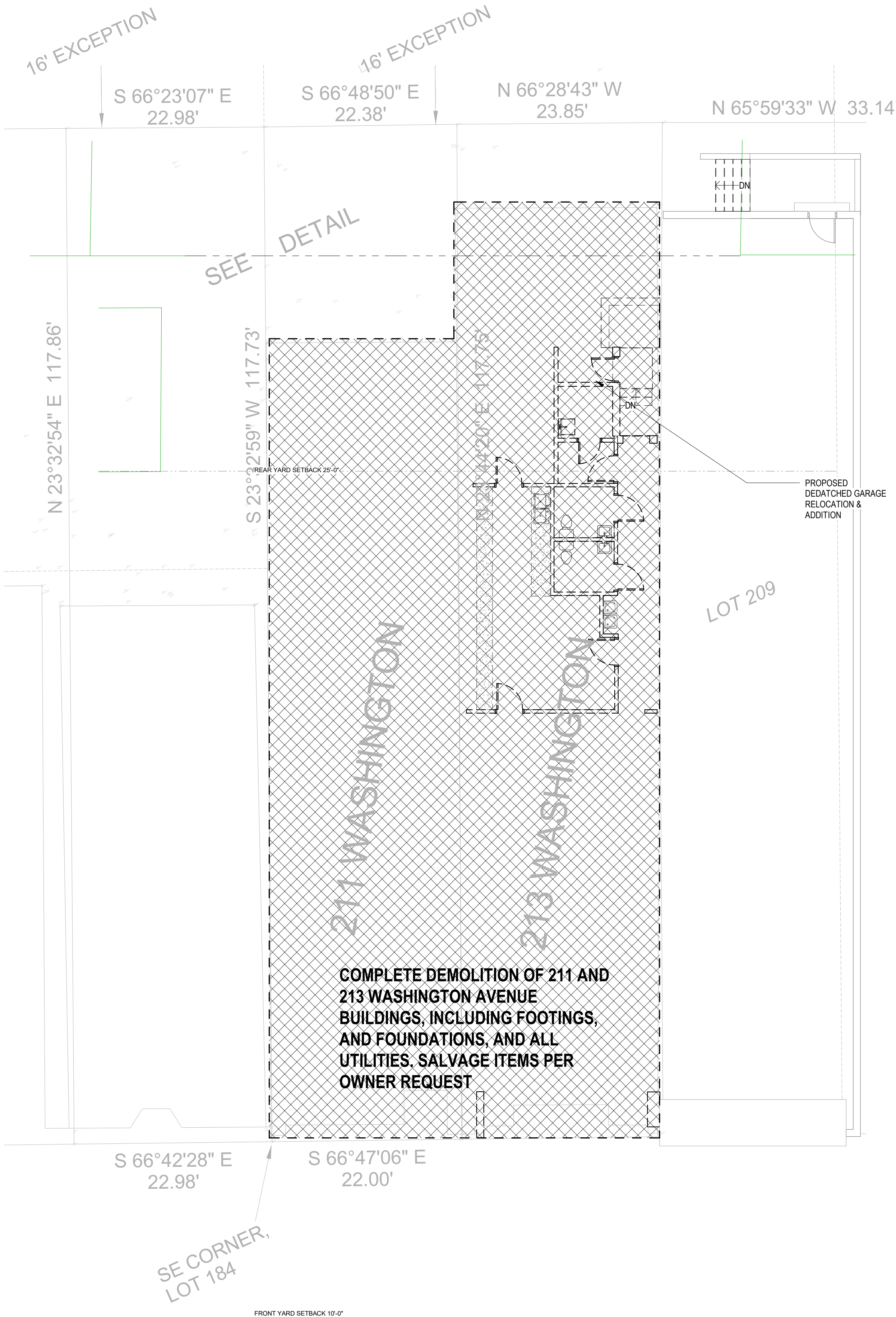
NO.	DATE	DESCRIPTION
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DEMOLITION +
BASEMENT PLANS

SCALE :
As indicated

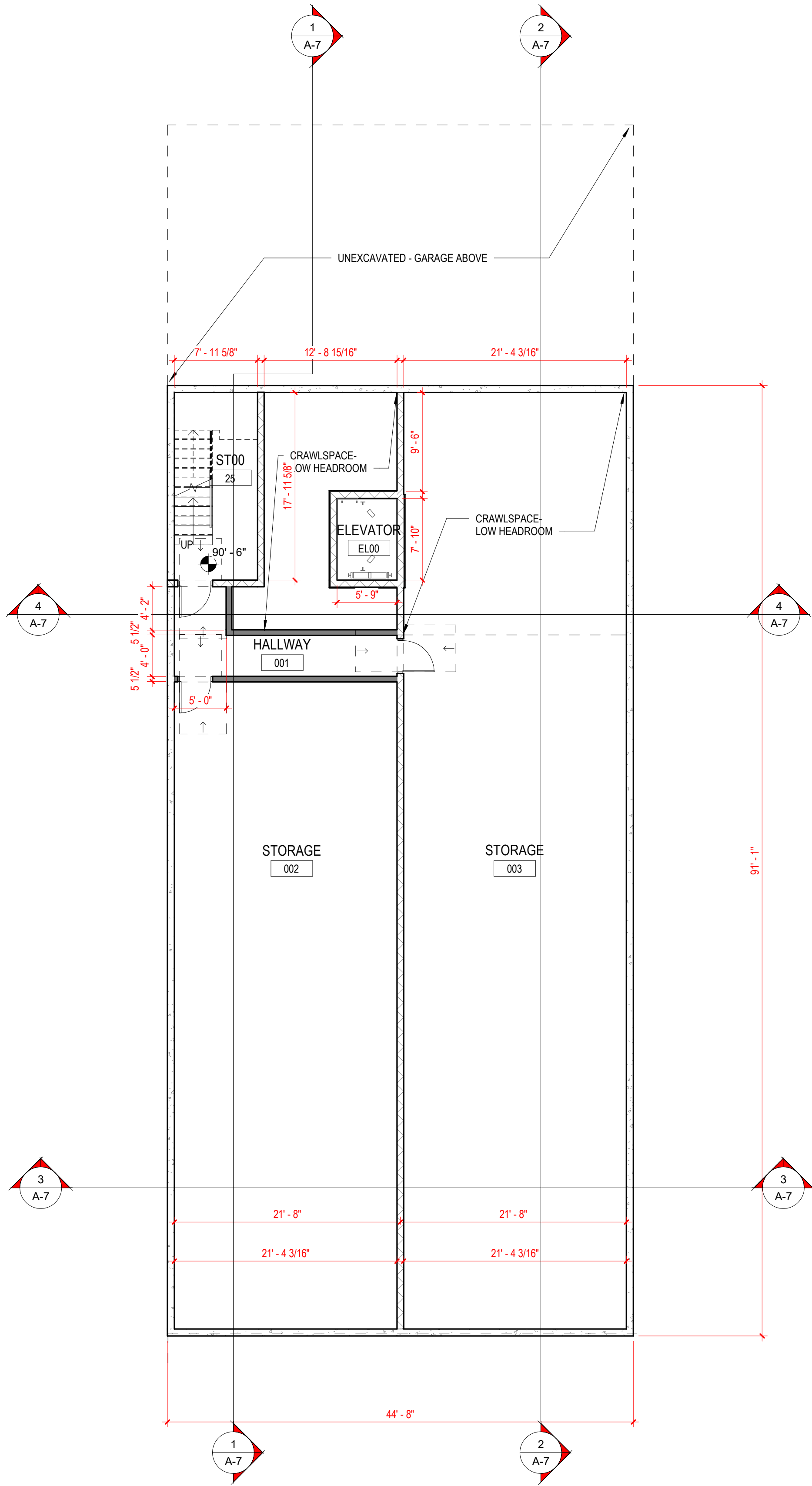
A-0

NOT FOR CONSTRUCTION



DEMOLITION PLAN

1/8" = 1'-0"



BASEMENT PLAN

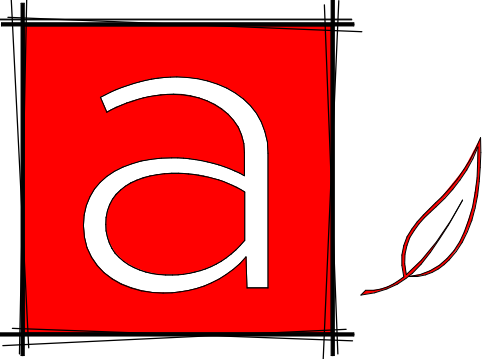
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PROJECT NO. 1373
ISSUANCES

8 JULY 2026	SPA PACKET
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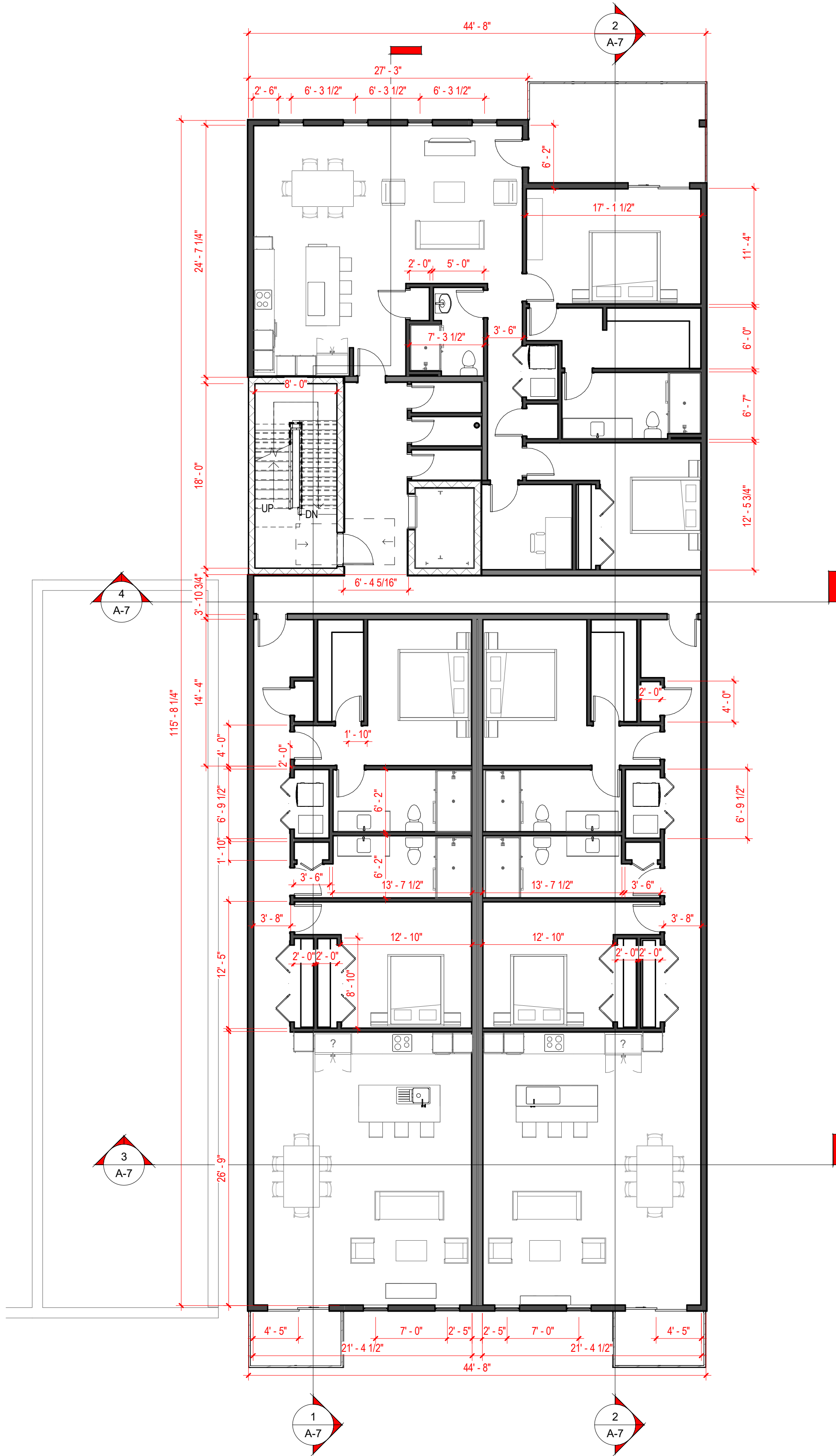
REVISIONS

NO.	DATE	DESCRIPTION
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FIRST + SECOND
FLOOR PLAN

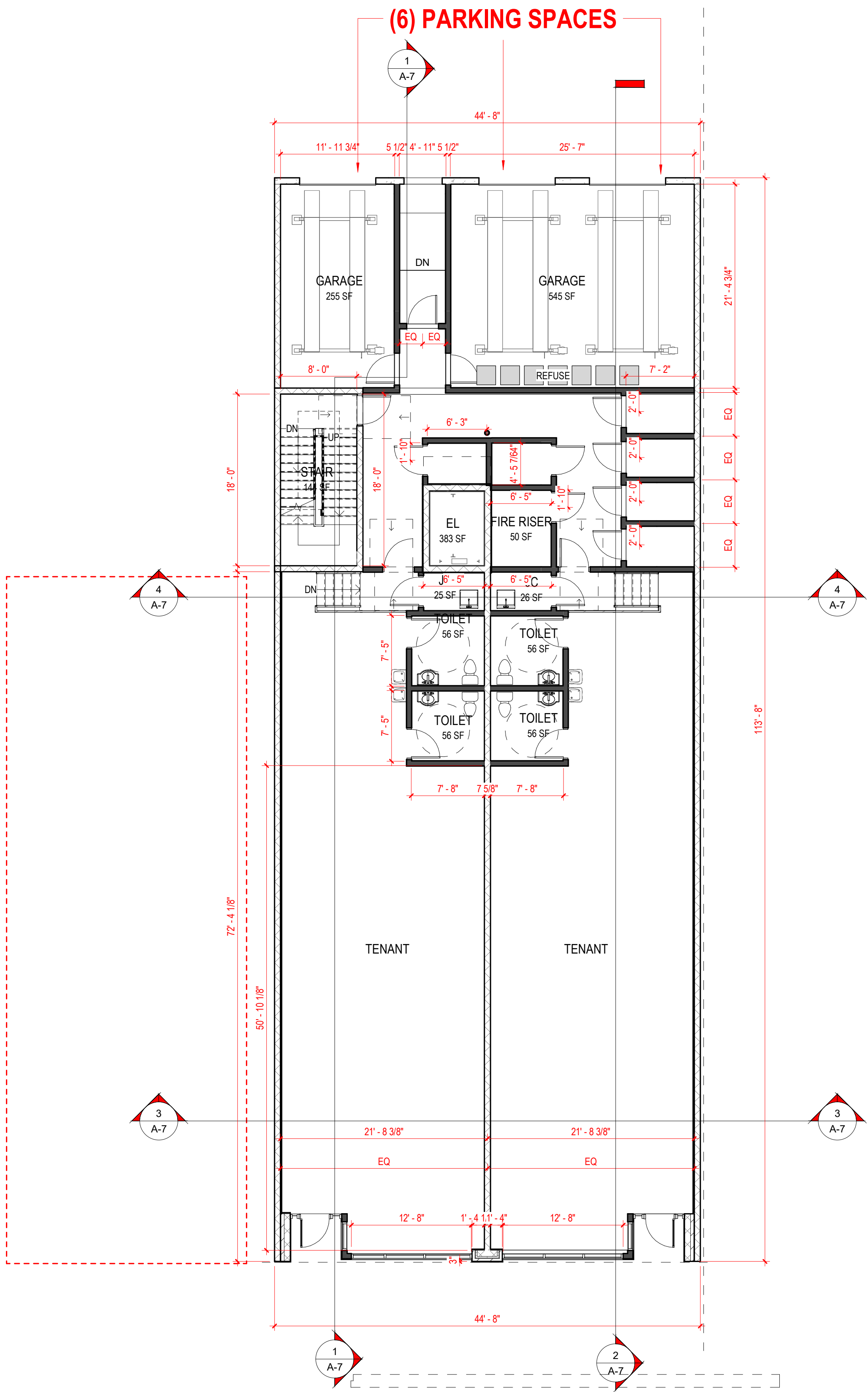
SCALE :
As indicated

A-1



SECOND FLOOR PLAN

1/8" = 1'-0"



FIRST FLOOR PLAN

1/8" = 1'-0"

NOT FOR CONSTRUCTION

GENERAL NOTES

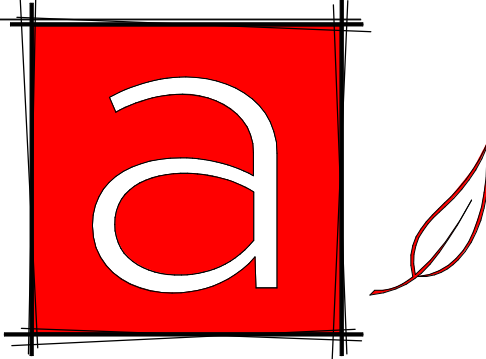
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ROOF LEGEND

- ELASTOMERIC MEMBRANE ROOFING OVER (2) LAYERS OF POLYISOCYANURATE INSULATION STAGGERED OVER METAL DECK FOR A TOTAL OF R30
- TAPERED INSULATION
- ROOF WALKWAY PAD
- SLOPE INDICATES DIRECTION OF SLOPE
- X INDICATES THICKNESS OF INSULATION ABOVE 2.5" OF BASE LAYER INSULATION
- ROOF DRAIN (RD) OR OVERFLOW ROOF DRAIN (ORD)



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ISSUANCES
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REVISIONS
NO. DATE DESCRIPTION

THIRD FLOOR + ROOF
PLAN

SCALE :
As indicated

A-2

ROOF PLAN

1/8" = 1'-0"

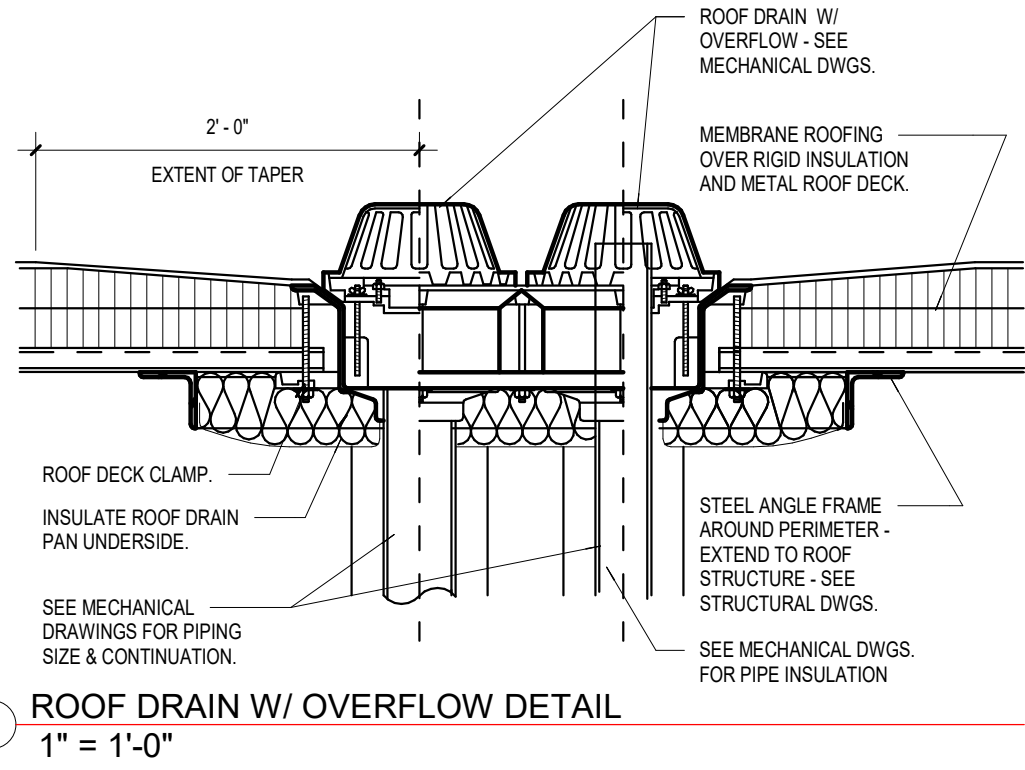
THIRD FLOOR

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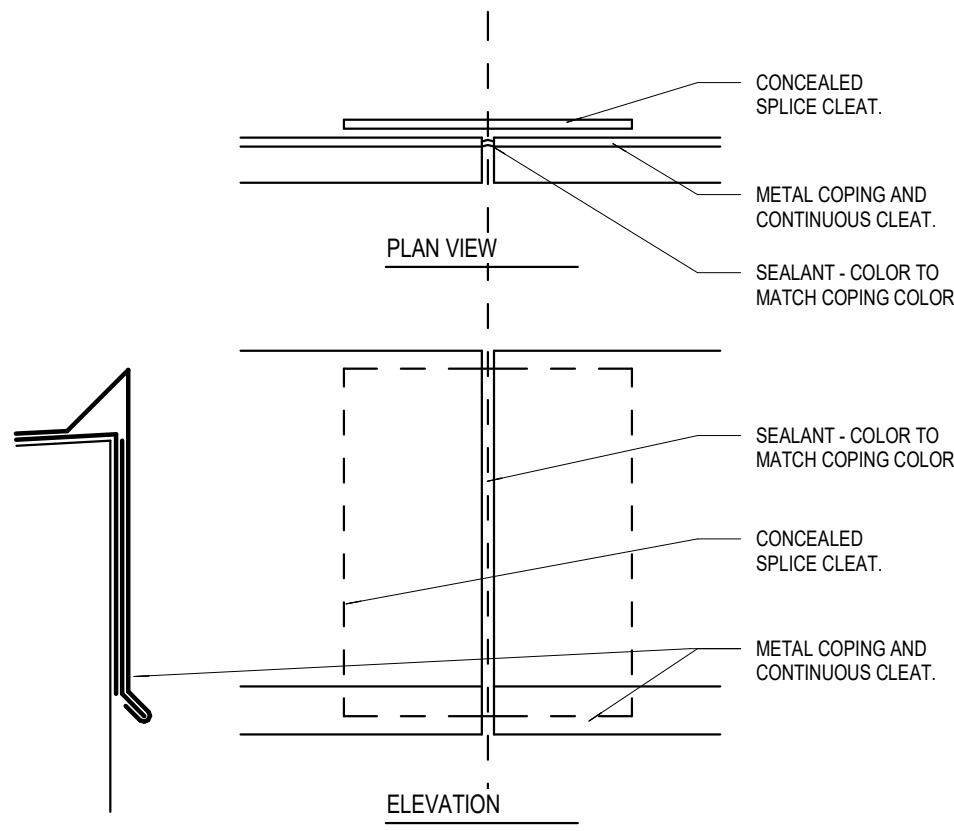
EXISTING 2-STORY BUILDING

EXISTING 1-STORY BUILDING

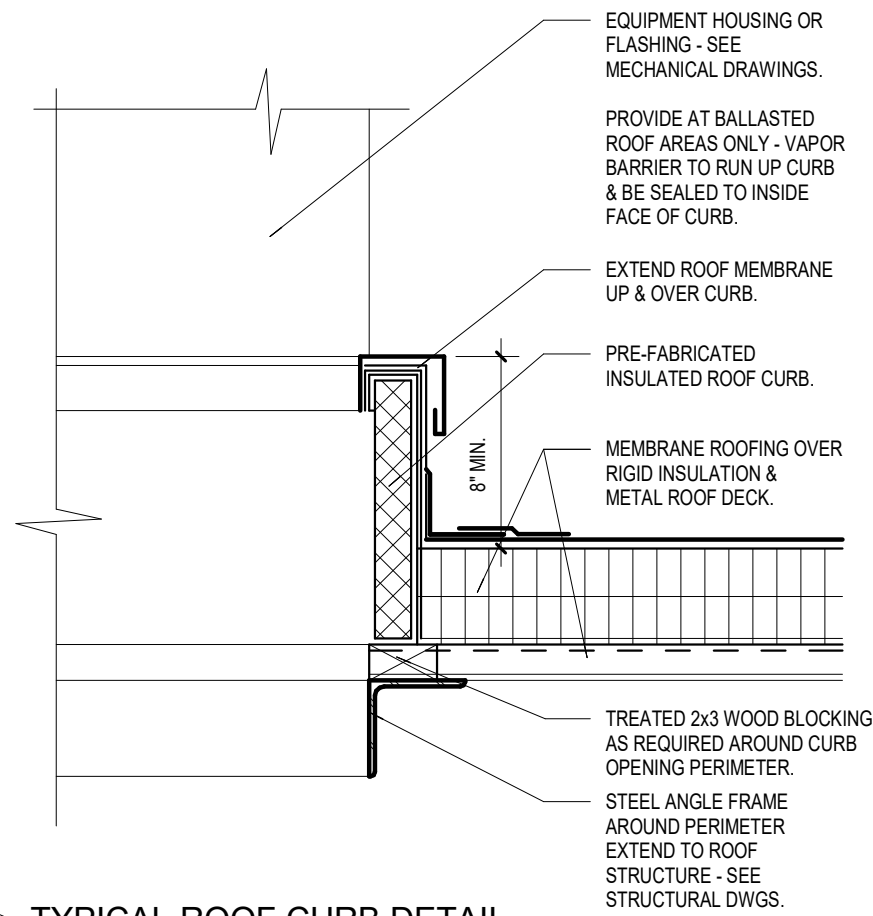
EXISTING 2-STORY BUILDING



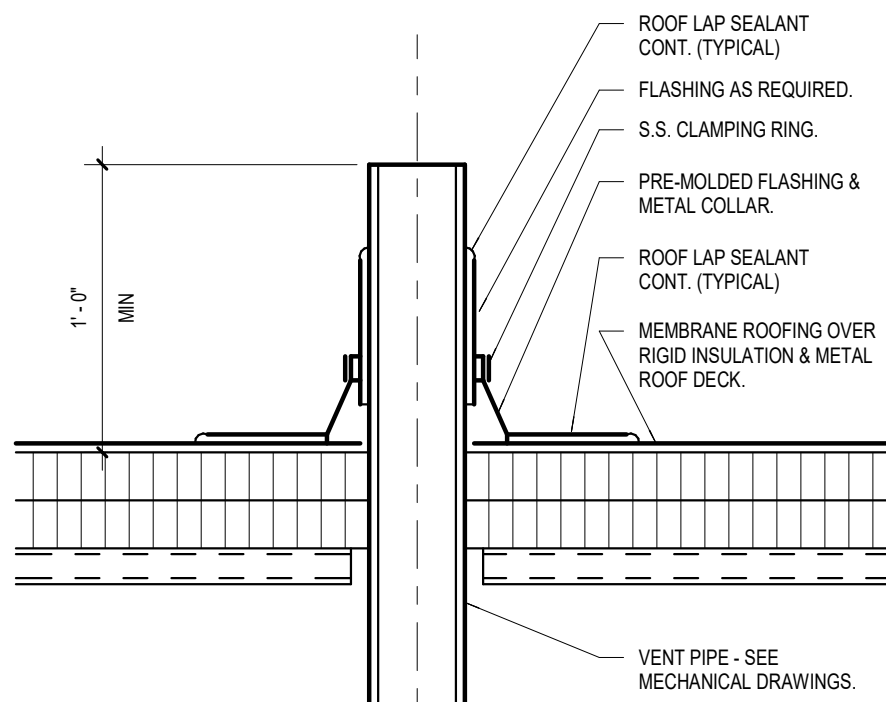
3 ROOF DRAIN W/ OVERFLOW DETAIL
1" = 1'-0"



4 METAL COPING SPLICE DETAIL
3" = 1'-0"

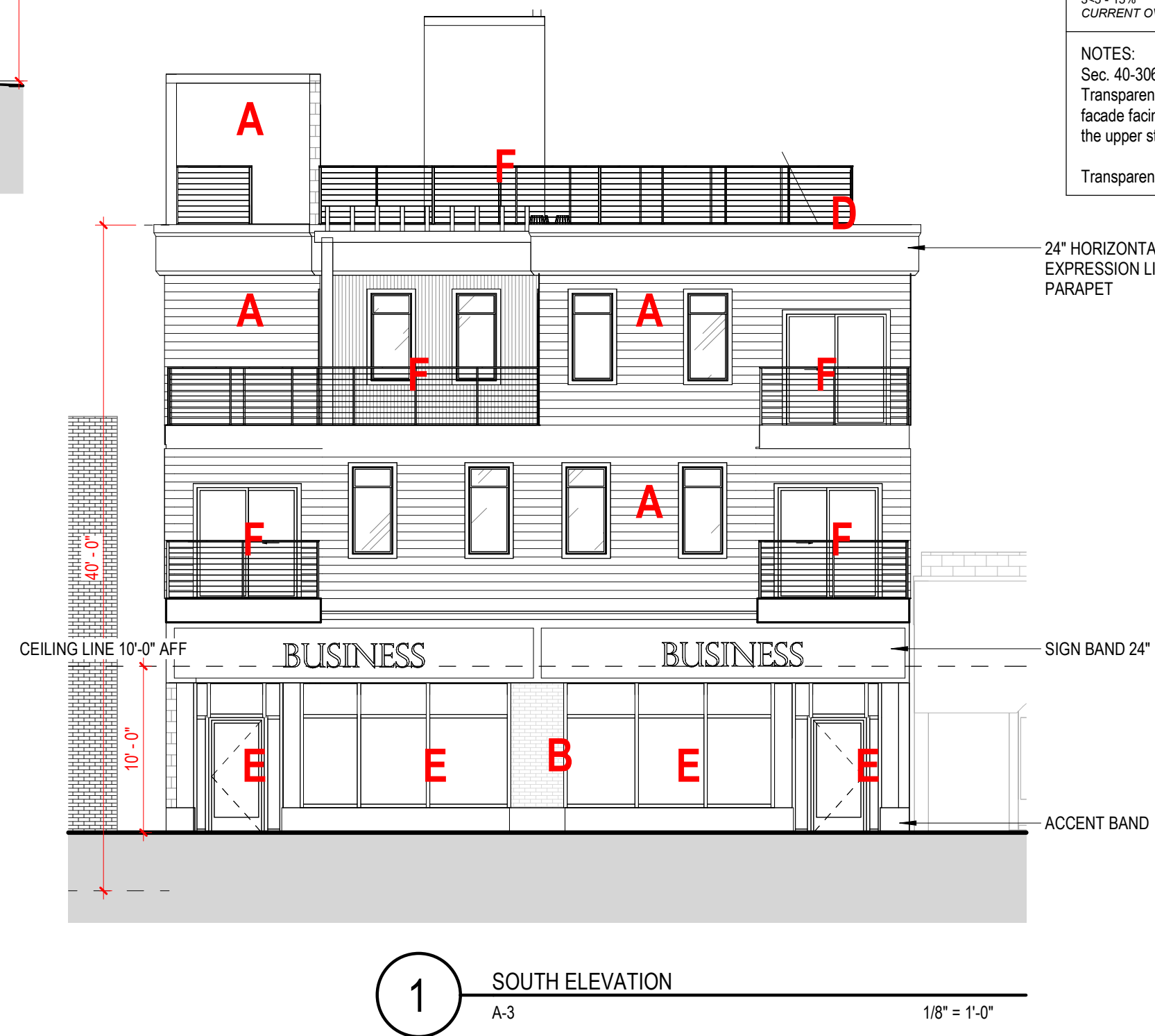
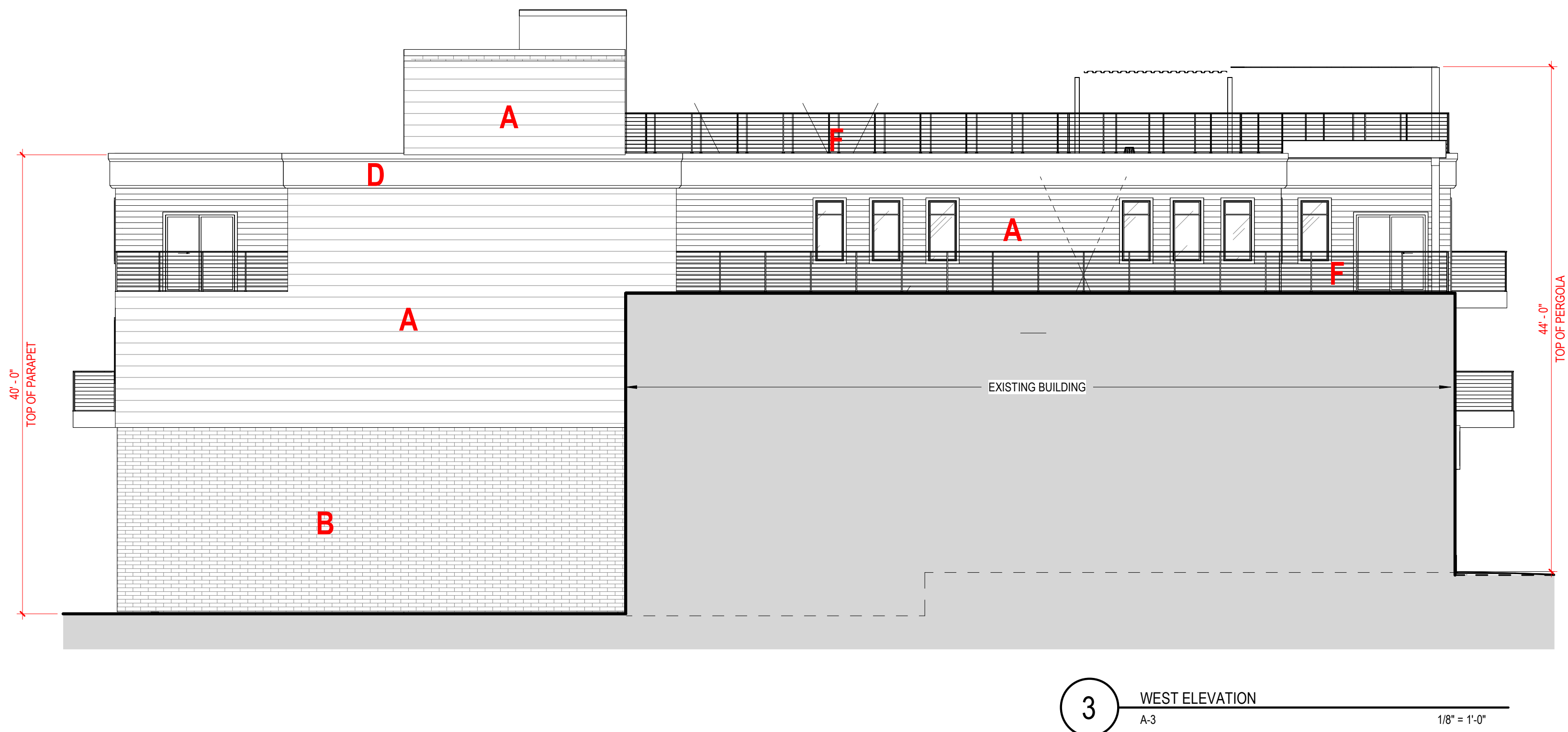
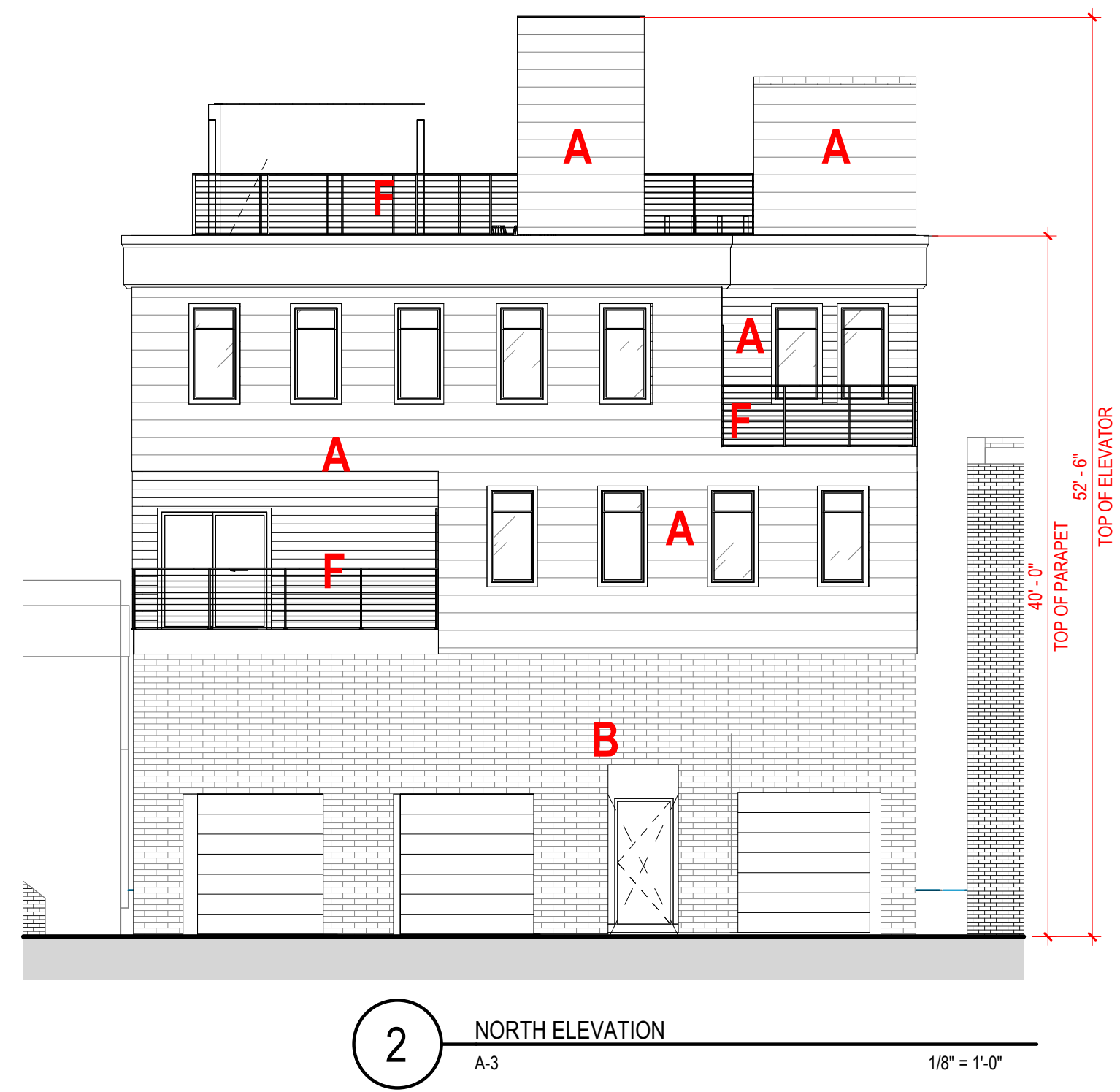
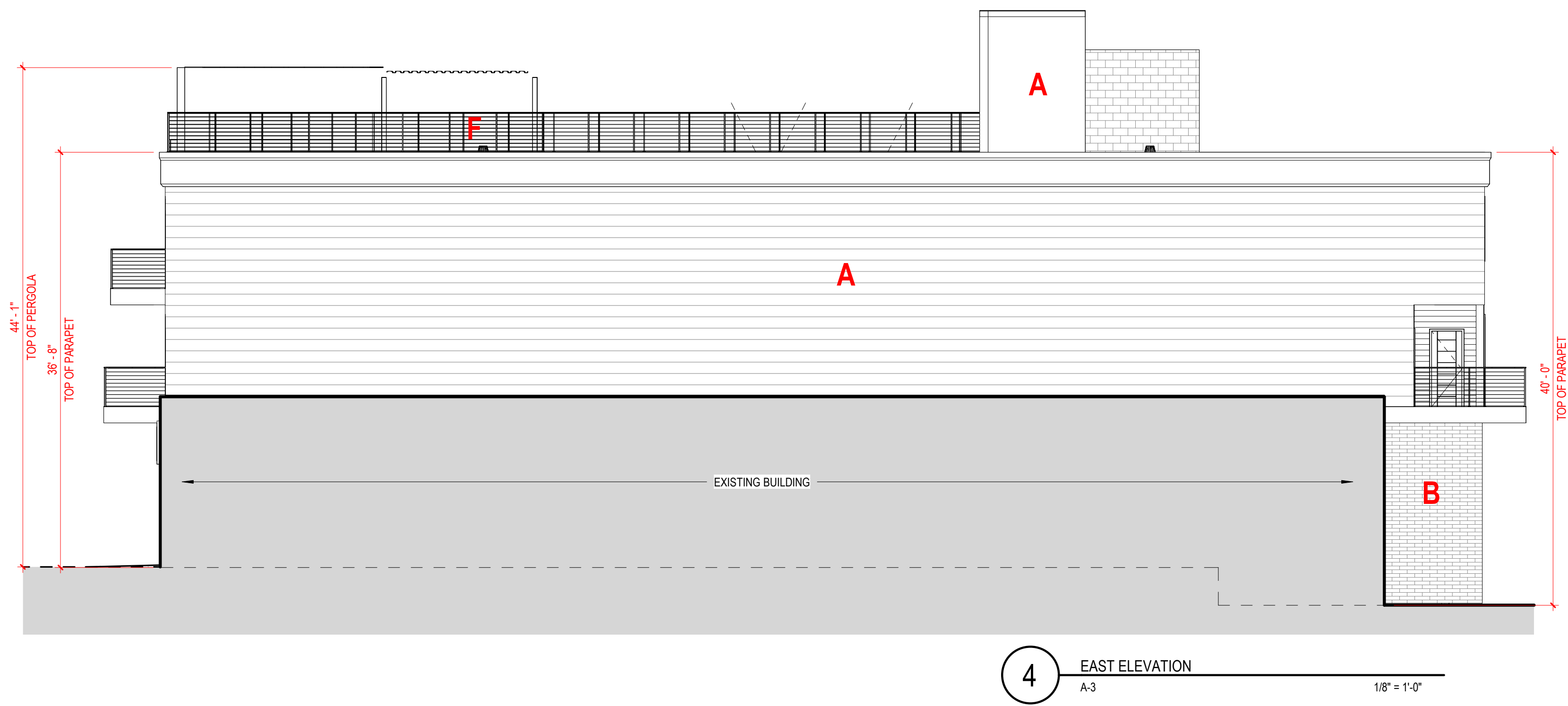


5 TYPICAL ROOF CURB DETAIL
1 1/2" = 1'-0"



6 TYPICAL ROOF VENT DETAIL
1 1/2" = 1'-0"

6 TYPICAL ROOF VENT DETAIL
1 1/2" = 1'-0"

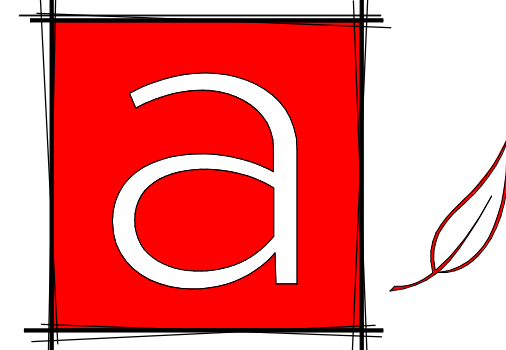


EXTERIOR MATERIALS LEGEND

- A** COMPOSITE PANEL MATERIAL, JAMES HARDY CEMENT BOARD OR EQUAL
- B** FACE BRICK, SMOOTH RUNNING BOND PATTERN
- C** WOOD SIDING - ACCENT
- D** PREFINISHED METAL COPING
- E** STOREFRONT - TUBELITE T14000 OR EQUAL
- F** GUARDRAIL - ALUMINUM WITH CABLE

EXTERIOR FORM CALCULATIONS: CB

ELEVATION	BUILDING ELEMENT (MATERIAL DESCRIPTION)	PROPOSED sq ft	
NORTH		TOTAL 1785	
SECONDARY WALLS	FACE BRICK (NATURAL OR CULTURED) STONE	...	...
	SOLID WOOD FIBER CEMENT BOARD	...	...
	COMPOSITE SIDING	...	...
	DECORATIVE CONCRETE BLOCK	...	...
	ACCENT / TRIM 20% MAX - METAL, CONCRETE	...	...
	TRANSPARENCY - GROUND FLOOR		
	TRANSPARENCY - SECOND FLOOR		
	TRANSPARENCY - THIRD FLOOR		
EAST		TOTAL 2658	
SECONDARY WALLS	FACE BRICK (NATURAL OR CULTURED) STONE	...	...
	SOLID WOOD FIBER CEMENT BOARD	...	...
	COMPOSITE SIDING	...	...
	DECORATIVE CONCRETE BLOCK	...	...
	ACCENT / TRIM 20% MAX - METAL, CONCRETE	...	...
	TRANSPARENCY - GROUND FLOOR		
	TRANSPARENCY - SECOND FLOOR		
	TRANSPARENCY - THIRD FLOOR		
SOUTH		TOTAL 1640	
PRIMARYARY WALLS	FACE BRICK (NATURAL OR CULTURED) STONE	...	...
	SOLID WOOD FIBER CEMENT BOARD	...	...
	ACCENT / TRIM 20% MAX - METAL, CONCRETE	...	...
	TRANSPARENCY - GROUND FLOOR	3000/447 - GROUND FLOOR	68%
	TRANSPARENCY - SECOND FLOOR	190/480 - SECOND FLOOR	37%
	TRANSPARENCY - THIRD FLOOR	80/205 - THIRD FLOOR	39%
WEST		TOTAL 2825	
SECONDARY WALLS	FACE BRICK (NATURAL OR CULTURED) STONE	...	...
	SOLID WOOD FIBER CEMENT BOARD	...	...
	COMPOSITE SIDING	...	...
	DECORATIVE CONCRETE BLOCK	...	...
	ACCENT / TRIM 20% MAX - METAL, CONCRETE	...	...
	TRANSPARENCY - GROUND FLOOR		
	TRANSPARENCY - SECOND FLOOR		
	TRANSPARENCY - THIRD FLOOR		
NOTES: Sec. 40-306.11, - Measuring transparency. Transparency of the ground floor facade is measured from grade to the ceiling height of the first story for that portion of the facade facing the public street. Transparency for upper stories is measured from the floor of the upper story to the ceiling of the upper story for that portion of the facade facing the public street. Transparency: The quality of transmitting light to permit the interior of a building to be seen from the outside.			



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EXTERIOR ELEVATIONS

SCALE :
As indicated

A-5



NOT FOR CONSTRUCTION

EXTERIOR VIEWS

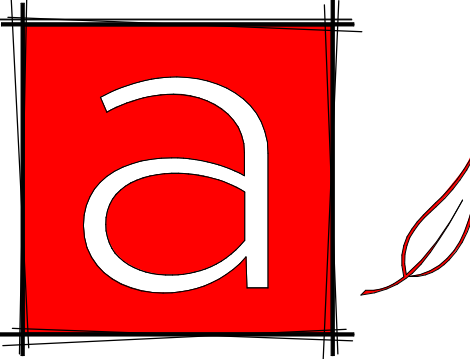
SCALE :

A-6

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