

**CITY OF GRAND HAVEN
HISTORIC CONSERVATION DISTRICT COMMISSION
REGULAR MEETING AGENDA
WEDNESDAY, JULY 15, 2026 AT 5:00 PM
GRAND HAVEN CITY HALL
COUNCIL CHAMBERS
519 WASHINGTON AVE.
GRAND HAVEN, MI 49417**

Call to order: Chair Chad Fisk

Roll call of members present: Chair Chad Fisk, Secretary Linda Rosema, Members Erik Bye, Vice-Chair Patrick Qua

Members expected to be absent (pre-excused):

Others who may be present: Brian Urquhart, City Planner; Jeannette Weiden, Courtney Beattie, Loutit District Library Representatives; Tri-Cities Museum Advisory Member.

- 1) **General Business Call to Viewing Audience** [3 minutes per person] *
At this time, members of the audience may address the Historic Conservation District Commission (HCDC) on any item, whether on the agenda or not. Those addressing the HCDC are asked to provide their name and address and will be limited to three minutes of speaking time. The HCDC will hear all comments for future consideration but will not have a response at this time.
- 2) **Consideration to approve the Regular Meeting Minutes of June 17, 2026 Historic Conservation District Commission.**
- 3) **Tri-Cities Museum Advisory Member Update**
Report by Alyssa Kudray, Tri-Cities Museum
- 4) **Loutit Library Representative Update**
Report By Courtney Beattie, Loutit District Library Representative
- 5) **SHPO – Follow up from City Council presentation on 6/15/26**
- 6) **Planning Commission Site Plan Reviews**
211-213 Washington Site Plan Review
[Refer to City Ordinance [Ch. 19-16\(3\)](#) and [Mainstreet Guidelines](#)]
- 7) **Updates & Reports/Comments By HCDC Members**
- 8) **Second General Business Call to Viewing Audience** [3 minutes per person] *
- 9) **Adjournment**

City of Grand Haven
Historic Conservation District Commission
Regular Meeting Minutes
Wednesday, June 17, 2026
Grand Haven City Hall
Council Chambers
Grand Haven, MI 49417

Call to order: Chair Chad Fisk called the meeting to order at 5:00PM.

Roll call of members present: Chair Chad Fisk, Vice Chair Patrick Qua, Secretary Linda Rosema and Member Erik Bye.

Members absent (pre-excused) Nina Bryhn is resigning, she is abroad for her work.

Others who are present: City Planner Brian Urquhart, Tri-Cities Museum Advisory Member Alyssa Kudray and Loutit Library Representative Courtney Beattie.

1. General Business Call to the Viewing Audience (3 minutes per person). No one spoke.
2. Approval of the Regular Meeting Minutes of May 20, 2026 of the Historic Conservation District Commission.
 - a. A motion was made by Member Erik Bye and seconded by Vice Chair Patrick Qua to approve.
 - b. The motion was unanimously approved.
3. Tri-Cities Museum Advisory Member Update-Alyssa Kudray
 - a. The museum is without an Education Curator.
 - b. Extended summer hours are 10AM-8PM Tuesday through Friday, 10AM-5PM on Saturday, and 12-5PM on Sunday. Admission is free.
 - c. Walking Tours are planned.
 - d. Boat Tours of Spring Lake are cancelled.
 - e. CARC is getting more organized with their collections.
 - f. The museum is down one HVAC unit.
4. Loutit Library Representative Update-Courtney Beattie
 - a. Washington Ave. History 101 Walking Tour-June 18 (10-11), spots still available.
 - b. Historic Boardwalk Tour-July 2 (10-noon).
 - c. Makers Space Open House is June 23 (5-7).
 - d. Maritime Marvels of the Tri-Cities-July 16 (10-11).
 - e. Historic Tavern Tour-July 10 (3-5).
 - f. Library will be closed July 3 and 4 for the 4th of July Holiday.
 - g. Events to honor America's 250th Anniversary are:

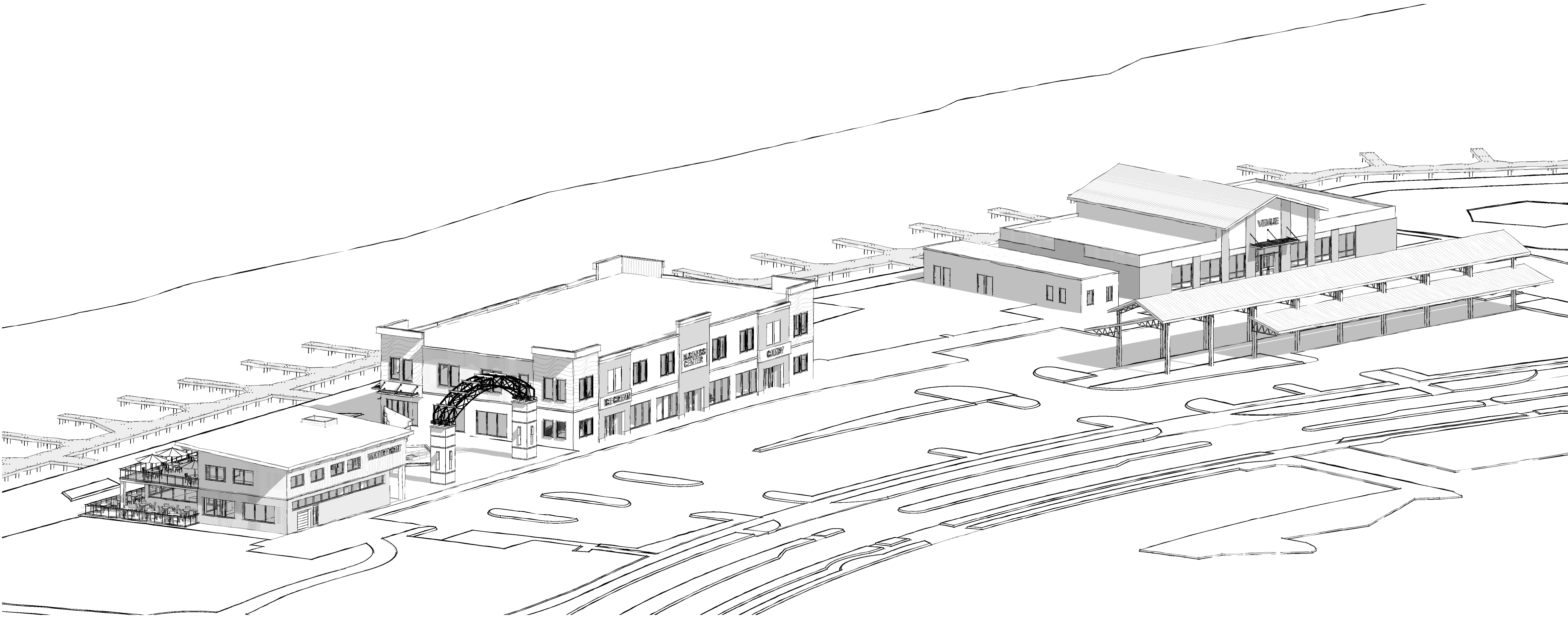
1. Women of the American Revolution-July 2 (noon-1:30)
2. Events themed around Hamilton: The Musical, Hamilton Silent Screening-June 30 (5-7), Hamilton Sing-a-long Screening-July 7 (5-7) and Hamilton Trivia on July 19 (2-4).
5. SHPO Updates
 - a. Chair Chad Fisk gave a good presentation on the CLG Program at the City Council Work Session on Monday, June 15, 2026.
 - b. We will start the process of building forward and get together with Haley to develop a more precise timeline and the cost involved, we will have details to vote on.
 - c. We discussed the work session, perhaps we will focus on downtown commercial properties rather than residential and how restrictive we can be, maybe looser restrictions on residential.
 - d. We do not have to have a design guideline before the next meeting with the city but give a roadmap for moving forward.
 - e. We will get feedback from City Council members and Haley at SHPO before we put a day on the calendar for the next work session with City Council.
 - f. We need to keep up the momentum after we get the next steps together.
 - g. Mayor Bob Monetza said we are good and appropriate for where we are, try to get more information from other communities, perhaps Franklin, MI.
6. Planning Commission Site Plan Reviews-City Planner Brian Urquhart
 - a. The city has received a tentative site plan to scale of Chinook Pier, buildings and parking. It will go to the Planning Commission in July.
 - c. The Farmers Market building will be mixed use, not sure who will run it, still a lot of questions for Copper Rock.
7. Updates & Reports/Comments by HCDC Members
 - a. Chair Chad Fisk suggested we look at restocking Historic District Maps, Member Bye will do the East Side and Vice Chair Patrick Qua will do Downtown and the Visitors Bureau.
8. Second Call to the Viewing Audience (3 minutes per person). No one spoke.
9. Chair Chad Fisk adjourned the meeting at 5:32PM.

Respectfully submitted,
Linda Rosema
Secretary

Parcel #: 70-03-20-280-025

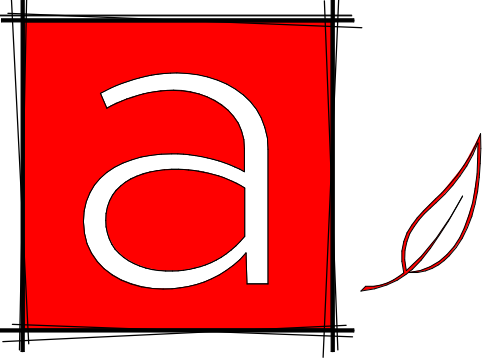
CHINOOK PIER REDEVELOPMENT

301 N. Harbor Drive, Grand Haven, MI 49417



DRAWING INDEX

GENERAL	
CR	COVER DRAWING
CIVIL	
C1.0	PRELIMINARY SITE LAYOUT PLAN
ARCHITECTURAL - RESTAURANT	
T-1.	TITLE DRAWING RESTAURANT
A-1.	FIRST FLOOR PLAN
A-2.	SECOND FLOOR PLAN
A-6.	EXTERIOR ELEVATIONS
ARCHITECTURAL - RETAIL OFFICE	
T-1	TITLE DRAWING RETAIL OFFICE
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A-2	SECOND FLOOR PLAN
A-3	EXTERIOR ELEVATIONS
ARCHITECTURAL - ENTERTAINMENT VENUE	
T-1	TITLE DRAWING ENTERTAINMENT VENUE
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ARCHITECTURAL - CHARTER RESTROOMS	
A-A	MAIN LEVEL + ELEVATIONS
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A-B	PAVILION



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Grand Haven, MI 49417
p: 616.843.1002
www.architekturapl.com

Parcel #: 70-03-20-280-025
**CHINOOK PIER
REDEVELOPMENT**
301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO.		1359, 1360,
ISSUANCES		1361
8 JULY 2026	PC PRELIMINARY	

REVISIONS		
NO.	DATE	DESCRIPTION

COVER DRAWING

SCALE :

CR

DEVELOPER



OWNER



ARCHITECT



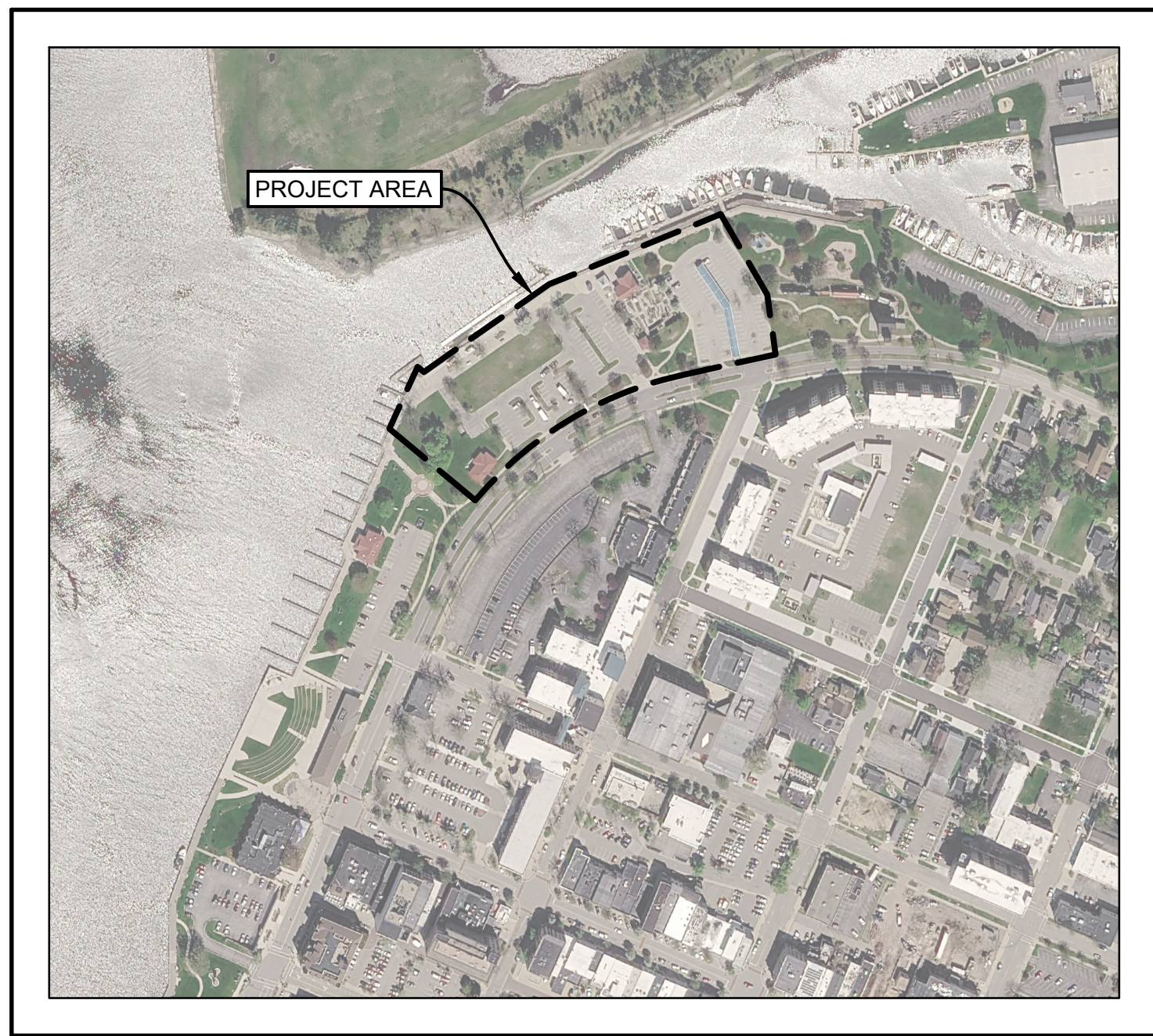
CIVIL ENGINEER



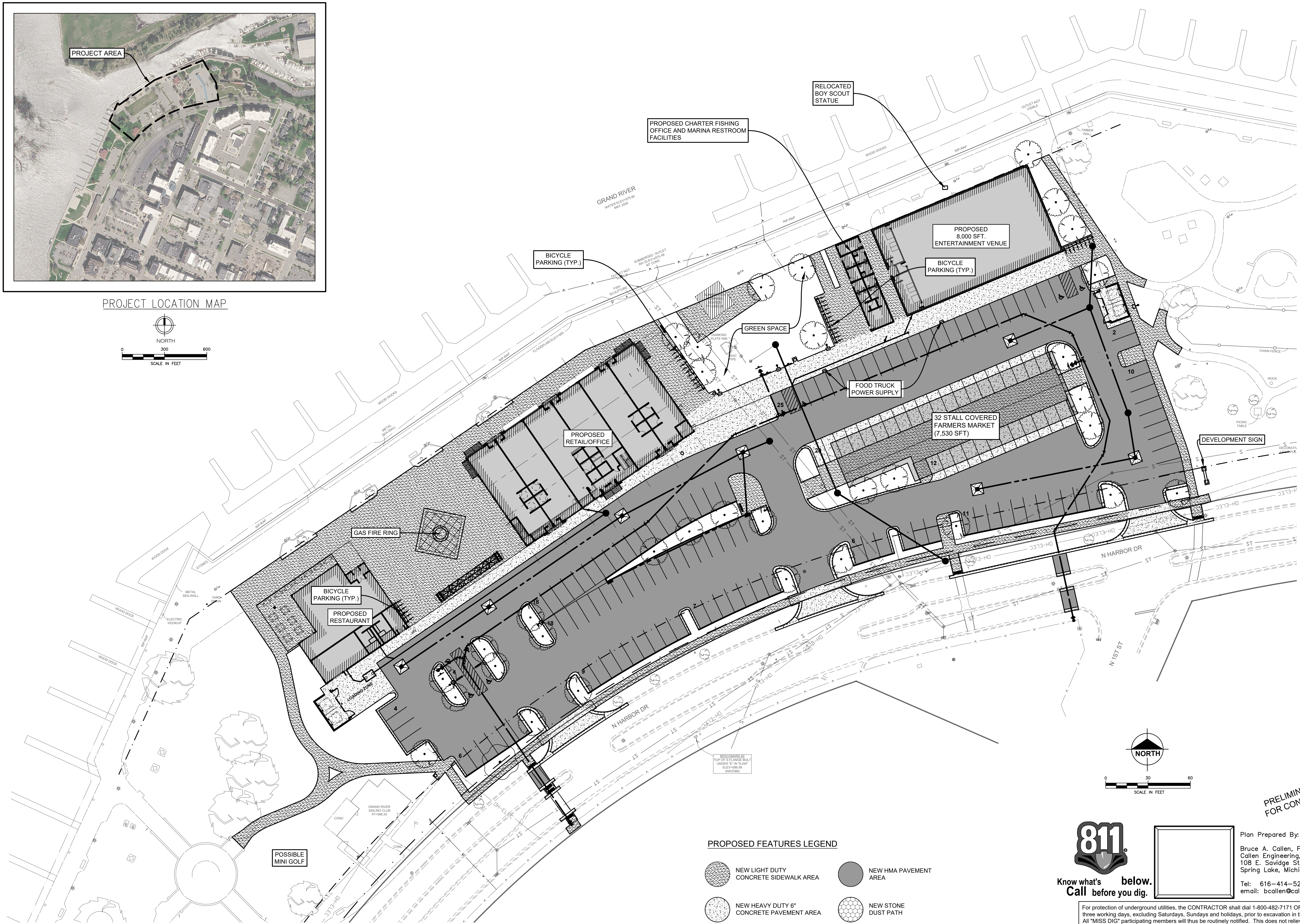
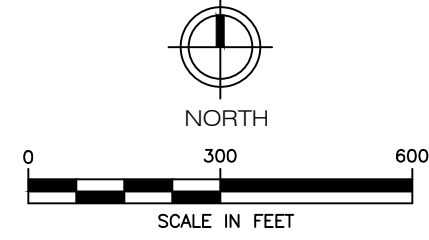
STRUCTURAL ENGINEER



Classic Engineering, LLC



PROJECT LOCATION MAP

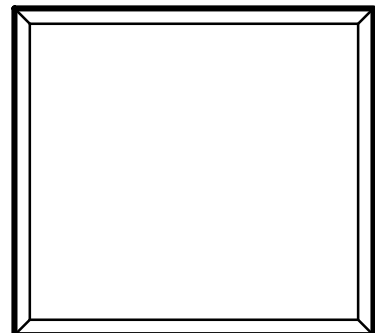


PROPOSED FEATURES LEGEND

- NEW LIGHT DUTY CONCRETE SIDEWALK AREA
- NEW HMA PAVEMENT AREA
- NEW HEAVY DUTY 6" CONCRETE PAVEMENT AREA
- NEW STONE DUST PATH



Know what's below.
Call before you dig.



Plan Prepared By:
Bruce A. Callen, PE
Callen Engineering, Inc.
108 E. Savidge St.
Spring Lake, Michigan 49456
Tel: 616-414-5260
email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

DATE OF PLAN: 07-08-26

Callen Engineering, Inc.
108 East Savidge Street
Spring Lake, MI 49456
T. 616.414.5260
www.callenengineering.com



COPPERROCK CONSTRUCTION
601 5TH STREET NW
GRAND RAPIDS, MICHIGAN 49504
616-920-1655

NO.	DATE	BY	ISSUANCE / REVISION
1	2026.07.08	BAC	PRELIMINARY CITY REVIEW

CHINOOCK PIER REDEVELOPMENT
N. HARBOR DRIVE
CITY OF GRAND HAVEN
OTTAWA COUNTY, MICHIGAN
PRELIMINARY SITE LAYOUT PLAN

DRAWN BY	DATE	SCALE
J.W.C.	JUL '26	DRAWING
ENGINEER	DATE	PILOT SCALE
B.A.C.	JUL '26	AS NOTED
EDIT		1:1
PROJECT	026 CHINOOCK PIER	
SHEET NO.		

C1.0

RESTAURANT Parcel #: 70-03-20-280-025

CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417



DRAWING INDEX

- GENERAL
T-1 TITLE DRAWING
- ARCHITECTURAL
A-1 FIRST FLOOR PLAN
A-2 SECOND FLOOR PLAN
A-6 EXTERIOR ELEVATIONS

ZONING

CITY OF GRAND HAVEN, OTTAWA COUNTY, MICHIGAN
MICHIGAN BUILDING CODE (MBC 2021)

ZONING
AREA & HEIGHT: WF - WATERFRONT DISTRICT
DISTRICT: 5A - OTTAWA COUNTY
CLIMATE ZONE: 30' (2 STORIES) SEC. 40-416.03.B AND C
HEIGHT: (35'-0" MAX FOR MECH., STAIRWELL, ROOF ACCESS HATCH, ELEVATOR EQUIPMENT AND SCREENING)
SPECIAL LAND USE: EATING AND DRINKING ESTABLISHMENT (SUBJECT TO SECTION 40-529)

SET BACKS:
FRONT 25'
SIDE 20'
REAR / WATERFRONT 25' SUBJECT TO CRITICAL DUNE

SENSITIVE AREA OVERLAY SEC. 40-422

ROOFLINES
Rooflines of regulated accessory structures or principal structures with the lowest elevation at or above 22 feet above the median natural grade shall be pitched at slopes ranging from 4:12 to 12:12. Roofs located below 22 feet above the median natural grade may be flat or pitched at any slope.

PRIMARY WALLS
Minimum 80% face brick, stone, solid wood, and/or fiber cement board
SECONDARY WALLS
Minimum 80% face brick, stone, solid wood, fiber cement board, composite siding, and/or decorative concrete block

ACCENT / TRIM MATERIALS
Maximum 20% metal, concrete, face brick, stone, solid wood, fiber cement board, composite siding, decorative concrete block, vinyl, and/or EIFS (must be high impact resistant up to 6 feet from ground level)

ARCHITECTURAL FEATURES
Wrap around entire side visible from right-of-way

SEC. 40-529 B.6 - SHALL FRONT AND BE ACCESSED PRIMARILY FROM A KEY STREET SEGMENT
SEC. 40-306.08.7 - ROOFTOP DINING SHALL COMPLY WITH (SEC. 40-306.08.C) AND OTHER FORMS OF DINING, INCLUDING PATIO OR DECK DINING MAY BE PERMITTED BY THE PLANNING COMMISSION. SEC. 40-306.08.B.3 - Facilities, including furniture and fixtures for rooftop dining or other permanent or temporary activities shall not exceed the height limits for the particular zoning district.

PROPOSED PARKING
EATING AND DRINKING ESTABLISHMENT 1 SPACES PER 3 SEATS OF LEGAL CAPACITY
MAIN LEVEL INTERIOR: 2015 / 15 = 134
UPPER LEVEL INTERIOR: 1580 / 15 = 105
TOTAL LEGAL CAPACITY 239 / 3 = 80 PARKING SPACES REQUIRED

MBC 2021 BUILDING CODE: A-2 (RESTAURANTS)
ASSEMBLY WITHOUT FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS) 1/ 15 net sq ft
COMMERCIAL KITCHENS 1/200 gross sq ft
ANCILLARY SPACE (Restrooms, Corridors, Mech / Elect Rooms, Janitor, Storage)

MPC 2021 TABLE 403.1 PLUMBING FIXTURES
OCCUPANT LOAD FEMALE TO MALE: 421 / 2 = 210.5
WATER CLOSETS 1 PER 75 210.5 / 75 = 2.8 (3 WATER CLOSETS)
LAVATORIES 1 PER 200 210.5 / 200 = 1.05 (1 LAVTORY)
DRINKING FOUNTAIN 1 PER 500
OTHER 1 SERVICE SINK

CALL 811

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811. www.CALL811.com



PREPARER NOTES:

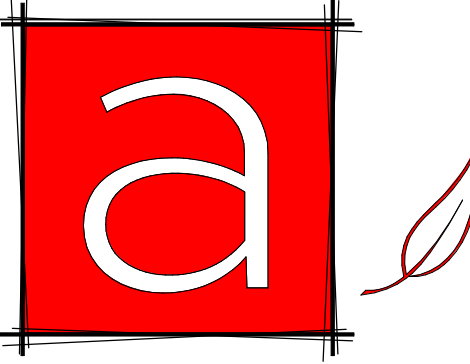
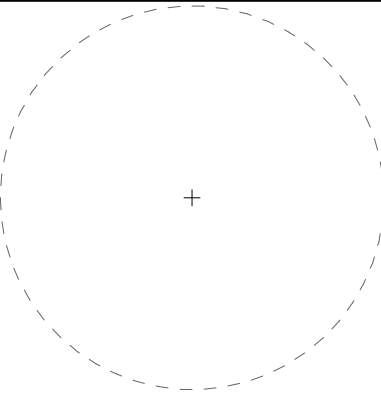
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THIS SEAL APPLIES TO THE FOLLOWING DOCUMENT'S SHEET NUMBERS: xx THRU xx ALL DOCUMENTS UNDER THIS STAMP BEAR THE SAME ISSUE DATE AS THE SEALED COPY.

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, CONFORM TO THE APPLICABLE CODES AND ORDINANCES.

KIRSTEN A. RUNSCHKE DATE 09-27-2022
LICENSE EXPIRES



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RESTAURANT Parcel #: 70-03-20-280-025
CHINOOK PIER
301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO. 1361	
ISSUANCES	
8 JULY 2026	PC PRELIMINARY

REVISIONS		
NO.	DATE	DESCRIPTION

TITLE DRAWING

SCALE :
1/4" = 1'-0"

T-1

DEVELOPER



OWNER



ARCHITECT

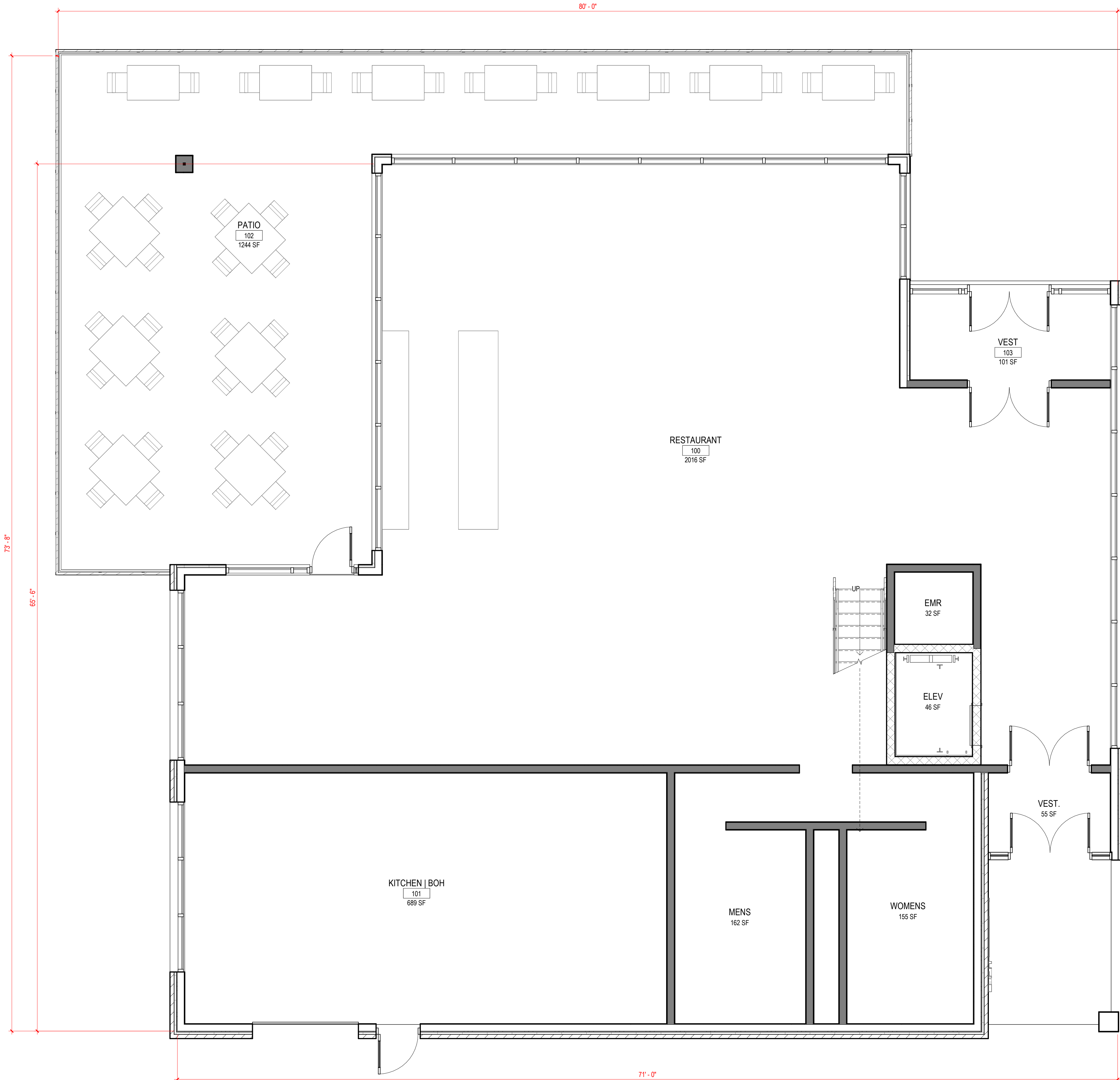


CIVIL ENGINEER



STRUCTURAL ENGINEER





3,883 GSF FIRST FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

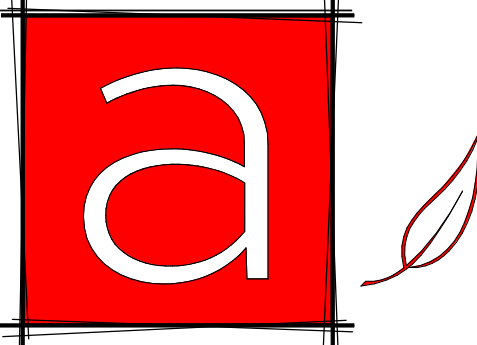
- DO NOT SCALE DRAWINGS.
- FINISH FLOOR ELEVATION = 100' - 0". REFER TO CIVIL DRAWINGS FOR SITE DATUM ELEVATION EQUIVALENT.
- EXISTING BUILDING CONDITIONS BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CODE SUMMARY.
- WALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
- REFER TO ALL DRAWINGS SHOWING NEW CONSTRUCTION AND COORDINATE DEMOLITION REQUIRED TO COMPLETE NEW WORK SHOWN.
- REFER TO DEMOLITION DRAWINGS AND OTHER DRAWINGS TO DETERMINE LOCATIONS THAT REQUIRE PATCHING DUE TO REMOVAL OF EXISTING ITEMS, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL ITEMS.
- PATCH ALL DISTURBED EXISTING SURFACES WITH MATERIALS TO MATCH EXISTING ADJACENT SURFACE CONSTRUCTION.
- REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR SIZE AND LOCATION OF CHASES, WALL AND FLOOR OPENINGS AND RECESSES, ETC. COORDINATE WITH CONSTRUCTION MANAGER / GENERAL CONTRACTOR AND ALL AFFECTED TRADES.
- PROVIDE APPROVED SMOKE/FIRESTOPPING ASSEMBLIES AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT PARTITIONS IDENTIFIED ON CODE COMPLIANCE DRAWINGS.

INTERIOR WALL GENERAL NOTES

- EXISTING WALL CONSTRUCTION NEW WALL CONSTRUCTION
- CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK JOISTS AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
- PROVIDE DEFLECTION TRACK AT THE TOP OF ALL INTERIOR NON-BEARING WALLS. STUD WALLS CAPABLE OF ACCOMMODATING ROOF/FLOOR DEFLECTION.
- REFER TO CODE COMPLIANCE PLAN FOR RATED WALL LOCATIONS. FIRE AND SMOKE RESISTANT ASSEMBLIES SHALL BE CONTINUOUS, WITH OTHER PARTITIONS ABUTTING THEM.
- PROVIDE FIRESTOPPING/ SMOKE SEALANT AT ALL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT ASSEMBLIES, CORRIDORS, AND FLOORS WITH OCCUPIABLE SPACES ABOVE AND BELOW.
- PERMANENTLY IDENTIFY FIRE RATED AND SMOKE RESISTANT PARTITIONS ON WALL ABOVE CEILINGS AT 30 FEET ON CENTER.
- PROVIDE ACOUSTICAL SEALANT AT ALL WALLS WITH ACOUSTICAL INSULATION.
- PROVIDE 5/8" MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL WALLS OF TOILET ROOMS, WALLS RECEIVING TILE, AND WALLS BEHIND AND ADJACENT TO SINKS.
- PROVIDE 5/8" TILE BACKER AT ALL WALLS OF SHOWER ENCLOSURES.
- REFER TO STRUCTURAL DRAWINGS FOR MASONRY REINFORCING AND GROUTING.
- PROVIDE BULLNOSE CONCRETE MASONRY UNITS AT EXPOSED SILLS AND AT ALL INTERIOR EXPOSED VERTICAL CORNERS, INCLUDING WINDOW AND DOOR JAMBS.
- ALL WALLS ARE 2x6 WOOD FRAMING AT 16" O/C WITH 5/8" GYPSUM WALLBOARD EACH SIDE, EXTEND TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.

TOILET ACCESSORIES

MARK	MODEL	MANUFACTURER	DESCRIPTION
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architektura^{PLC}
PO Box 971
Grand Haven, MI 49417
p: 616.843.1002
www.architektura.plc.com

RESTAURANT Parcel #: 70-03-20-280-025

CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO. 1361
ISSUANCES

8 JULY 2026	PC PRELIMINARY
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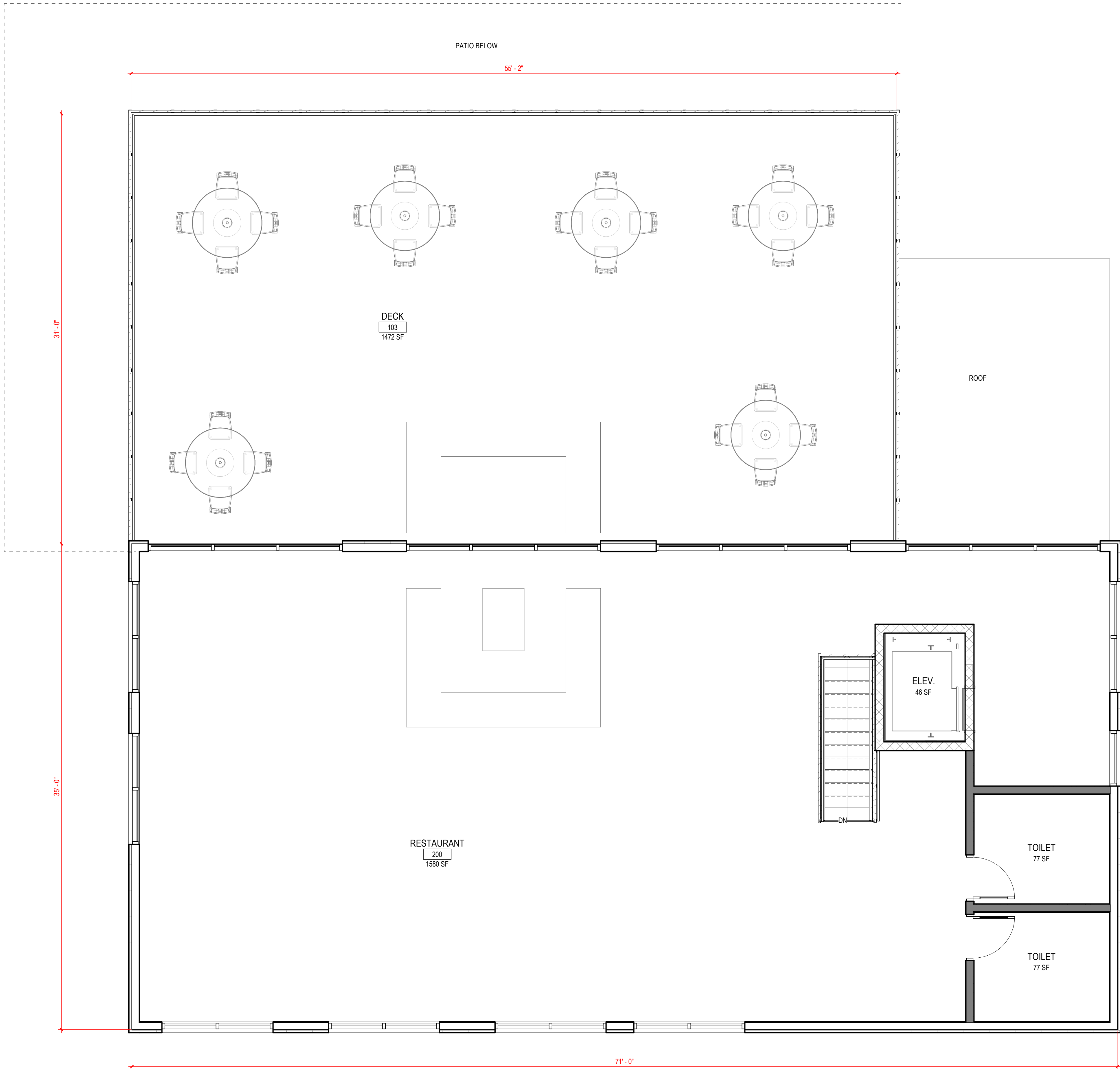
REVISIONS

NO.	DATE	DESCRIPTION
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FIRST FLOOR PLAN

SCALE :
As indicated

A-1



2,376 GSF SECOND FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

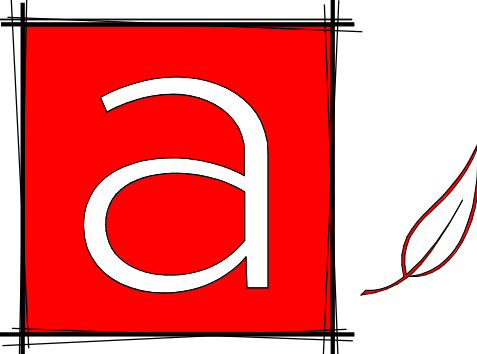
1. DO NOT SCALE DRAWINGS.
2. FINISH FLOOR ELEVATION = 100' - 0". REFER TO CIVIL DRAWINGS FOR SITE DATUM ELEVATION EQUIVALENT.
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8. REFER TO ALL DRAWINGS SHOWING NEW CONSTRUCTION AND COORDINATE DEMOLITION REQUIRED TO COMPLETE NEW WORK SHOWN.
9. REFER TO DEMOLITION DRAWINGS AND OTHER DRAWINGS TO DETERMINE LOCATIONS THAT REQUIRE PATCHING DUE TO REMOVAL OF EXISTING ITEMS, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL ITEMS.
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11. REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR SIZE AND LOCATION OF CHASES, WALL AND FLOOR OPENINGS AND RECESSES, ETC. COORDINATE WITH CONSTRUCTION MANAGER / GENERAL CONTRACTOR AND ALL AFFECTED TRADES.
12. PROVIDE APPROVED SMOKE/FIRESTOPPING ASSEMBLIES AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT PARTITIONS IDENTIFIED ON CODE COMPLIANCE DRAWINGS.

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1. CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK JOISTS AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
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TOILET ACCESSORIES

MARK	MODEL	MANUFACTURER	DESCRIPTION
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PROJECT NO. 1361
ISSUANCES

8 JULY 2026	PC PRELIMINARY

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

SECOND FLOOR PLAN

SCALE :
As indicated

A-2

EXTERIOR MATERIALS LEGEND

- A

FACE BRICK, SMOOTH RUNNING BOND PATTERN
- B

LAP SIDING, LP SMARTSIDE OR EQUAL
- C

SMOOTH PANEL SIDING, LP SMARTSIDE OR EQUAL
- D

STORE FRONT SYSTEM, TUBELITE 14000, ALUMINUM DOOR AND FRAME
- E

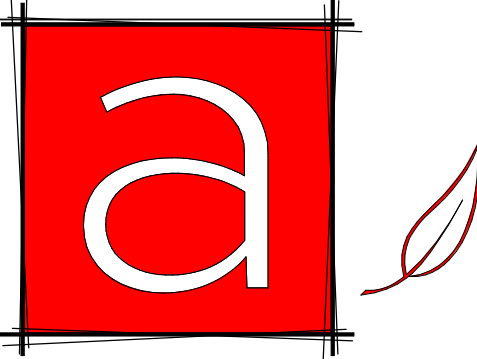
ALUMINUM COPING
- F

MAPEI ALUMINUM CANOPIES, FABRIC AWNING
- G

CONCRETE, SMOOTH FINISH
- H

CAST STONE
- K

GLASS PANEL RAILING



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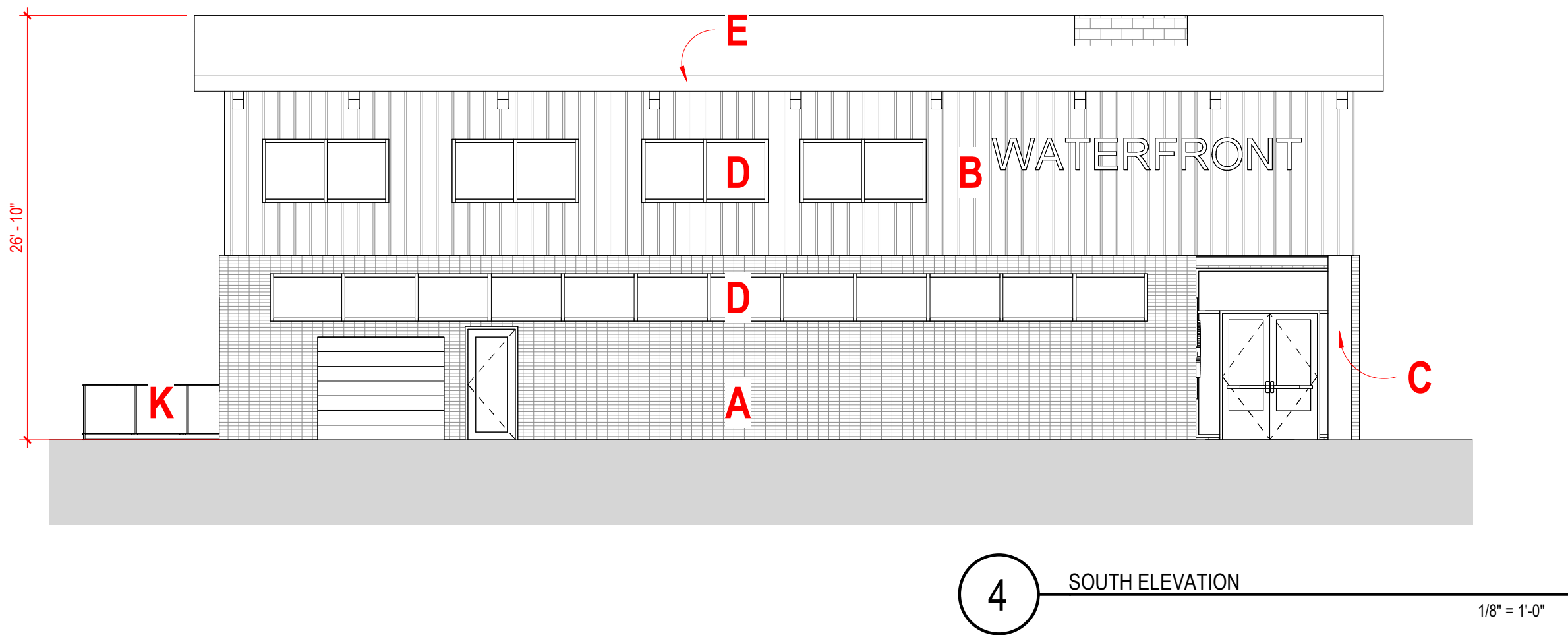
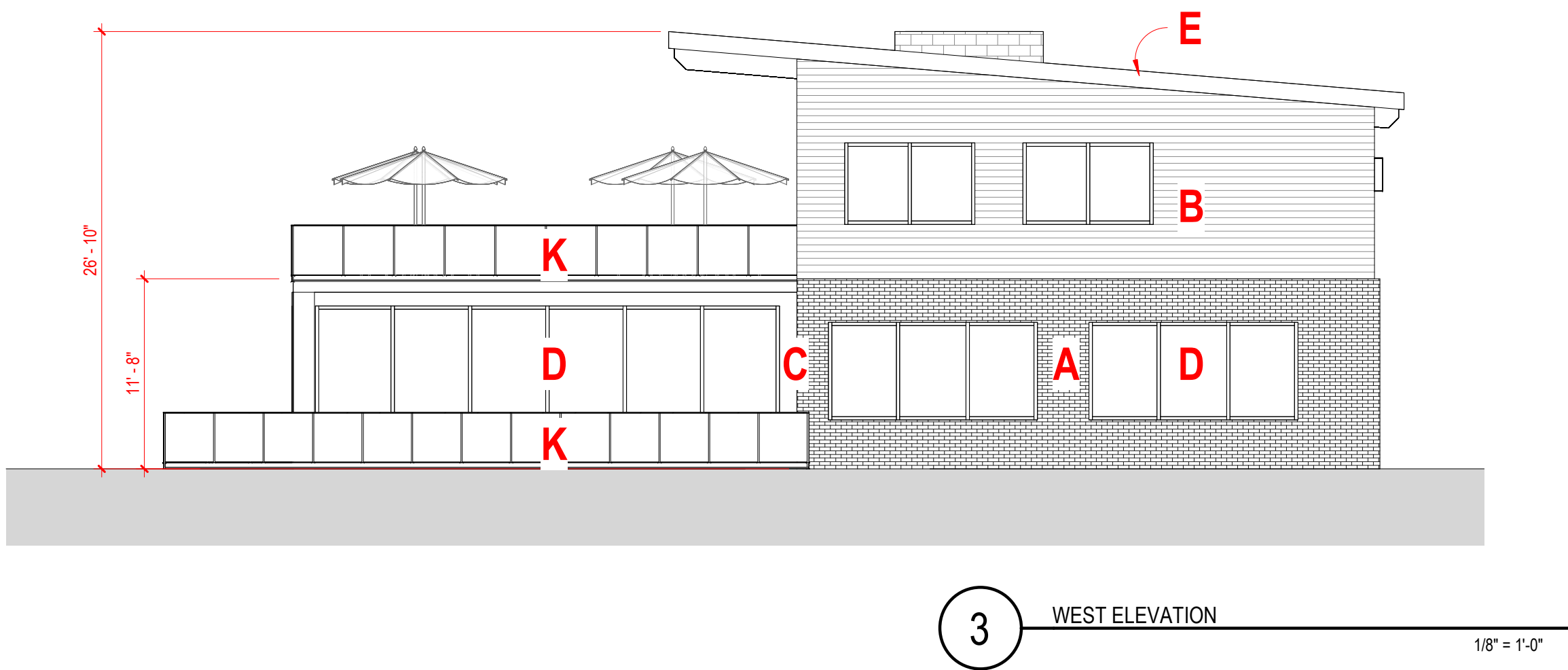
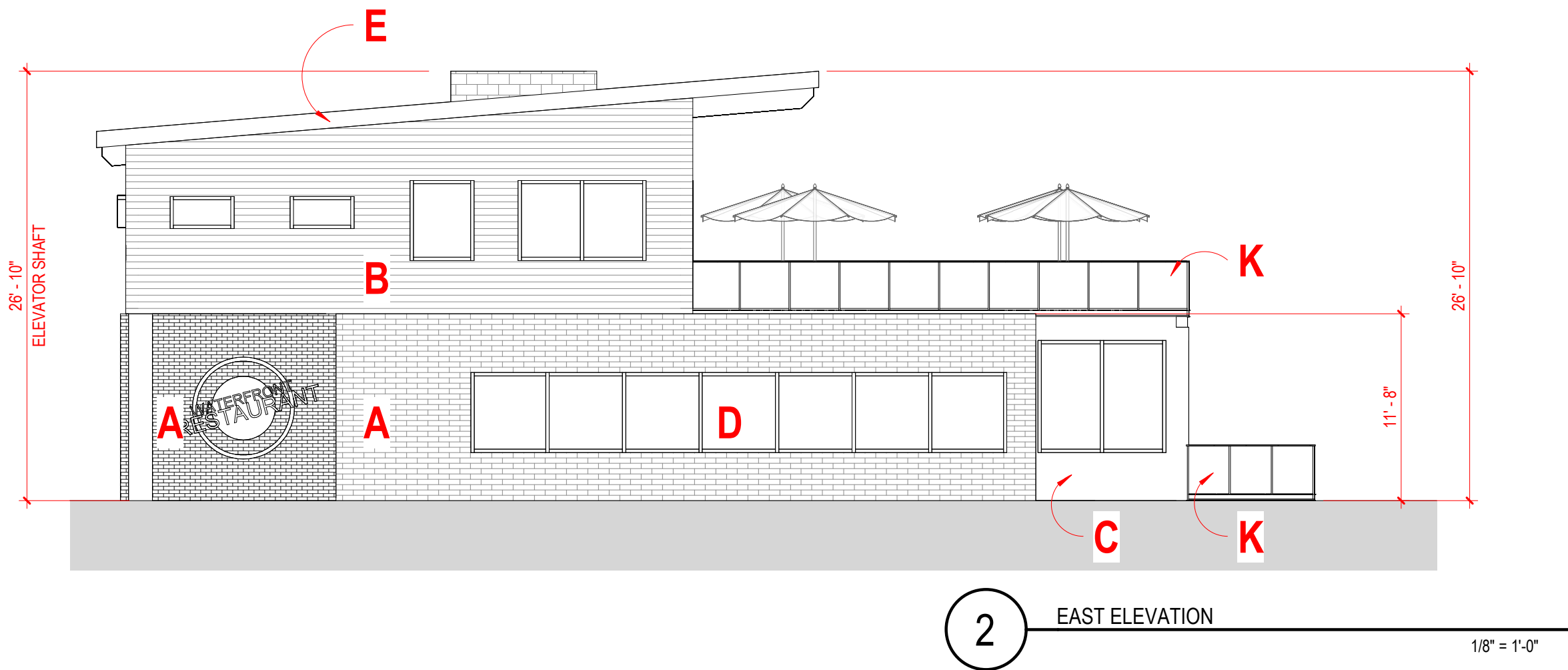
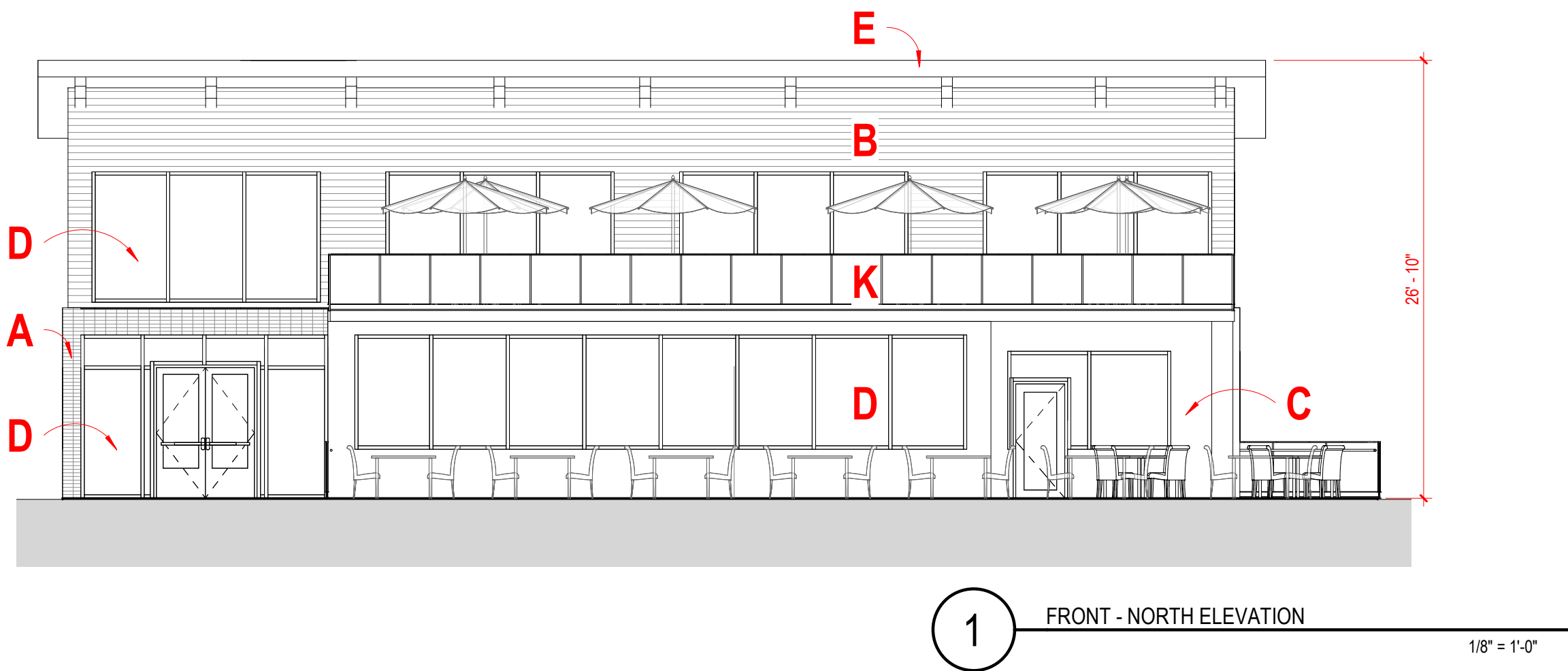
PROJECT NO. 1361	
ISSUANCES	
8 JULY 2026	PC PRELIMINARY

REVISIONS		
NO.	DATE	DESCRIPTION

EXTERIOR ELEVATIONS

SCALE :
1/8" = 1'-0"

A-6



NOT FOR CONSTRUCTION

RETAIL | OFFICE Parcel #: 70-03-20-280-025

CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417



DRAWING INDEX

GENERAL	
T-1	TITLE DRAWING
ARCHITECTURAL	
A-1	FIRST FLOOR PLAN
A-2	SECOND FLOOR PLAN
A-7	EXTERIOR ELEVATIONS

ZONING

CITY OF GRAND HAVEN, OTTAWA COUNTY, MICHIGAN MICHIGAN BUILDING CODE (MBC 2021)	
ZONING AREA & HEIGHT:	WF, WATERFRONT DISTRICT 5A - OTTAWA COUNTY
DISTRICT:	30' (2 STORIES) SEC. 40-416.03.B AND C
CLIMATE ZONE:	(35'-0" MAX FOR MECH., STAIRWELL, ROOF ACCESS HATCH, ELEVATOR EQUIPMENT AND SCREENING)
HEIGHT:	RETAIL BUSINESS OR RETAIL SALES (SUBJECT TO SEC. 40-556) OFFICE BUILDING (SUBJECT TO SEC. 40-549)
SPECIAL LAND USE:	
SET BACKS:	
FRONT	25'
SIDE	20'
REAR / WATERFRONT	25' SUBJECT TO CRITICAL DUNE
SENSITIVE AREA OVERLAY	SEC. 40-422
ROOFLINES	Rooflines of regulated accessory structures or principal structures with the lowest elevation at or above 22 feet above the median natural grade shall be pitched at slopes ranging from 4:12 to 12:12. Roofs located below 22 feet above the median natural grade may be flat or pitched at any slope.
PRIMARY WALLS	Minimum 80% face brick, stone, solid wood, and/or fiber cement board
SECONDARY WALLS	Minimum 80% face brick, stone, solid wood, fiber cement board, composite siding, and/or decorative concrete block
ACCENT / TRIM MATERIALS	Maximum 20% metal, concrete, face brick, stone, solid wood, fiber cement board, composite siding, decorative concrete block, vinyl, and/or EIFS (must be high impact resistant up to 6 feet from ground level)
ARCHITECTURAL FEATURES	Wrap around entire side visible from right-of-way
PROPOSED PARKING	RETAIL: 1 PER 250 SQ FT OF GROSS FLOOR AREA 8,335 SQ FT / 250 = 33 SPACES PROFESSIONAL SERVICE ESTABLISHMENT: 1 PER 450 SQ FT OF GROSS FLOOR AREA 9,365 SQ FT / 450 = 21 SPACES
MBC 2021 BUILDING CODE: B (BUSINESS) + M (MERCANTILE)	
OCCUPANT LOAD:	
B 1 PER 150 GROSS = 9,365 / 150 = 62	
M 1 PER 60 GROSS = 8,335 / 60 = 139	
M (STORAGE) 1 PER 300 GROSS =	
ANCILLARY SPACE (Restrooms, Corridors, Mech / Elect Rooms, Janitor, Storage)	
MPC 2021 TABLE 403.1 PLUMBING FIXTURES	
BUSINESS OCCUPANT LOAD FEMALE TO MALE:	62 / 2 = 31
WATER CLOSETS	1 PER 25 31 / 25 = 1.24 (2 WATER CLOSETS)
LAVATORIES	1 PER 40 31 / 40 = 0.775 (1 LAVATORY)
DRINKING FOUNTAIN	1 PER 100
OTHER	1 SERVICE SINK
MERCANTILE OCCUPANT LOAD FEMALE TO MALE:	139 / 2 = 69.5
WATER CLOSETS	1 PER 500 69.5 / 500 = 0.139 (1 WATER CLOSETS)
LAVATORIES	1 PER 750 69.5 / 750 = 0.093 (1 LAVATORY)
DRINKING FOUNTAIN	1 PER 1,000
OTHER	1 SERVICE SINK

CALL 811

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811. www.CALL811.com



PREPARER NOTES:

ARCHITEKTURA PLC'S LIABILITY IS LIMITED TO THE AMOUNT OF FEE THAT IS REIMBURSED FOR SERVICES RENDERED ON THIS PROJECT.

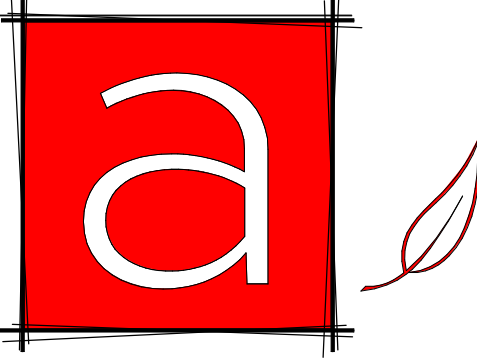
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THIS SEAL APPLIES TO THE FOLLOWING DOCUMENT'S SHEET NUMBERS: xx THRU xx ALL DOCUMENTS UNDER THIS STAMP BEAR THE SAME ISSUE DATE AS THE SEALED COPY.

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, CONFORM TO THE APPLICABLE CODES AND ORDINANCES.

KIRSTEN A. RUNSCHKE
LICENSE EXPIRES

DATE
09-27-2025



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Grand Haven, MI 49417
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www.architekturapl.com

RETAIL | OFFICE Parcel #: 70-03-20-280-025
CHINOOK PIER
301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO.
ISSUANCES

8 JULY 2026	PC PRELIMINARY

REVISIONS

NO.	DATE	DESCRIPTION
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TITLE DRAWING

SCALE :
1/4" = 1'-0"

T-1

DEVELOPER



OWNER



ARCHITECT



CIVIL ENGINEER



STRUCTURAL ENGINEER



Classic Engineering, LLC

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. FINISH FLOOR ELEVATION = 100' - 0". REFER TO CIVIL DRAWINGS FOR SITE DATUM ELEVATION EQUIVALENT.
3. EXISTING BUILDING CONDITIONS BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
4. BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
5. REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CODE SUMMARY.
6. WALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
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12. PROVIDE APPROVED SMOKE/FIRESTOPPING ASSEMBLIES AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT PARTITIONS IDENTIFIED ON CODE COMPLIANCE DRAWINGS.

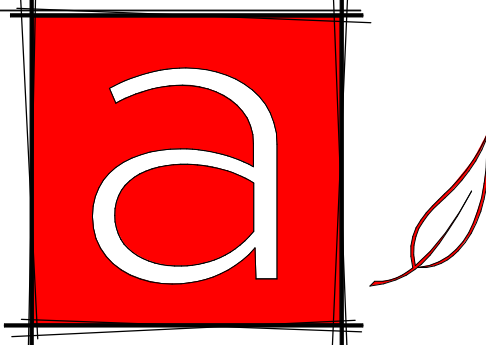
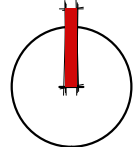
INTERIOR WALL GENERAL NOTES

- EXISTING WALL CONSTRUCTION NEW WALL CONSTRUCTION
1. CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK JOISTS AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
 2. PROVIDE DEFLECTION TRACK AT THE TOP OF ALL INTERIOR NON-BEARING WALLS. STUD WALLS CAPABLE OF ACCOMMODATING ROOF/FLOOR DEFLECTION.
 3. REFER TO CODE COMPLIANCE PLAN FOR RATED WALL LOCATIONS. FIRE AND SMOKE RESISTANT ASSEMBLIES SHALL BE CONTINUOUS, WITH OTHER PARTITIONS ABUTTING THEM.
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 9. REFER TO STRUCTURAL DRAWINGS FOR MASONRY REINFORCING AND GROUTING.
 10. PROVIDE BULLNOSE CONCRETE MASONRY UNITS AT EXPOSED SILLS AND AT ALL INTERIOR EXPOSED VERTICAL CORNERS, INCLUDING WINDOW AND DOOR JAMBS.
 11. ALL WALLS ARE 2x6 WOOD FRAMING AT 16" O.C. WITH 5/8" GYPSUM WALLBOARD EACH SIDE, EXTEND TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.



11,010 GSF FIRST FLOOR PLAN

1/8" = 1'-0"



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RETAIL | OFFICE Parcel #: 70-03-20-280-025

CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO. 1360
ISSUANCES

8 JULY 2026	PC PRELIMINARY

REVISIONS

NO.	DATE	DESCRIPTION
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FIRST FLOOR PLAN

SCALE :
As indicated

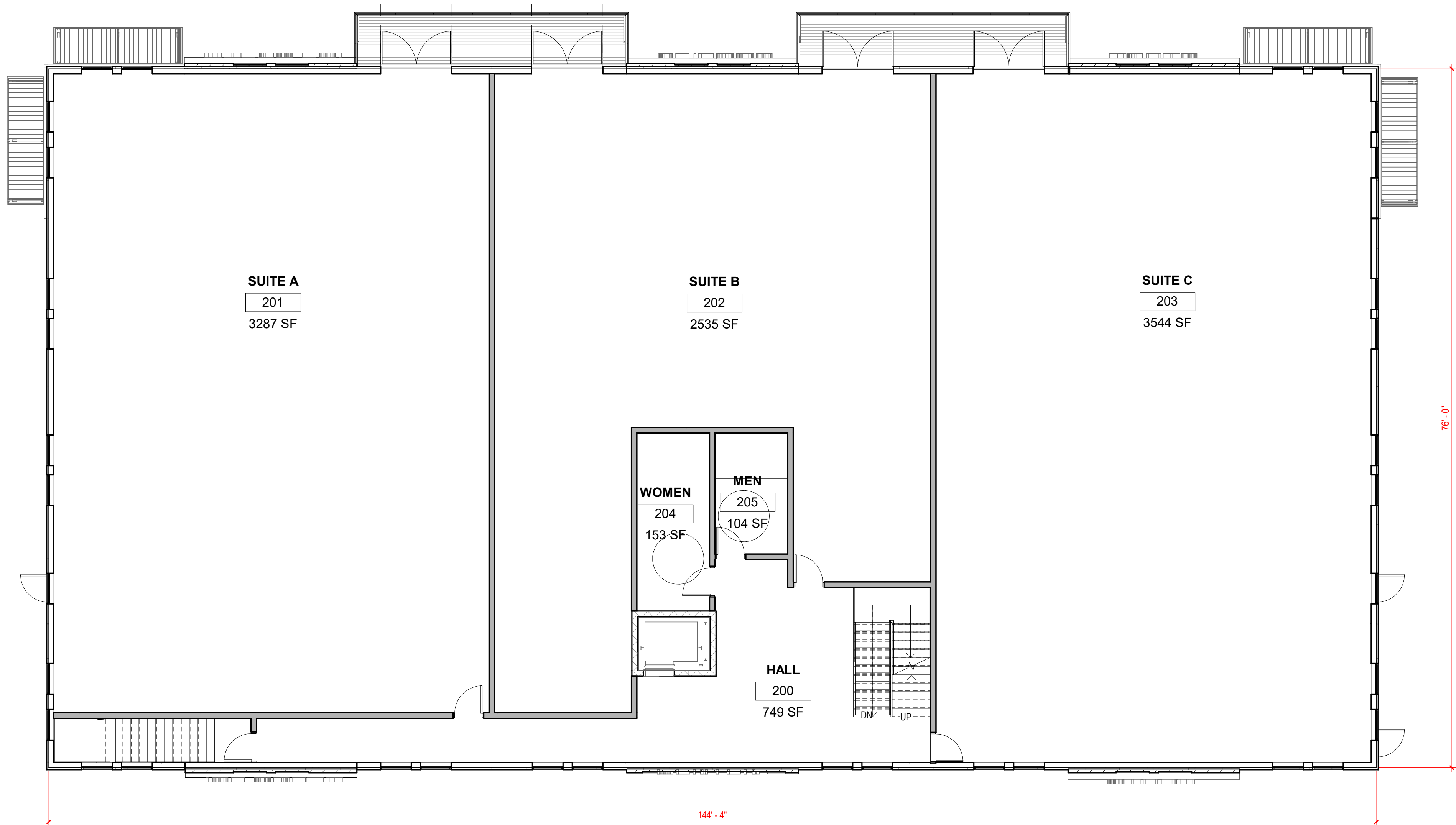
A-1

GENERAL NOTES

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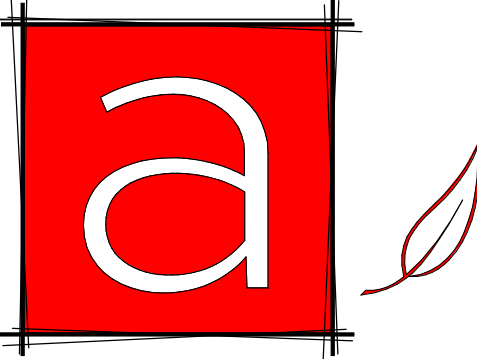
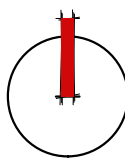
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11,010 GSF SECOND FLOOR PLAN

1/8" = 1'-0"



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www.architekturaplc.com

RETAIL | OFFICE Parcel #: 70-03-20-280-025

CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO. 1360
ISSUANCES

8 JULY 2026	PC PRELIMINARY

REVISIONS

NO.	DATE	DESCRIPTION
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SECOND FLOOR PLAN

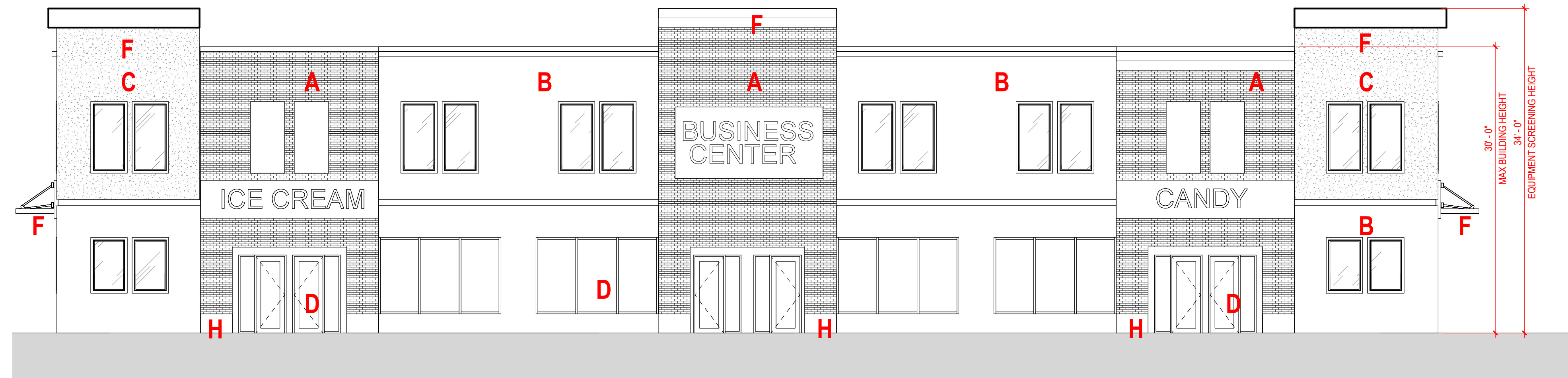
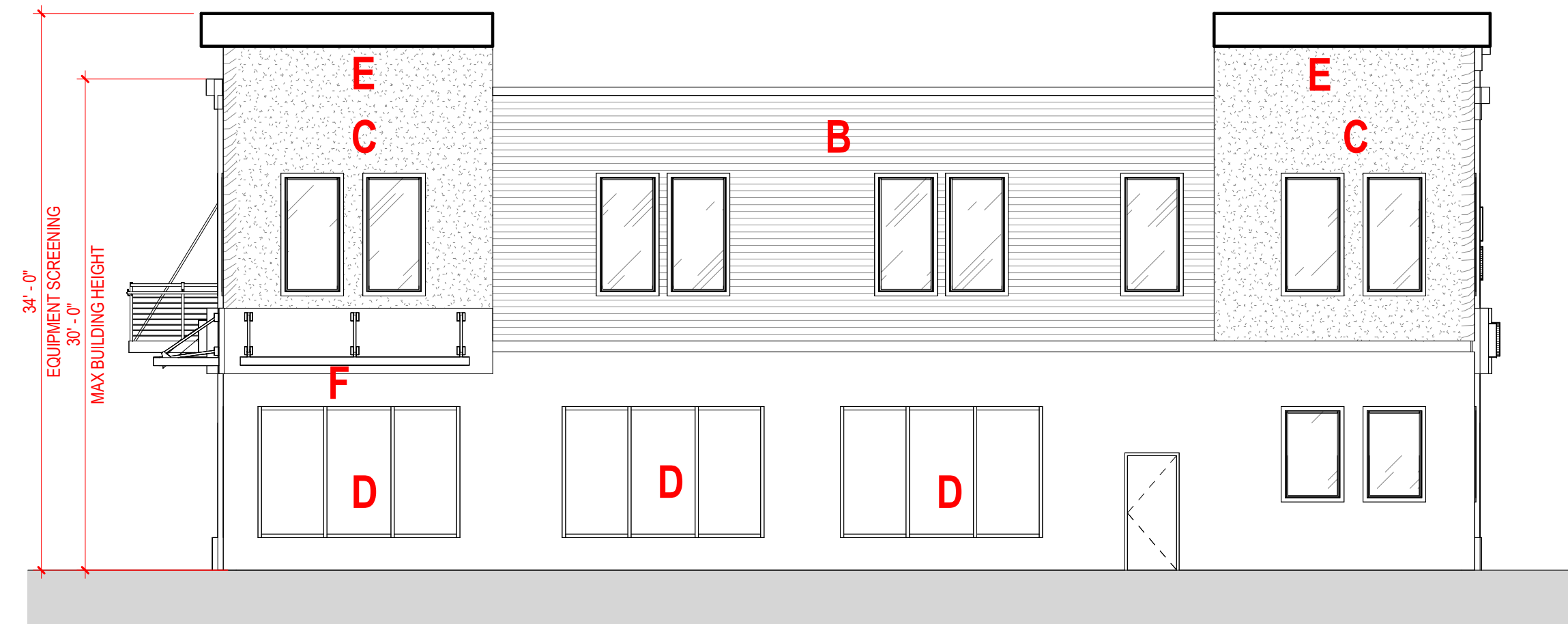
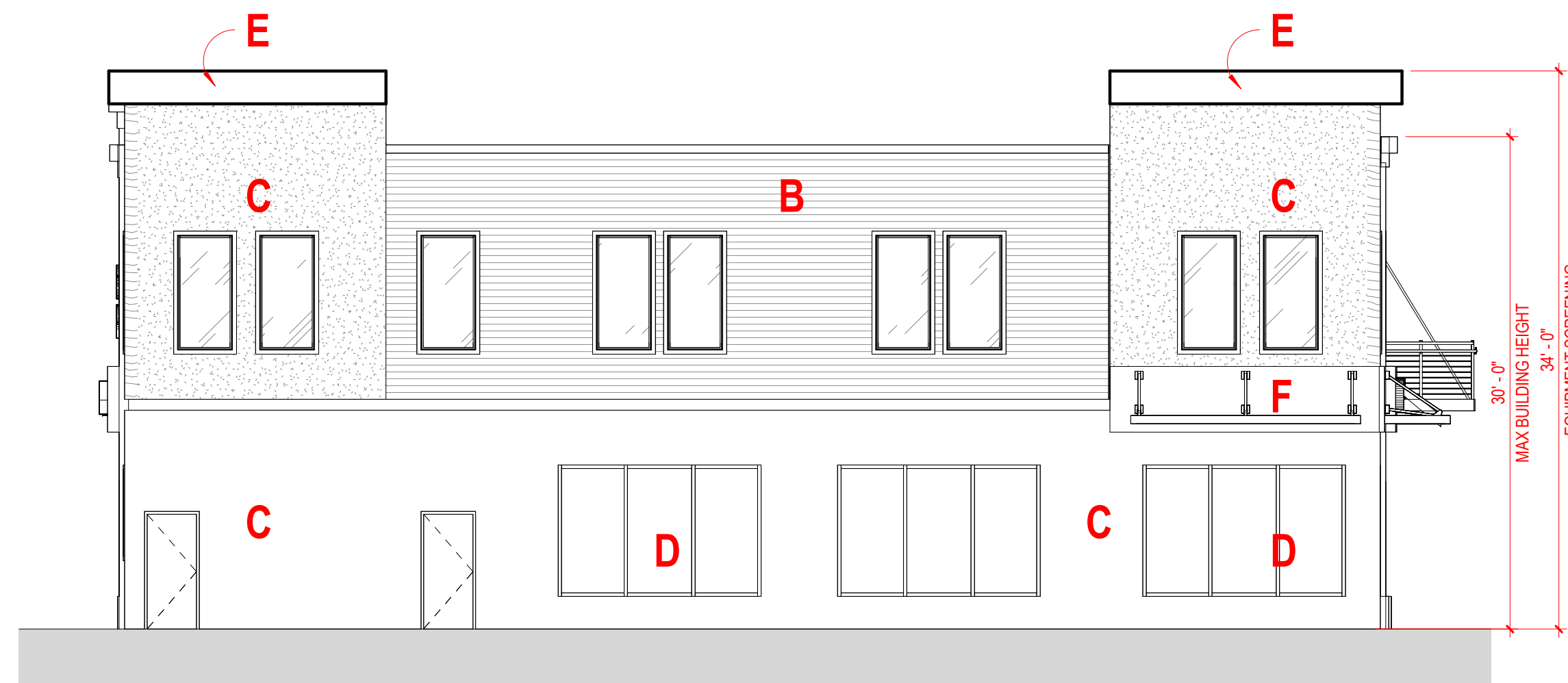
SCALE :
As indicated

A-2



EXTERIOR MATERIALS LEGEND

A	FACE BRICK, SMOOTH RUNNING BOND PATTERN
B	LAP SIDING, LP SMARTSIDE OR EQUAL
C	SMOOTH PANEL SIDING, LP SMARTSIDE OR EQUAL
D	STORE FRONT SYSTEM, TUBELITE 14000, ALUMINUM DOOR AND FRAME
E	ALUMINUM COPING
F	MAPEI ALUMINUM CANOPIES, FABRIC AWNING
G	CONCRETE, SMOOTH FINISH
H	CAST STONE



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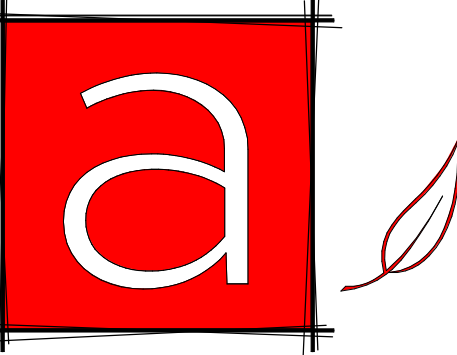
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EXTERIOR ELEVATIONS

SCALE :

1/8" = 1'-0"

A-3



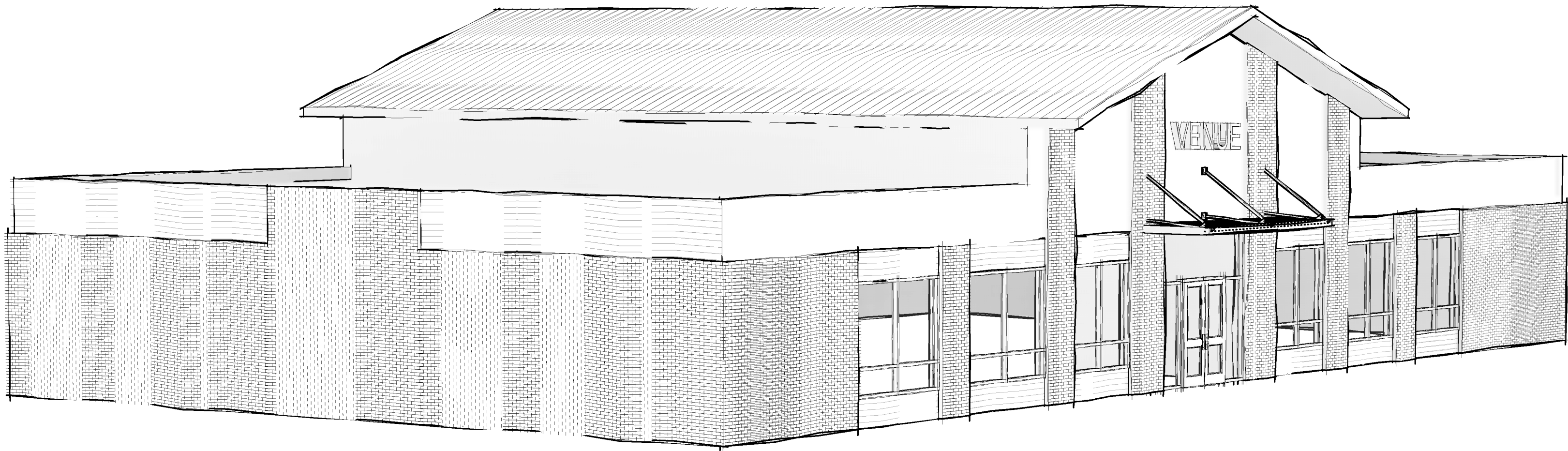
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NOT FOR CONSTRUCTION

ENTERTAINMENT VENUE Parcel #: 70-03-20-280-025

CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417



DRAWING INDEX

GENERAL
T-1 TITLE DRAWING
ARCHITECTURAL
A-1 FIRST FLOOR PLAN
A-2 EXTERIOR ELEVATIONS

ZONING

CITY OF GRAND HAVEN, OTTAWA COUNTY, MICHIGAN
MICHIGAN BUILDING CODE (MBC 2021)

ZONING
AREA & HEIGHT: WF, WATERFRONT DISTRICT
DISTRICT: 5A - OTTAWA COUNTY
CLIMATE ZONE: 30' (2 STORIES) SEC. 40-416.03.B AND C
HEIGHT: (35'-0" MAX FOR MECH., STAIRWELL, ROOF ACCESS HATCH, ELEVATOR EQUIPMENT AND SCREENING)
SPECIAL LAND USE: MIXED USE DEVELOPMENT (SUBJECT TO SEC. 40-544)

SET BACKS:
FRONT 25'
SIDE 20'
REAR / WATERFRONT 25' SUBJECT TO CRITICAL DUNE

SENSITIVE AREA OVERLAY SEC. 40-422

ROOFLINES
Rooflines of regulated accessory structures or principal structures with the lowest elevation at or above 22 feet above the median natural grade shall be pitched at slopes ranging from 4:12 to 12:12. Roofs located below 22 feet above the median natural grade may be flat or pitched at any slope.
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Minimum 80% face brick, stone, solid wood, fiber cement board, composite siding, and/or decorative concrete block
Maximum 20% metal, concrete, face brick, stone, solid wood, fiber cement board, composite siding, decorative concrete block, vinyl, and/or EIFS (must be high impact resistant up to 6 feet from ground level)

PRIMARY WALLS
SECONDARY WALLS
ACCENT / TRIM MATERIALS
Wrap around entire side visible from right-of-way

ARCHITECTURAL FEATURES
Wrap around entire side visible from right-of-way

PROPOSED PARKING
MULTI-TENANT COMMERCIAL ESTABLISHMENT: DEMONSTRATE PARKING DEMAND, NOT LESS THAN 1 PER 300 SQ. FT. OF GROSS FLOOR AREA
6,780 SQ. FT. / 300 = 23 SPACES

MBC 2021 BUILDING CODE:
OCCUPANT LOAD:
ANCILLARY SPACE (Restrooms, Corridors, Mech / Elect Rooms, Janitor, Storage)

MPC 2021 TABLE 403.1 PLUMBING FIXTURES

CALL 811

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811. www.CALL811.com



PREPARER NOTES:

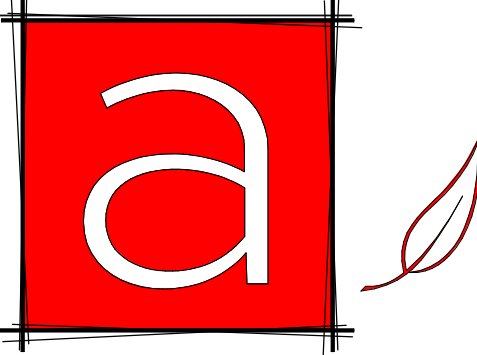
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KIRSTEN A. RUNSCHKE DATE 09-27-2025
LICENSE EXPIRES



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ENTERTAINMENT VENUE Parcel #:

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CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO. 1359
ISSUANCES

8 JULY 2026	PC PRELIMINARY

REVISIONS

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TITLE DRAWING

SCALE :
1/4" = 1'-0"

T-1

DEVELOPER



OWNER



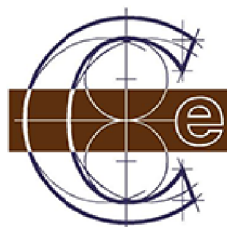
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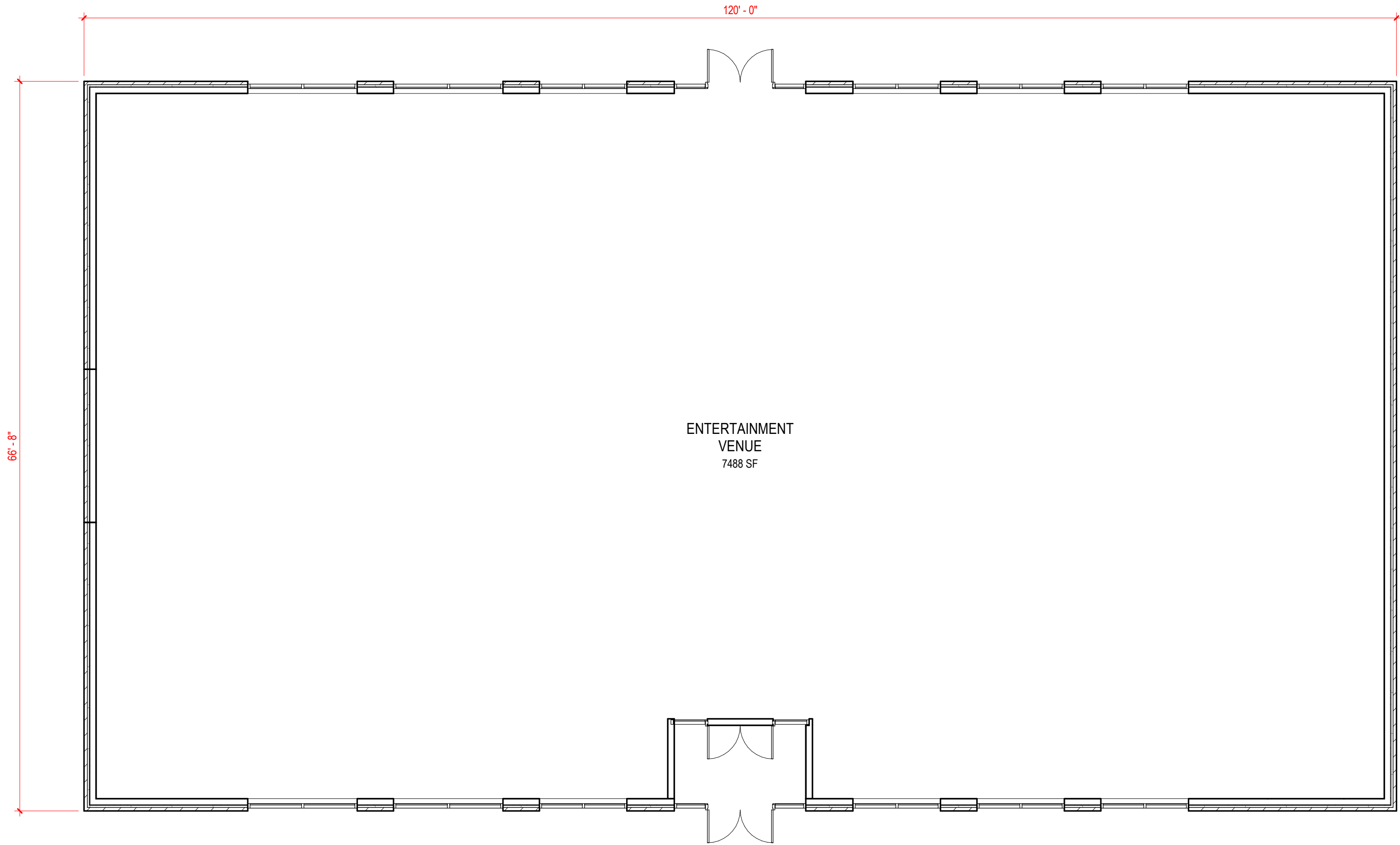
CIVIL ENGINEER



STRUCTURAL ENGINEER

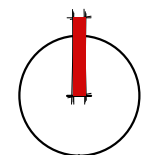


Classic Engineering, LLC



FIRST FLOOR PLAN

1/8" = 1'-0"



GENERAL NOTES

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INTERIOR WALL GENERAL NOTES

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 8. PROVIDE 5/8" TILE BACKER AT ALL WALLS OF SHOWER ENCLOSURES.
 9. REFER TO STRUCTURAL DRAWINGS FOR MASONRY REINFORCING AND GROUTING.
 10. PROVIDE BULLNOSE CONCRETE MASONRY UNITS AT EXPOSED SILLS AND AT ALL INTERIOR EXPOSED VERTICAL CORNERS, INCLUDING WINDOW AND DOOR JAMBS.
 11. ALL WALLS ARE 2x6 WOOD FRAMING AT 16" O/C WITH 5/8" GYPSUM WALLBOARD EACH SIDE, EXTEND TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.

ENTERTAINMENT VENUE Parcel #:

70-03-20-280-025

CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO. 1359
ISSUANCES

8 JULY 2026	PC PRELIMINARY

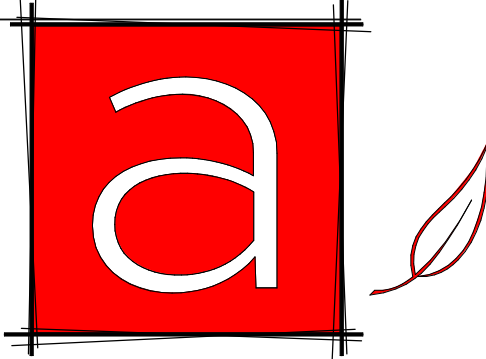
REVISIONS

NO.	DATE	DESCRIPTION
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FIRST FLOOR PLAN

SCALE :
As indicated

A-1



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EXTERIOR MATERIALS LEGEND

- A

FACE BRICK, SMOOTH RUNNING BOND PATTERN
- B

LAP SIDING
- C

SMOOTH PANEL SIDING
- D

STORE FRONT SYSTEM, TUBELITE 14000, ALUMINUM DOOR AND FRAME
- E

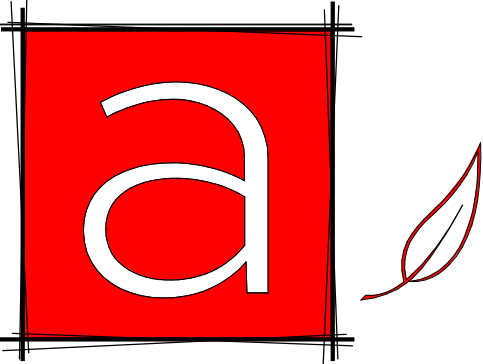
ALUMINUM COPING
- F

MAPEI ALUMINUM CANOPIES, FABRIC AWNING
- G

CONCRETE, SMOOTH FINISH
- H

CAST STONE
- I

STEEL ROOF



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ENTERTAINMENT VENUE Parcel #:

70-03-20-280-025

CHINOOK PIER

301 N. Harbor Drive, Grand Haven, MI 49417

PROJECT NO.
ISSUANCES

1359

8 JULY 2026	PC PRELIMINARY

REVISIONS

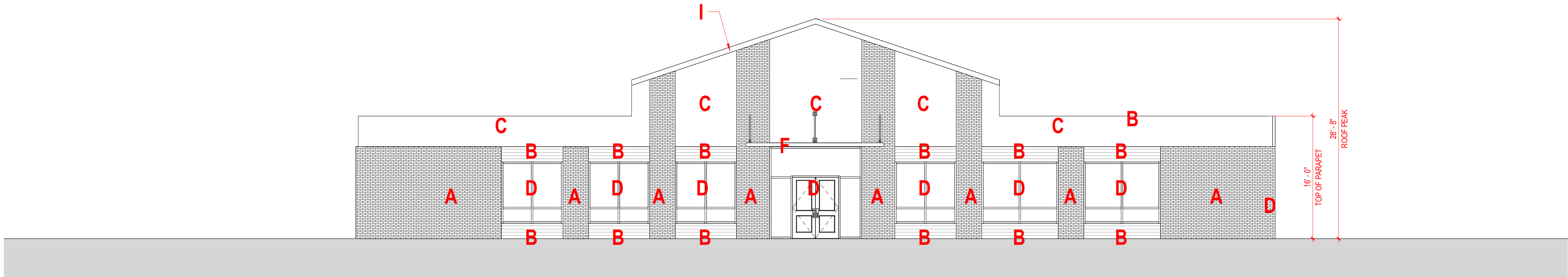
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EXTERIOR ELEVATIONS

SCALE :

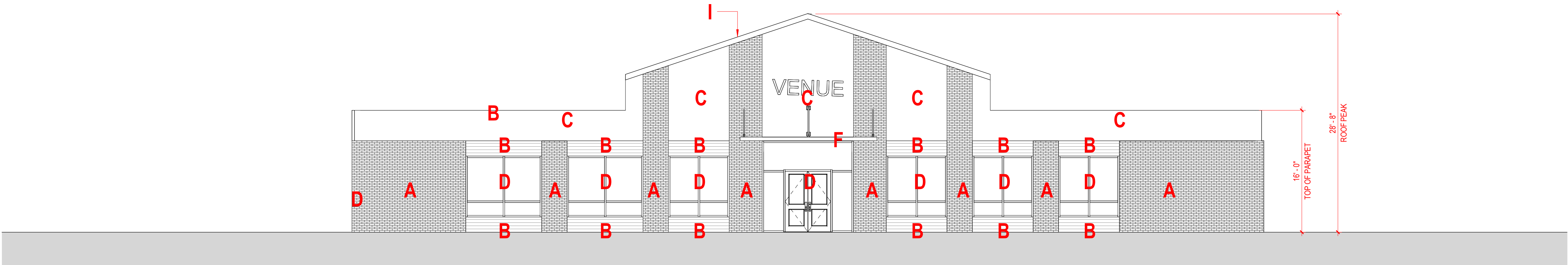
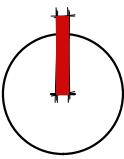
1/8" = 1'-0"

A-2



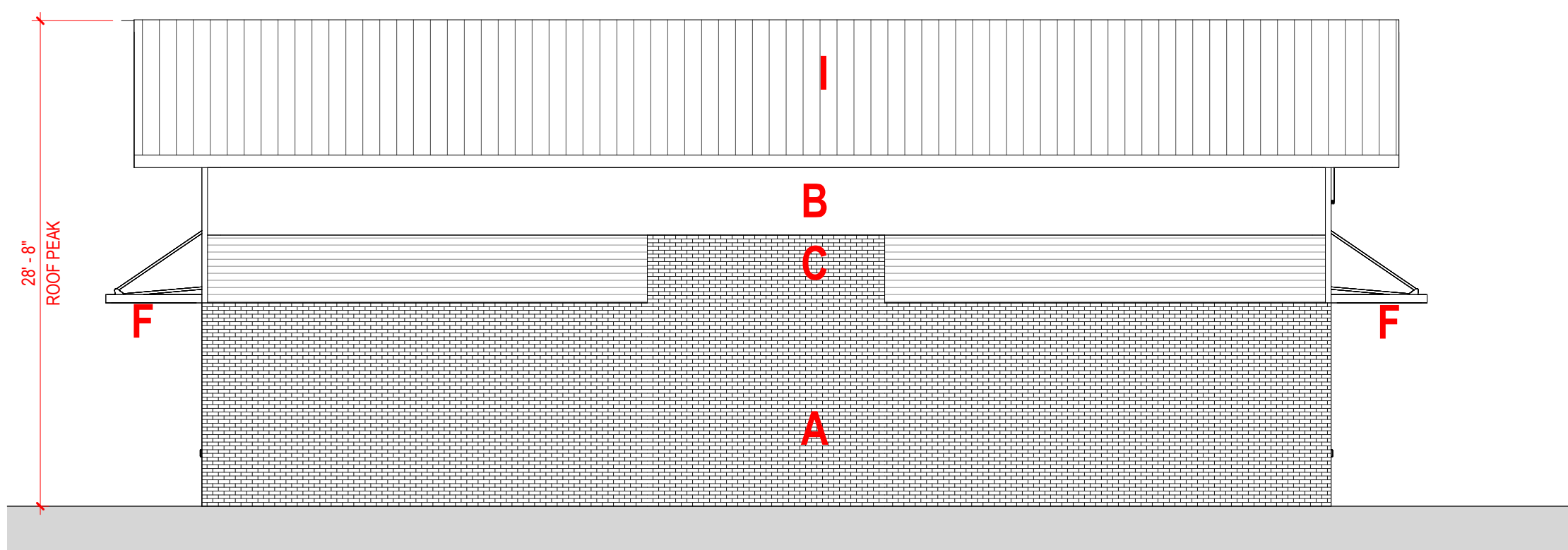
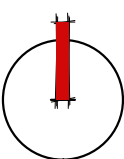
WEST ELEVATION

1/8" = 1'-0"



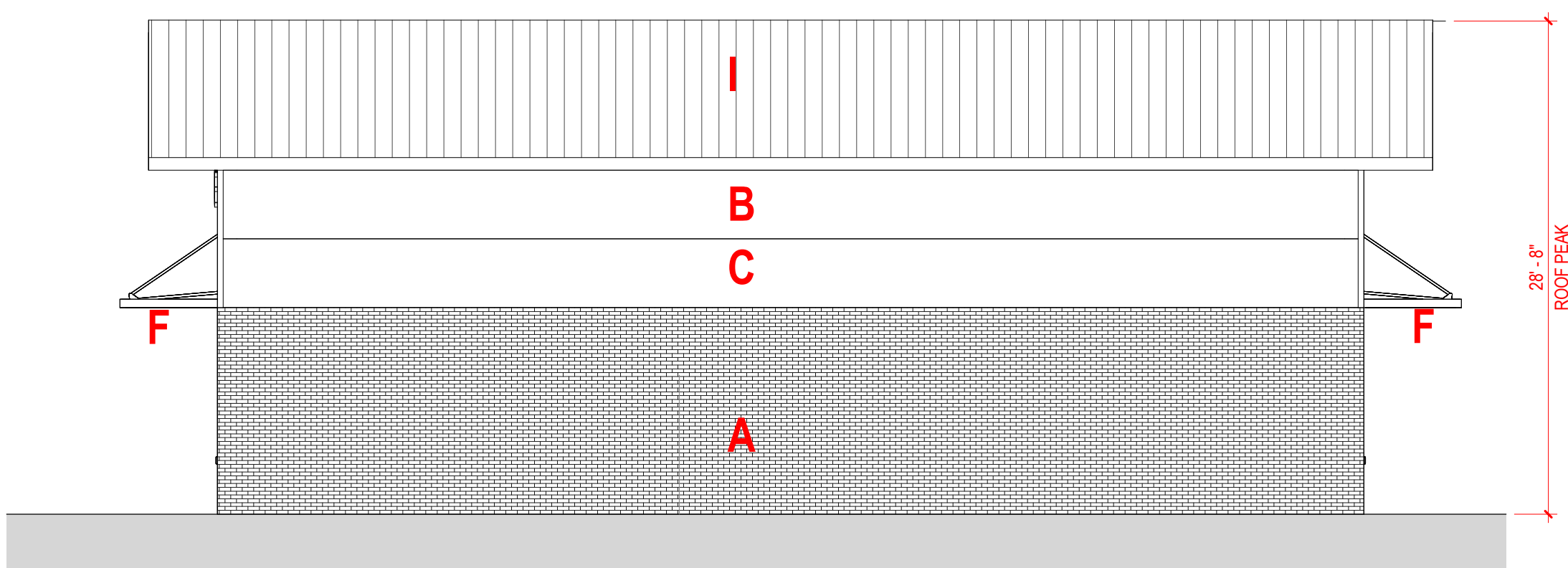
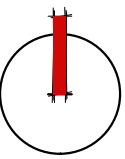
EAST ELEVATION

1/8" = 1'-0"



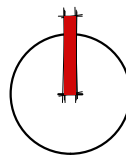
SOUTH ELEVATION

1/8" = 1'-0"



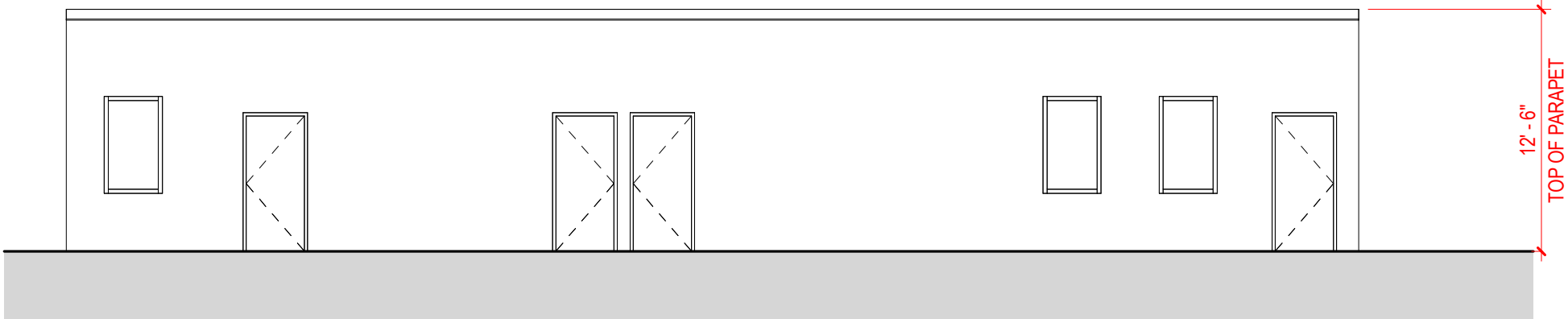
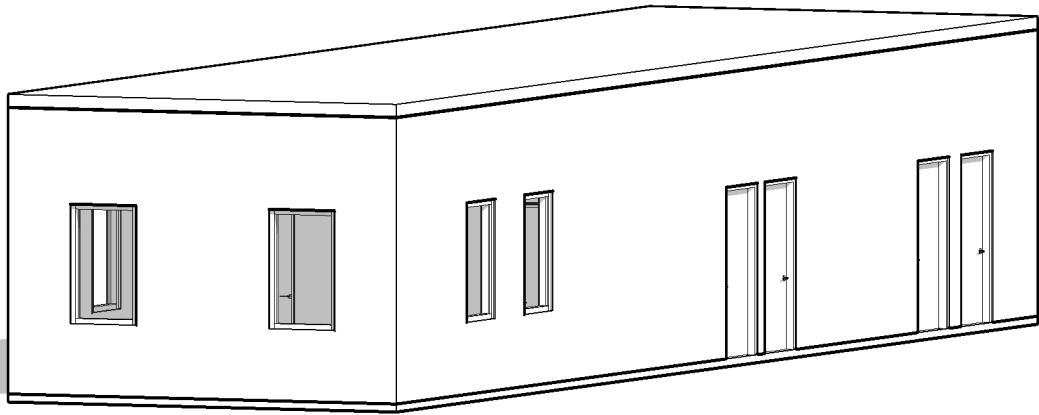
NORTH ELEVATION

1/8" = 1'-0"



NOT FOR CONSTRUCTION

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1 WEST ELEVATION
1/8" = 1'-0"

